



CITY HALL, ROOM 118
9101 BONITA BEACH ROAD
BONITA SPRINGS, FLORIDA 34135

**CITY OF BONITA SPRINGS
BONITA SPRINGS TREE ADVISORY BOARD
OFFICIAL AGENDA
MONDAY, MARCH 13, 2023
4:00 P.M.**

- I. Call to Order
- II. Roll Call
- III. Public Comment
- IV. Approval of Minutes Tree Advisory Board Meeting for January 9, 2023
- V. New Business
 - a) Wendy's 28090 Quail's Nest Lane – DOS23-97966-BOS – Bonita Exchange Outparcel 2
 - b) Highland Woods Pool Café and Pro Shop – DOS22-96856-BOS
 - c) Official Site Visit Summary for Above
 - d) Bonita 75 Multi-family Project – DOS22-96885-BOS – 27801 – 27977 Boondock Road
- VI. General – Staff Project/Updates
- VII. General – Board Member Items/Updates
- VIII. Adjournment

ANY PERSON REQUIRING SPECIAL ACCOMMODATIONS AT ANY OF THE MEETINGS BECAUSE OF A DISABILITY OR PHYSICAL IMPAIRMENT SHOULD CONTACT LISA ROBERSON, DIRECTOR OF FINANCE AT 239-949-6262, AT LEAST 48 HOURS PRIOR TO THE MEETING.

TWO OR MORE MEMBERS OF THE BONITA SPRINGS CITY COUNCIL MAY BE PRESENT AND MAY PARTICIPATE AT THE MEETING. THE SUBJECT MATTER OF THIS MEETING MAY BE AN ITEM FOR DISCUSSION AND ACTION AT A FUTURE BONITA SPRINGS CITY COUNCIL MEETING.



CITY HALL, ROOM 118
9101 BONITA BEACH ROAD
BONITA SPRINGS, FLORIDA 34135

**TREE ADVISORY BOARD
DRAFT MEETING MINUTES
MONDAY, JANUARY 9, 2023
4:00 P.M.**

I. Call to Order

Chairman Brown called the meeting to order at 4:00 pm.

II. Roll Call

Chairman Brown and Board Members Ogle, Lee, and Buck were in attendance.

III. Public Comment

IV. Approval of Minutes Tree Advisory Board Meeting For: December 12, 2022

Board Member Lee motioned to approve the minutes as drafted, and the motion carried unanimously.

V. New Business

- a) Auto Zone Store – Northeast corner of Quinn Street and Bonita Beach Road SE, 27981 Quinn Street and 11718-11752 Bonita Beach Road SE

The Applicant's representative furnished an overview of the development plans, and discussion ensued. Board Member Buck mitigate three trees (1053, 1019, 1069 as shown on plans) with a contingency that the replacement trees be at least 15' tall to enhance the front buffer, if possible.

- b) Carwash – 11230 – 11290 Bonita Beach Road SE at northwest corner of Lime Street and Bonita Beach Road SE

The Applicant's representative furnished an overview of the development plans, and discussion ensued. Board Member Ogle motioned to table the decision until the Board received more information regarding the mitigation plan, and the motion carried unanimously.

- c) Official Site Visit Summary for above

VI. General – Staff Project/Updates

Staff advised that the Tree of the Season award will be presented at the City Council meeting on January 18, 2023. Chairman Brown will attend to make presentation.

VII. General – Board Member Items/Updates

- Arbor Day Proclamation tentatively scheduled for May 3rd
- Student poster contest theme will be “Trees are Tough!”
- Board to judge entries at the April 10th Board meeting
- Board Member Tony Lee announced that he is resigning from the board effective immediately

VIII. Adjournment

The meeting adjourned at 5:10 pm.



March 6, 2023

City of Bonita Springs
Community Development
ATTN: Ms. Laura Gibson
9220 Bonita Beach Road, Suite 109
Bonita Springs, FL 34135

5601 Mariner Street
Suite 105
Tampa, FL 33609
Phone: 813.288.0233

RE: **Heritage Tree Removal**
Wendy's 28090 Quail's Nest Lane - DOS23-97966-BOS
CPH Project No. Q0606

Ms. Gibson,

This letter is written to provide you and the Tree Advisory Board with information regarding heritage trees on the site of the proposed Wendy's development. There are three (3) heritage trees on the subject site:

Tree #	DBH (in.)	Common Name	Botanical Name	Condition
1002	32	Live Oak	<i>Quercus virginiana</i>	3
1011	17.7/32.3	Live Oak	<i>Quercus virginiana</i>	3
1012	34	Live Oak	<i>Quercus virginiana</i>	3

Tree condition ratings based on evaluation of health, structure and form as described in the *Guide to Plant Appraisal*, 10th Edition: 1-Excellent 2-Good 3-Fair 4-Poor 5-Very Poor 6-Dead

An exhibit is attached showing the location of the heritage trees in relation to the proposed development. The Tree Removal Plan sheet and photos of the heritage trees are also attached. The three Heritage trees cannot be preserved due to their location and the proposed grade changes and construction. The applicant proposes to replace the heritage trees with trees at least 20 feet in height and minimum 4-inch caliper.

Thank you for your consideration. If you have any questions, please feel free to contact me at 941-587-7436 or via e-mail at dlanders@cphcorp.com.

Sincerely,

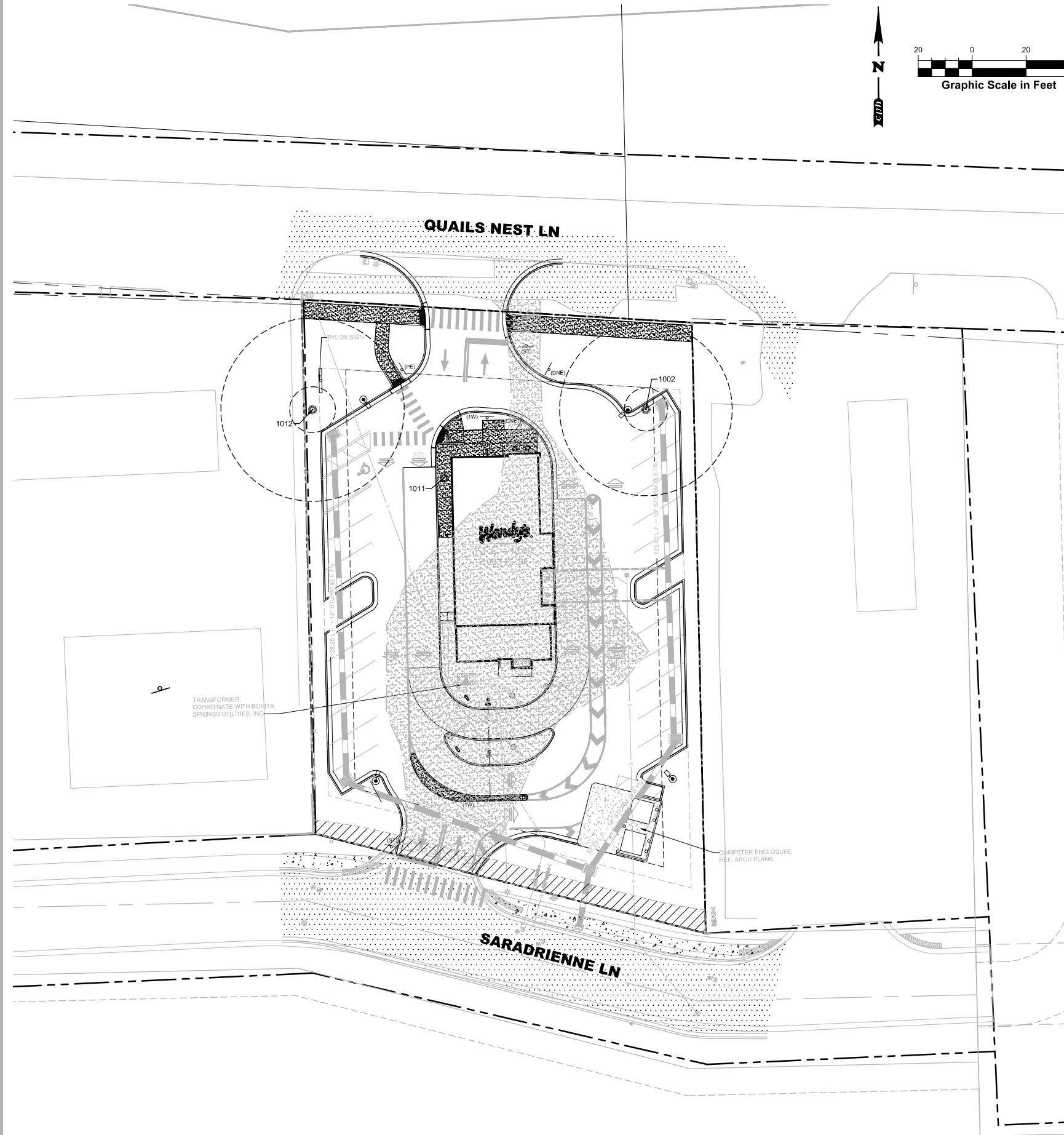
CPH, LLC.

David A. Landers
Senior Environmental Scientist
ISA-Certified Arborist FL-6610A

Attachments:

1. Heritage Tree Exhibit
2. Tree Removal Plan
3. Heritage Tree Photos

3/2/2023, 1:43 PM, J:\00000\landscape\DWG\Plan\Main\Design\Plan\Q0055 - TRP.dwg, amlmcd



HERITAGE TREE LIST				
NUMBER	COMMON NAME	BOTANICAL NAME	D.B.H.	CONDITION
1002	LIVE OAK	QUERCUS VIRGINIANA	32"	3
1011	LIVE OAK	QUERCUS VIRGINIANA	17.7"/32.3"	3
1012	LIVE OAK	QUERCUS VIRGINIANA	34"	3

CONDITION:
(3) - FAIR, (4) - POOR, (5) - DEAD

REMOVED HERITAGE TREES: 3
TREES IN POOR CONDITION: 0
TREES WITHOUT CONDITION: 3

PROTECTED TREES LIST: SEC.7-232



THIS SHEET NOT VALID FOR
CONSTRUCTION UNLESS
STAMPED APPROVED

ALL IMPROVEMENTS ARE TO BE
OWNED AND MAINTAINED BY THE
PROPERTY OWNER AND WILL NOT
BE DEDICATED TO THE PUBLIC OR
MAINTAINED BY THE PUBLIC.

SITE NUMBER:	00000
BUILDING TYPE:	(2.0) SMART 40+
ASSET TYPE:	FREESTANDING
CLASSIFICATION:	NEW
OWNER:	COMPANY/FRANCHISE
BASE VERSION:	2020
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2022
DESIGN TYPE:	(2.0) UM BRITE
DRAWING RELEASE:	SUMMER



506 West Fulton Street
Sanford, FL 32771
Ph: 407.322.6841
Licenses:
Eng. C.O.A. No. 3215
Survey L.S. No. 7143
Arch. Lic. No. AA2600926
Lndscp. Lic. No. LC0000298

PROJECT TYPE: NEW
SMART 40+

Wendy's.
28090 QUAILS NEST LANE
28090 QUAILS NEST LANE

REV.	DATE	DESCRIPTION
▲		
▲		
▲		
▲		
▲		

ISSUE DATE: 07/01/2022
CPI PROJECT NUMBER: Q0056
DRAWN BY: MC
CHECKED BY: DB

PERMIT SET

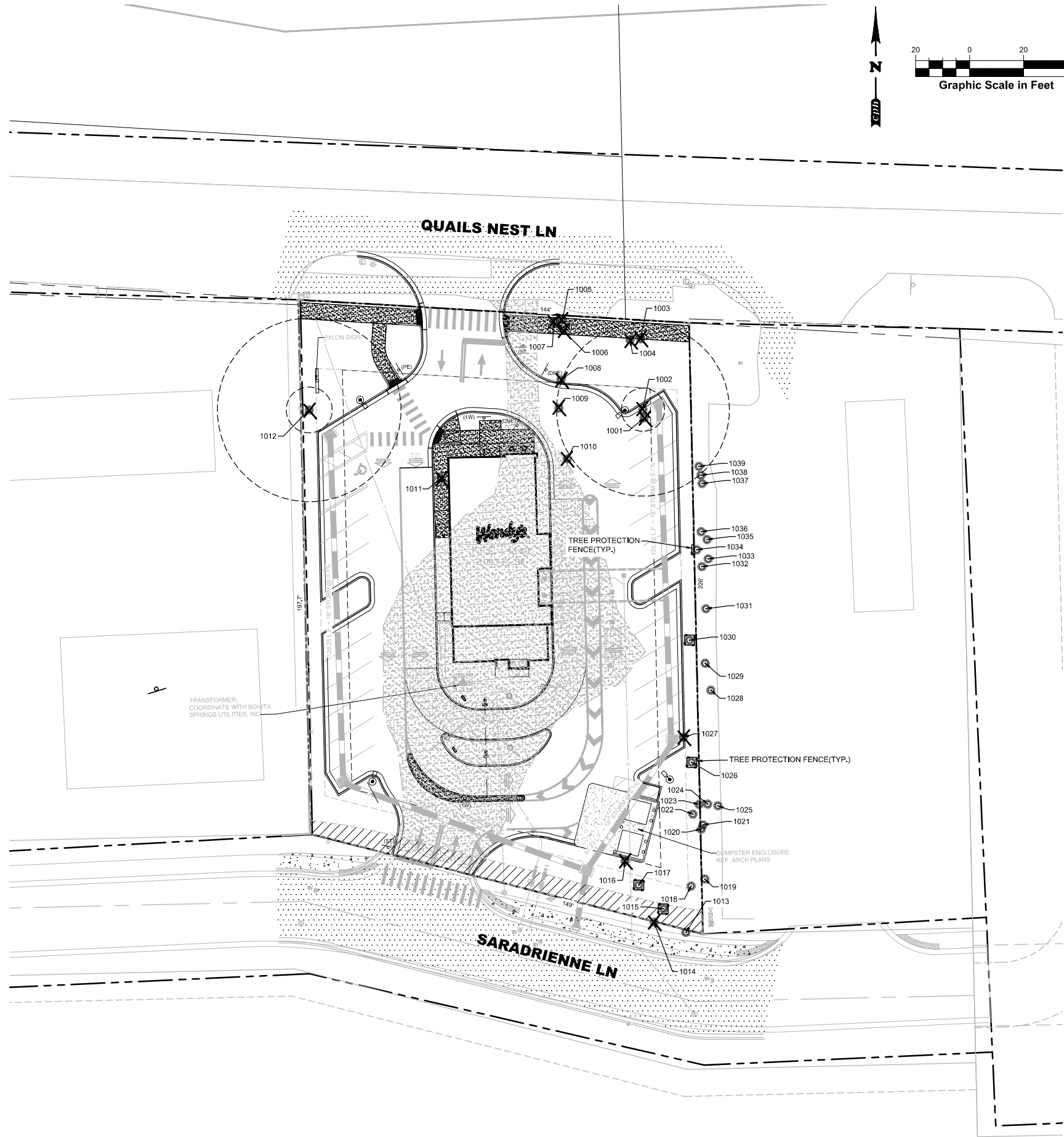
THIS SHEET NOT VALID FOR
CONSTRUCTION WITHOUT
COMPLETE SET OF PLANS.

SHEET NAME
HERITAGE TREE
EXHIBIT

SHEET NUMBER

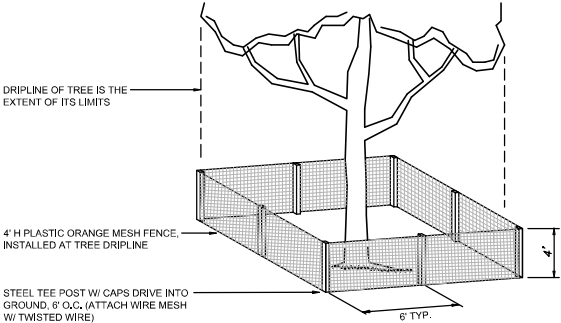
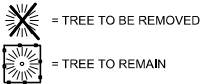
EX1.0

3/2/2023, 4:43 PM, J:\000000\landscape\DWG\Plan\Main\Design\Plan\Q0655 - TRP.dwg, amlmcd



EXISTING TREE LIST						
NUMBER	COMMON NAME	BOTANICAL NAME	D.B.H.	CONDITION	STATUS	NOTE
1001	CABBAGE PALM	SABAL PALMETTO	10"	4	REMOVE	PROTECTED
1002	LIVE OAK	QUERCUS VIRGINIANA	32"	3	REMOVE	HERITAGE
1003	CABBAGE PALM	SABAL PALMETTO	14.5"	3	REMOVE	PROTECTED
1004	CABBAGE PALM	SABAL PALMETTO	11.3"	3	REMOVE	PROTECTED
1005	CABBAGE PALM	SABAL PALMETTO	10.2"	4	REMOVE	PROTECTED
1006	CABBAGE PALM	SABAL PALMETTO	9.2"	3	REMOVE	PROTECTED
1007	CABBAGE PALM	SABAL PALMETTO	10"	4	REMOVE	PROTECTED
1008	CABBAGE PALM	SABAL PALMETTO	9.5"	3	REMOVE	PROTECTED
1009	CABBAGE PALM	SABAL PALMETTO	8.9"	3	REMOVE	PROTECTED
1010	CABBAGE PALM	SABAL PALMETTO	10.9"	4	REMOVE	PROTECTED
1011	LIVE OAK	QUERCUS VIRGINIANA	17.7"/32.3"	3	REMOVE	HERITAGE
1012	LIVE OAK	QUERCUS VIRGINIANA	34"	3	REMOVE	HERITAGE
1013	CABBAGE PALM	SABAL PALMETTO	12"	3	REMAIN	PROTECTED
1014	CABBAGE PALM	SABAL PALMETTO	13"	4	REMOVE	PROTECTED
1015	CABBAGE PALM	SABAL PALMETTO	12"	3	REMAIN	PROTECTED
1016	CABBAGE PALM	SABAL PALMETTO	12"	4	REMOVE	PROTECTED
1017	CABBAGE PALM	SABAL PALMETTO	13"	3	REMAIN	PROTECTED
1018	CABBAGE PALM	SABAL PALMETTO	11"	3	REMAIN	PROTECTED
1019	CABBAGE PALM	SABAL PALMETTO	12.6"	3	REMAIN	PROTECTED
1020	CABBAGE PALM	SABAL PALMETTO	12"	3	REMAIN	PROTECTED
1021	CABBAGE PALM	SABAL PALMETTO	13"	3	REMAIN	PROTECTED
1022	CABBAGE PALM	SABAL PALMETTO	13"	3	REMAIN	PROTECTED
1023	CABBAGE PALM	SABAL PALMETTO	11"	3	REMAIN	PROTECTED
1024	CABBAGE PALM	SABAL PALMETTO	13"	3	REMAIN	PROTECTED
1025	CABBAGE PALM	SABAL PALMETTO	11"	3	REMAIN	PROTECTED
1026	CABBAGE PALM	SABAL PALMETTO	13"	3	REMAIN	PROTECTED
1027	LIVE OAK	QUERCUS VIRGINIANA	19.2"	3	REMOVE	PROTECTED
1028	CABBAGE PALM	SABAL PALMETTO	13"	3	REMAIN	PROTECTED
1029	CABBAGE PALM	SABAL PALMETTO	13"	3	REMAIN	PROTECTED
1030	CABBAGE PALM	SABAL PALMETTO	13"	3	REMAIN	PROTECTED
1031	CABBAGE PALM	SABAL PALMETTO	11"	3	REMAIN	PROTECTED
1032	CABBAGE PALM	SABAL PALMETTO	12"	3	REMAIN	PROTECTED
1033	CABBAGE PALM	SABAL PALMETTO	12"	3	REMAIN	PROTECTED
1034	CABBAGE PALM	SABAL PALMETTO	12"	3	REMAIN	PROTECTED
1035	CABBAGE PALM	SABAL PALMETTO	12"	3	REMAIN	PROTECTED
1036	CABBAGE PALM	SABAL PALMETTO	12"	3	REMAIN	PROTECTED
1037	CABBAGE PALM	SABAL PALMETTO	10"	3	REMAIN	PROTECTED
1038	CABBAGE PALM	SABAL PALMETTO	13"	4	REMAIN	PROTECTED
1039	CABBAGE PALM	SABAL PALMETTO	12"	3	REMAIN	PROTECTED

TREE LEGEND



TREE PROTECTION DETAIL

N.T.S.

TREE BARRICADE APPROVAL
OBTAIN CITY APPROVAL OF TREE BARRICADES PRIOR TO BEGINNING CLEARING OPERATIONS
OR ANY SITE DEVELOPMENTS

TREE PROTECTION NOTES:

- Four (4) foot high orange mesh construction fencing shall be installed encompassing the drip line of each tree, or one foot in diameter for each inch of trunk diameter, whichever is greater. When surveyed fencing shall be moved to the edge of the tree protection area (TPA) as indicated on plans and be maintained through completion of construction.
- Where the TPA occurs within 10 feet of the tree trunk, a trenching device shall be used to sever tree roots. Root raking shall not occur before roots have been cleanly severed.
- All equipment and/or materials are prohibited within the TPA. Including but not limited to cement wash-out, chemicals, fuel or equipment servicing.
- Grade changes shall not occur within the TPA. No fill shall be added, removed or stored within the TPA with exception of prescribed potting soil (see item 10).
- Brush and weeds occurring within the TPA shall be cleared by hand or utilizing only the mower of a light wheeled farm tractor (less than 60 hp). During such activities soil profiles shall not be disturbed.
- Root-rilling, diskling, root raking or other clearing methods that disturb the soil profile are expressly prohibited.
- Utility lines and/or irrigation lines shall not occur within the TPA.
- Saved trees shall be pruned to remove dead and damaged wood, correct structural defects and to provide access and visibility.
- Pruning shall be completed under direct observation by the owner designated ISA certified arborist and be accomplished by an arborist with five years or more experience pruning trees to ISA standards. Arborist must obtain approval from the owner prior to commencement of pruning activities. Two week advance notification is required.
- Landscaping within TPA shall not disturb existing soil profiles. Eight inches of potting soil shall be imported and evenly spread to provide a planting medium within TPA.

CONDITION:
(3) - FAIR, (4) - POOR, (5) - DEAD

REMOVED:
TREES IN POOR CONDITION: -
TREES WITHOUT CONDITION: -
PROVIDED TREES: -

PROTECTED TREES LIST: SEC.7-232



THIS SHEET NOT VALID FOR
CONSTRUCTION UNLESS
STAMPED APPROVED

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MAINTAINED BY THE PUBLIC.

SITE NUMBER: 00000
BUILDING TYPE: (2.0) SMART 40+
ASSET TYPE: FREESTANDING
CLASSIFICATION: NEW
OWNER: COMPANY/FRANCHISE
BASE VERSION: 2020
UPGRADE CLASSIFICATION:
NEW BUILD
PROJECT YEAR: 2022
DESIGN TYPE: (2.0) UM BRITE
DRAWING RELEASE: SUMMER



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Lndscp. Lic. No. LC0000298

PROJECT TYPE: NEW
SMART 40+

Wendy's
28090 QUAILS NEST LANE
28090 QUAILS NEST LANE

REV.	DATE	DESCRIPTION
▲		
▲		
▲		
▲		
▲		

ISSUE DATE: 07/01/2022
CPI PROJECT NUMBER: Q0655
DRAWN BY: MC
CHECKED BY: DB

PERMIT SET

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COMPLETE SET OF PLANS.

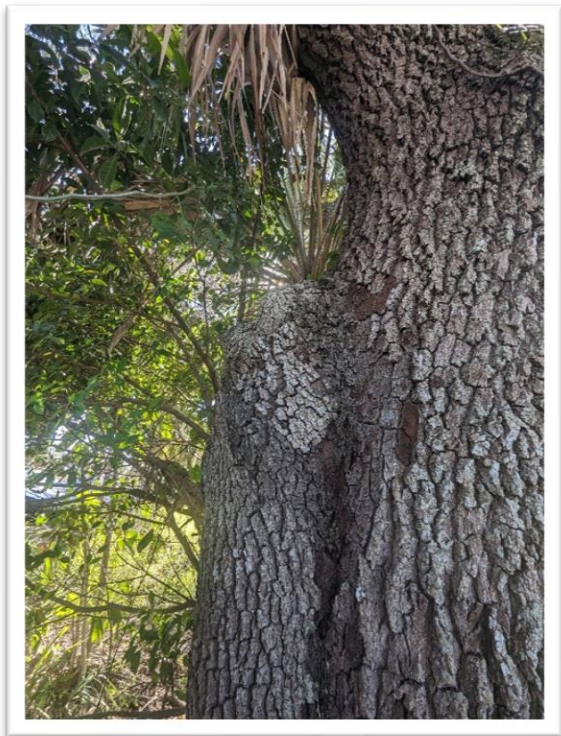
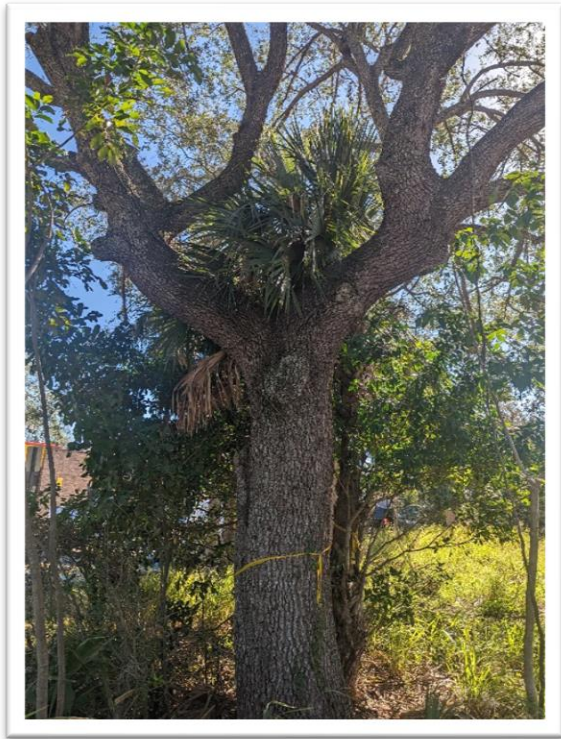
SHEET NAME
TREE REMOVAL PLAN

SHEET NUMBER

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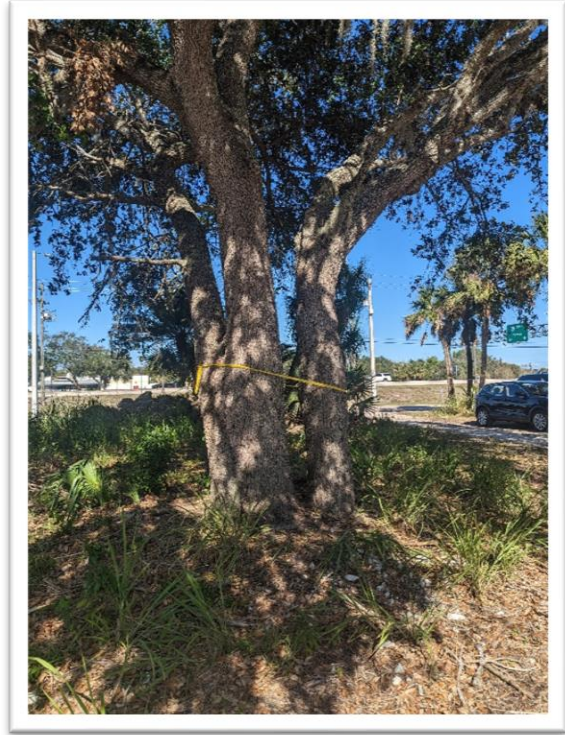
28090 QUAIL'S NEST LANE - DOS23-97966-BOS
Heritage Tree Photographs

Tree 1002



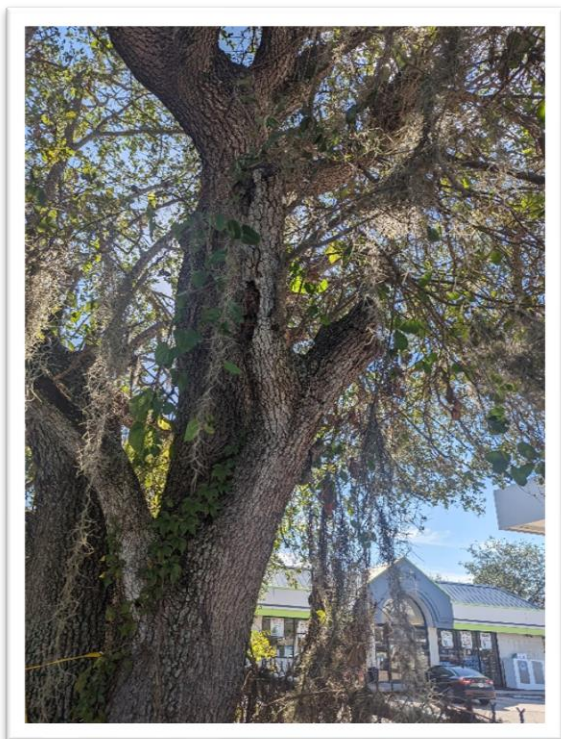
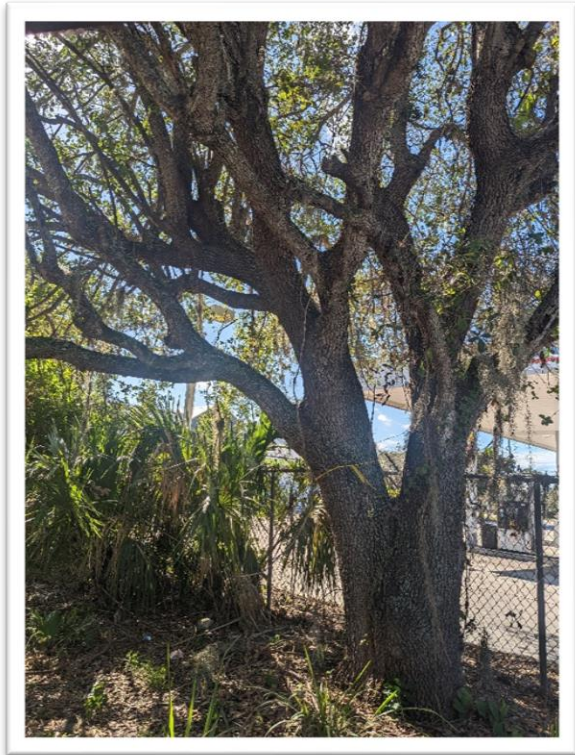
28090 QUAIL'S NEST LANE - DOS23-97966-BOS
Heritage Tree Photographs

Tree 1011



28090 QUAIL'S NEST LANE - DOS23-97966-BOS
Heritage Tree Photographs

Tree 1012





TREE ADVISORY BOARD
OFFICIAL SITE VISIT SUMMARY

DOS22-96856-BOS, Highland Woods Pool
Café and Pro Shop
9090 – 9311 HIGHLAND WOODS BLVD
BONITA SPRINGS, FLORIDA 34135
FEBRUARY 7, 2023 at 8:30 A.M.

Present:

Board Members Phil Buck and David Dore-Smith

Laura Gibson, Community Development

Summary:

Staff and Board Members met at the site for the purpose of evaluating the location and health of the heritage trees to be removed in relation to the proposed development. Potential options for mitigating the heritage trees to be removed were discussed. No official decisions were made at this meeting.

LANDSCAPE PLANS

BONITA SPRINGS, FL, DEVELOPMENT ORDER
for

HIGHLAND WOODS POOL CAFE AND PRO SHOP

Owner/Developer:

HIGHLAND WOODS GOLF AND COUNTRY CLUB INC

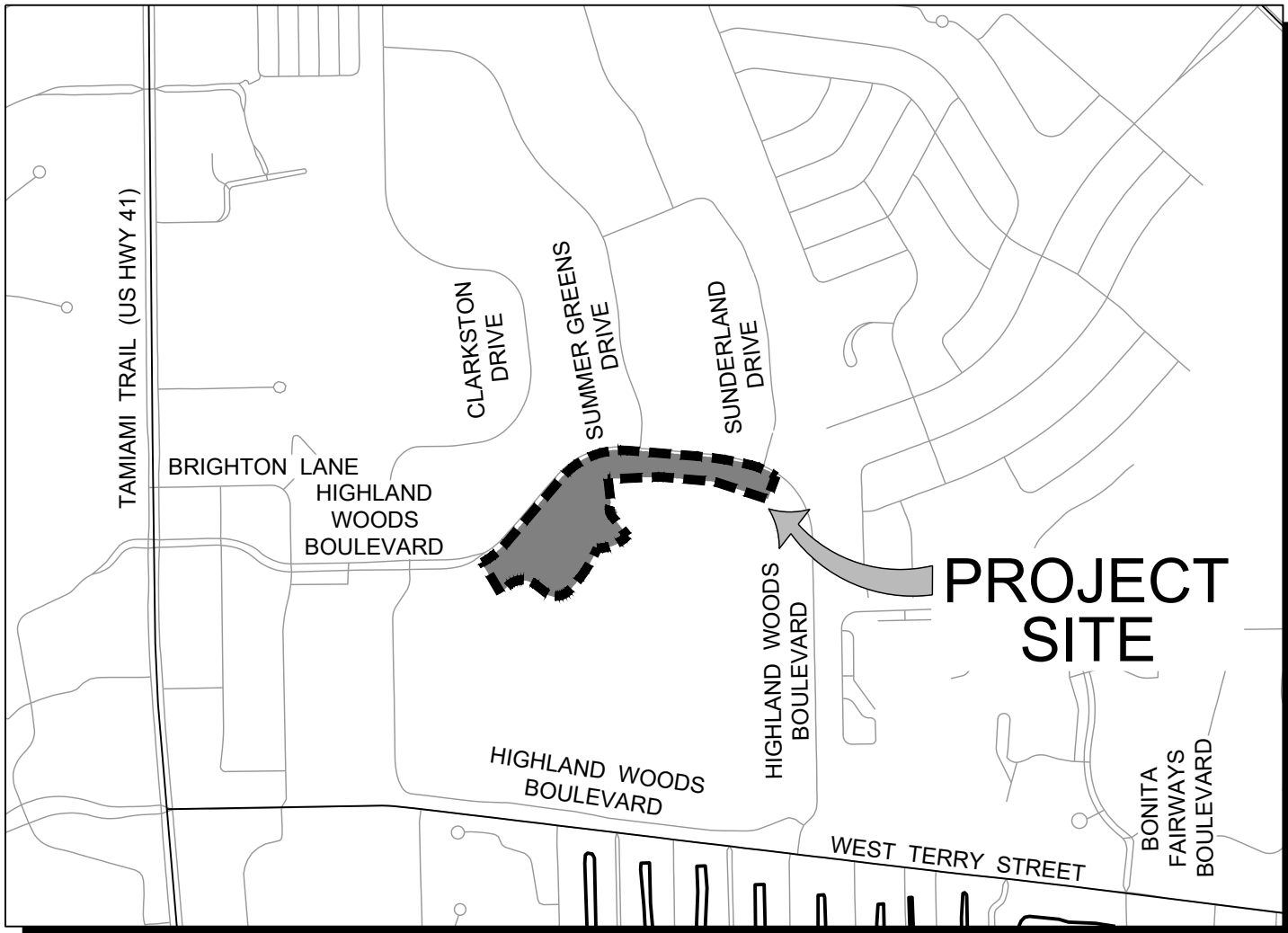
9100 Highland Woods Blvd
Bonita Springs, FL 34135
Tel: (239) 495-4800
Fax: (239) 495-4898

PROPERTY INFORMATION

RESOLUTION Z-89-089
CITY OF BONITA SPRINGS ZONING: RPD
ENVIRONMENTAL RESOURCE PERMIT NO. 36-02912-S

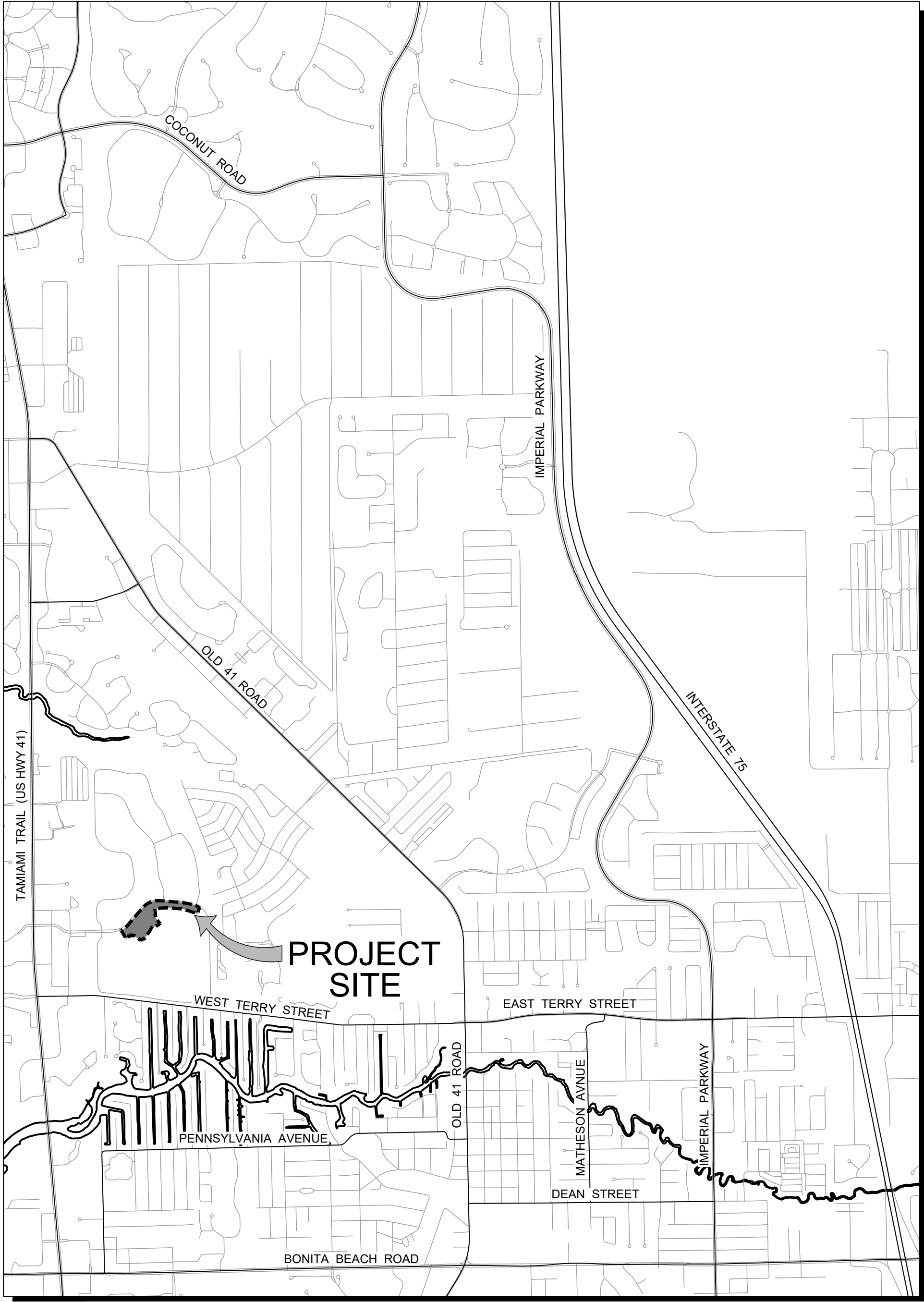
LEE COUNTY STRAP:

27-47-25-B4-0110A.00CE, 27-47-25-B4-00110B00CE, &
27-47-25-B4-00110.F000



VACINITY MAP
SCALE: 1" = 1000'

SCALE: 1" = 1000'

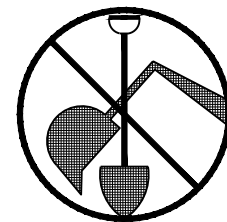


LOCATION MAP
SCALE: 1" = 2000'

SCALE: 1" = 2000'

LANDSCAPE ARCHITECTURAL PLANS TABLE OF CONTENTS

Dwg. No.	Description
1	COVER SHEET
2	EXISTING CONDITIONS DEMOLITION PLAN
3	HERITAGE TREE INFORMATION SHEET
4	DO LANDSCAPE PLAN
5	PLANT SCHEDULE & DETAILS SHEET



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BEFORE YOU
EXCAVATE



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TOLL FREE

FL. STATUTE 553.851 (1979) REQUIRES
MIN. OF 2 DAYS AND MAX. OF 5 DAYS
NOTICE BEFORE YOU EXCAVATE.



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Civil Engineers
Landscape Architects
Land Surveyors
Planners

Bonita Springs 239.947.1144
Fort Myers 239.690.4380

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Richard P. Chalupa, RLA

License No. 6667463

HIGHLAND WOODS POOL CAFE AND PRO SHOP
COVER SHEET
BONITA SPRINGS, FL

REVISIONS
1. REVISIONS PER CITY OF BONITA /
T.A.B. COMMENTS: 01/26/2023
2. REVISIONS PER BONITA SPRINGS
COMMENTS DATED 02/06/2023

SHEET
1 OF 5

DATE: SEPTEMBER 2022

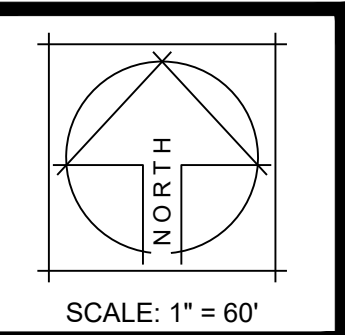
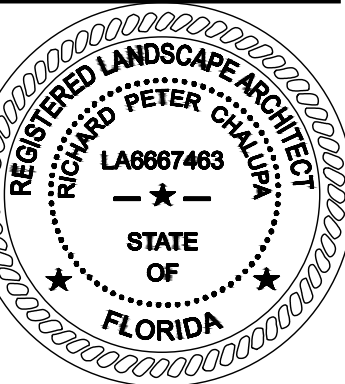


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Bonita Springs 239.947.1144
Fort Myers 239.690.4380

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HIGHLAND WOODS POOL CAFE AND PRO SHOP
EXISTING CONDITIONS DEMOLITION PLAN
BONITA SPRINGS, FL

REVISIONS	
1.	REVISIONS PER CITY OF BONITA / T.A.B. COMMENTS: 01/26/2023
2.	REVISIONS PER BONITA SPRINGS COMMENTS DATED 02/06/2023

SHEET
2 OF 5

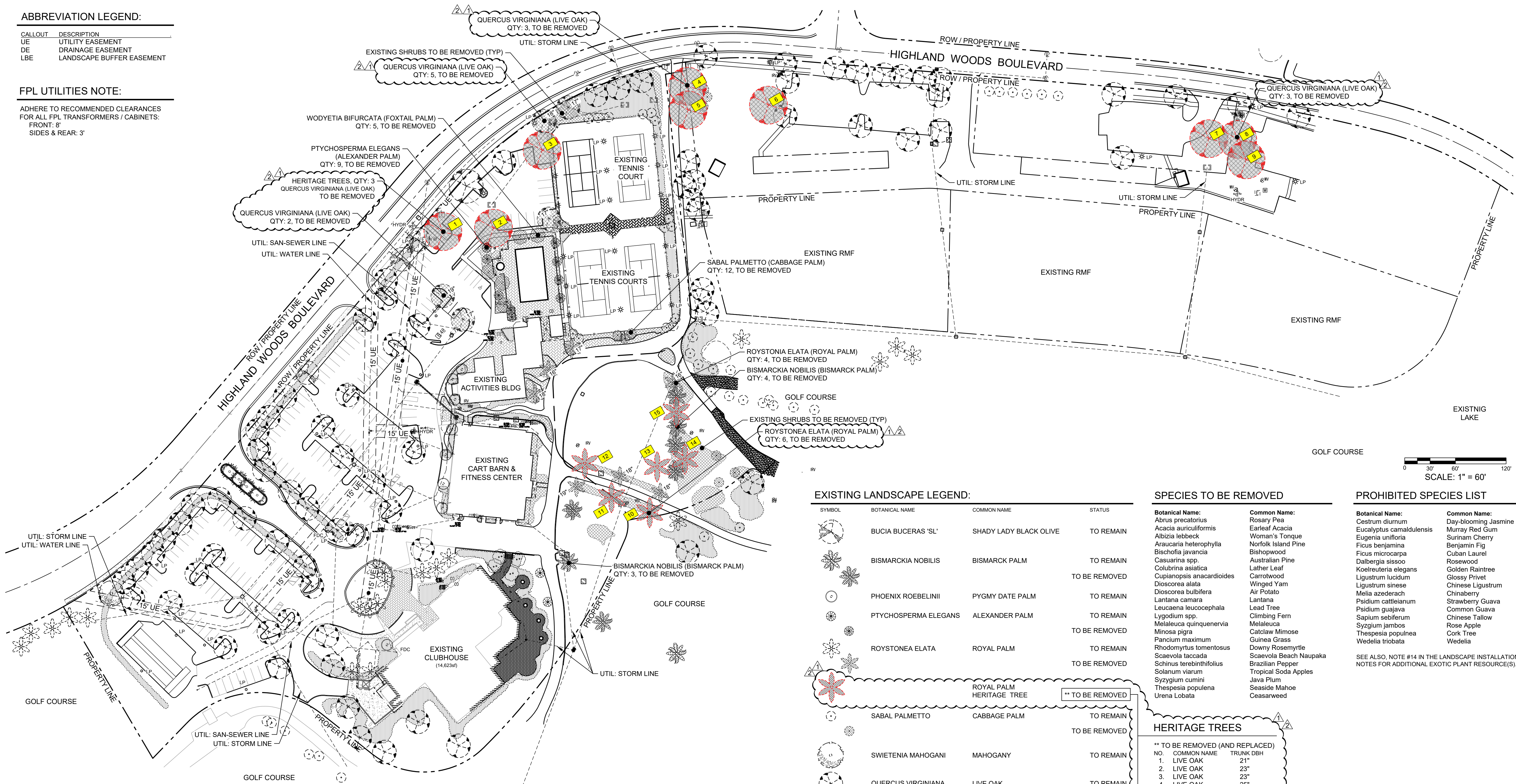
DATE: SEPTEMBER 2022

ABBREVIATION LEGEND:

CALLOUT	DESCRIPTION
UE	UTILITY EASEMENT
DE	DRAINAGE EASEMENT
LBE	LANDSCAPE BUFFER EASEMENT

FPL UTILITIES NOTE:

ADHERE TO RECOMMENDED CLEARANCES
FOR ALL FPL TRANSFORMERS / CABINETS:
FRONT: 8'
SIDES & REAR: 3'



EXISTING LANDSCAPE LEGEND:

SYMBOL	BOTANICAL NAME	COMMON NAME	STATUS
	BUCIA BUCERAS 'SL'	SHADY LADY BLACK OLIVE	TO REMAIN
	BISMARCKIA NOBILIS	BISMARCK PALM	TO REMAIN
	PHOENIX ROEBELINII	PYGMY DATE PALM	TO REMAIN
	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	TO REMAIN
	ROYSTONEA ELATA	ROYAL PALM	TO REMAIN
	SABAL PALMETTO	CABBAGE PALM	TO REMAIN
	SWIETENIA MAHOGANI	MAHOGANY	TO REMAIN
	QUERCUS VIRGINIANA	LIVE OAK	TO REMAIN
	VEITCHIA MERILLII	CHRISTMAS PALM	TO REMAIN
	WODYETIA BIFURCATA	FOXTAIL PALM (double)	TO REMAIN
	WODYETIA BIFURCATA	FOXTAIL PALM (single)	TO BE REMOVED
	EXISTING SHRUBS	- varies -	TO REMAIN
	EXISTING SHRUBS	- varies -	TO BE REMOVED

SPECIES TO BE REMOVED

Botanical Name:	Common Name:
Abrus precatorius	Rosary Pea
Acacia auriculiformis	Earleaf Acacia
Albizia lebbek	Woman's Tongue
Araucaria heterophylla	Norfolk Island Pine
Bischofia javanica	Bishopwood
Casuarina spp.	Australian Pine
Colubrina asiatica	Lather Leaf
Cupianopsis anacardioides	Carrotwood
Dioscorea alata	Winged Yam
Dioscorea bulbifera	Air Potato
Lantana camara	Lantana
Leucaena leucocephala	Lead Tree
Lygodium spp.	Climbing Fern
Melaleuca quinquenervia	Melaleuca
Mimosa pigra	Catclaw Mimosa
Panicum maximum	Guinea Grass
Rhodomyrtus tomentosa	Downy Rosemyrtle
Scaevola taccada	Scaevola Beach Naupaka
Schinus terebinthifolius	Brazilian Pepper
Syzygium cumini	Tropical Soda Apples
Thespesia populnea	Java Plum
Urena lobata	Seaside Mahoe
	Cearseweed

HERITAGE TREES

** TO BE REMOVED (AND REPLACED)	COMMON NAME	TRUNK DBH
1.	LIVE OAK	21"
2.	LIVE OAK	23"
3.	LIVE OAK	23"
4.	LIVE OAK	25"
5.	LIVE OAK	25"
6.	LIVE OAK	23"
7.	LIVE OAK	28"
8.	LIVE OAK	27"
9.	LIVE OAK	35"
10.	ROYAL PALM	24"
11.	ROYAL PALM	23"
12.	ROYAL PALM	21"
13.	ROYAL PALM	23"
14.	ROYAL PALM	21"
15.	ROYAL PALM	24"

PROHIBITED SPECIES LIST

Botanical Name:	Common Name:
Cestrum diurnum	Day-blooming Jasmine
Eucalyptus camaldulensis	Murray Red Gum
Eugenia uniflora	Surinam Cherry
Ficus benjamina	Benjamin Fig
Ficus microcarpa	Cuban Laurel
Dalbergia sissoo	Rosewood
Koeleria elegans	Golden Raintree
Ligustrum lucidum	Glossy Privet
Ligustrum sinense	Chinese Ligustrum
Melia azedarach	Chinaberry
Psidium cattleianum	Strawberry Guava
Psidium guajava	Common Guava
Sapium sebiferum	Chinese Tallow
Syzygium jambos	Rose Apple
Thespesia populnea	Cork Tree
Wedelia triobata	Wedelia

SEE ALSO, NOTE #14 IN THE LANDSCAPE INSTALLATION
NOTES FOR ADDITIONAL EXOTIC PLANT RESOURCE(S).

1 HERITAGE TREE:



BOTANICAL NAME: QUERCUS VIRGINIANA
COMMON NAME: LIVE OAK
CALIPER DBH: 21"
HEALTH: GOOD

2 HERITAGE TREE:



BOTANICAL NAME: QUERCUS VIRGINIANA
COMMON NAME: LIVE OAK
CALIPER DBH: 23"
HEALTH: GOOD

3 HERITAGE TREE:



BOTANICAL NAME: QUERCUS VIRGINIANA
COMMON NAME: LIVE OAK
CALIPER DBH: 23"
HEALTH: GOOD

4 HERITAGE TREE:



BOTANICAL NAME: QUERCUS VIRGINIANA
COMMON NAME: LIVE OAK
CALIPER DBH: 25"
HEALTH: GOOD

5 HERITAGE TREE:



BOTANICAL NAME: QUERCUS VIRGINIANA
COMMON NAME: LIVE OAK
CALIPER DBH: 25"
HEALTH: GOOD

6 HERITAGE TREE:



BOTANICAL NAME: QUERCUS VIRGINIANA
COMMON NAME: LIVE OAK
CALIPER DBH: 23"
HEALTH: GOOD

7 HERITAGE TREE:



BOTANICAL NAME: QUERCUS VIRGINIANA
COMMON NAME: LIVE OAK
CALIPER DBH: 28"
HEALTH: GOOD

8 HERITAGE TREE:



BOTANICAL NAME: QUERCUS VIRGINIANA
COMMON NAME: LIVE OAK
CALIPER DBH: 27"
HEALTH: GOOD, POOR LEADER STRUCTURE

9 HERITAGE TREE:



BOTANICAL NAME: QUERCUS VIRGINIANA
COMMON NAME: LIVE OAK
CALIPER DBH: 35"
HEALTH: GOOD, POOR LEADER STRUCTURE

10 HERITAGE TREE:



BOTANICAL NAME: ROYSTONEA ELATA
COMMON NAME: ROYAL PALM
CALIPER DBH: 24"
HEALTH: GOOD

11 HERITAGE TREE:



BOTANICAL NAME: ROYSTONEA ELATA
COMMON NAME: ROYAL PALM
CALIPER DBH: 21"
HEALTH: GOOD

12 HERITAGE TREE:



BOTANICAL NAME: ROYSTONEA ELATA
COMMON NAME: ROYAL PALM
CALIPER DBH: 21"
HEALTH: GOOD

13 HERITAGE TREE



BOTANICAL NAME: ROYSTONEA ELATA
COMMON NAME: ROYAL PALM
CALIPER DBH: 23"
HEALTH: GOOD

14 HERITAGE TREE:



BOTANICAL NAME: ROYSTONEA ELATA
COMMON NAME: ROYAL PALM
CALIPER DBH: 21"
HEALTH: GOOD

15 HERITAGE TREE:



BOTANICAL NAME: ROYSTONEA ELATA
COMMON NAME: ROYAL PALM
CALIPER DBH: 24"
HEALTH: GOOD

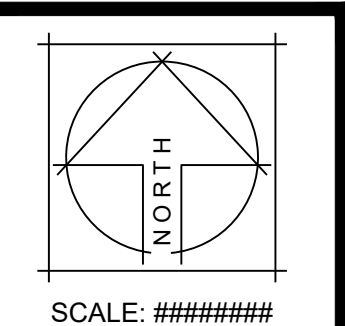
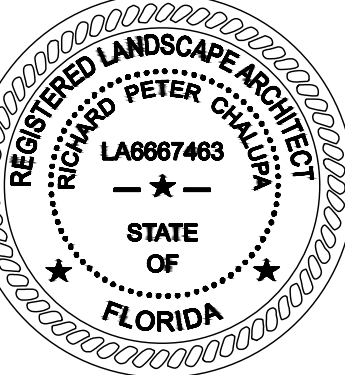


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HIGHLAND WOODS POOL CAFE AND PRO SHOP
HERITAGE TREE INFORMATION SHEET
BONITA SPRINGS, FL

REVISIONS	
1.	REVISIONS PER CITY OF BONITA / T.A.B. COMMENTS: 01/26/2023
2.	REVISIONS PER BONITA SPRINGS COMMENTS DATED 02/06/2023

SHEET
3 OF 5

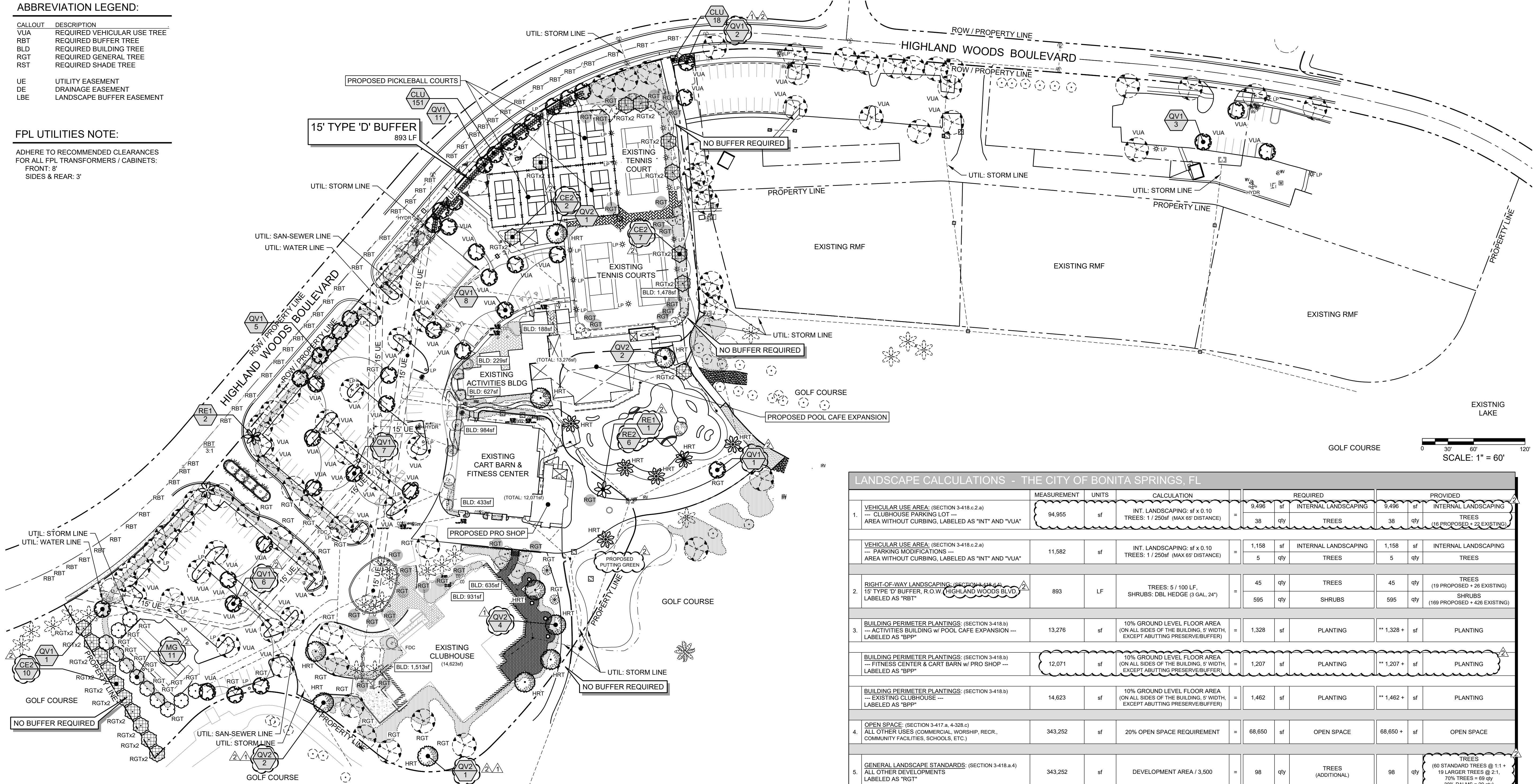
DATE: SEPTEMBER 2022

ABBREVIATION LEGEND:

CALLOUT	DESCRIPTION
VUA	REQUIRED VEHICULAR USE TREE
RBT	REQUIRED BUFFER TREE
BLD	REQUIRED BUILDING TREE
RGT	REQUIRED GENERAL TREE
RST	REQUIRED SHADE TREE
UE	UTILITY EASEMENT
DE	DRAINAGE EASEMENT
LBE	LANDSCAPE BUFFER EASEMENT

FPL UTILITIES NOTE:

ADHERE TO RECOMMENDED CLEARANCES
FOR ALL FPL TRANSFORMERS / CABINETS:
FRONT: 8'
SIDES & REAR: 3'



EXISTING LANDSCAPE LEGEND:

SYMBOL	BOTANICAL NAME	COMMON NAME	STATUS	SYMBOL	BOTANICAL NAME	COMMON NAME	STATUS
	BUCIA BUCERAS 'SL'	SHADY LADY BLACK OLIVE	TO REMAIN		SWIETENIA MAHOGANI	MAHOGANY	TO REMAIN
	BISMARCKIA NOBILIS	BISMARCK PALM	TO REMAIN		QUERCUS VIRGINIANA	LIVE OAK	TO REMAIN
	PHOENIX ROEBELINII	PYGMY DATE PALM	TO REMAIN		VEITCHIA MERILLII	CHRISTMAS PALM	TO REMAIN
	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	TO REMAIN		WODYETIA BIFURCATA	FOXTAIL PALM (double)	TO REMAIN
	ROYSTONEA ELATA	ROYAL PALM	TO REMAIN		EXISTING SHRUBS	- varies -	TO REMAIN
	SABAL PALMETTO	CABBAGE PALM	TO REMAIN				

LANDSCAPE CALCULATIONS - THE CITY OF BONITA SPRINGS, FL

	MEASUREMENT	UNITS	CALCULATION	REQUIRED	PROVIDED
1. VEHICULAR USE AREA (SECTION 3-418.c.2.a) --- CLUBHOUSE PARKING LOT AREA WITHOUT CURBING, LABELED AS "INT" AND "VUA"	94,955	sf	INT. LANDSCAPING: sf x 0.10 TREES: 1 / 250sf (MAX 65' DISTANCE)	9,496 sf 38 qty TREES	9,496 sf 38 qty TREES (16 PROPOSED + 22 EXISTING)
2. VEHICULAR USE AREA (SECTION 3-418.c.2.a) --- PARKING MODIFICATIONS AREA WITHOUT CURBING, LABELED AS "INT" AND "VUA"	11,582	sf	INT. LANDSCAPING: sf x 0.10 TREES: 1 / 250sf (MAX 65' DISTANCE)	1,158 sf 5 qty TREES	1,158 sf 5 qty TREES
3. RIGHT-OF-WAY LANDSCAPING (SECTION 3-418.a.1) 15' TYPE 'D' BUFFER, R.O.W. (HIGHLAND WOODS BLD.) LABELED AS "RBT"	893	LF	TREES: 5 / 100 LF SHRUBS: DBL HEDGE (3 GAL 24")	45 qty TREES 595 qty SHRUBS	45 qty TREES 595 qty SHRUBS (19 PROPOSED + 26 EXISTING) (169 PROPOSED + 426 EXISTING)
4. BUILDING PERIMETER PLANTINGS (SECTION 3-418.b) --- ACTIVITIES BUILDING w/ POOL CAFE EXPANSION --- LABELED AS "BPP"	13,276	sf	10% GROUND LEVEL FLOOR AREA (ON ALL SIDES OF THE BUILDING, 5' WIDTH, EXCEPT ABUTTING PRESERVE/BUFFER)	1,328 sf PLANTING	** 1,328 + sf PLANTING
5. BUILDING PERIMETER PLANTINGS (SECTION 3-418.b) --- FITNESS CENTER & CART BARN w/ PRO SHOP --- LABELED AS "BPP"	12,071	sf	10% GROUND LEVEL FLOOR AREA (ON ALL SIDES OF THE BUILDING, 5' WIDTH, EXCEPT ABUTTING PRESERVE/BUFFER)	1,207 sf PLANTING	** 1,207 + sf PLANTING
6. BUILDING PERIMETER PLANTINGS (SECTION 3-418.b) --- EXISTING CLUBHOUSE --- LABELED AS "BPP"	14,623	sf	10% GROUND LEVEL FLOOR AREA (ON ALL SIDES OF THE BUILDING, 5' WIDTH, EXCEPT ABUTTING PRESERVE/BUFFER)	1,462 sf PLANTING	** 1,462 + sf PLANTING
7. OPEN SPACE (SECTION 3-417.a.4.328.c) ALL OTHER USES (COMMERCIAL, WORKSHOP, RECR., COMMUNITY FACILITIES, SCHOOLS, ETC.)	343,252	sf	20% OPEN SPACE REQUIREMENT	68,650 sf OPEN SPACE	68,650 + sf OPEN SPACE
8. GENERAL LANDSCAPE STANDARDS (SECTION 3-418.a.4) ALL OTHER DEVELOPMENTS LABELED AS "RGT"	343,252	sf	DEVELOPMENT AREA / 3,500	98 qty TREES (ADDITIONAL)	98 qty TREES (60 STANDARD TREES @ 1:1 + 19 LARGER TREES @ 2:1, 70% TREES = 69 qty 30% PALMS = 29 qty)
9. HERITAGE TREE REPLACEMENT (SECTION 3-417.b.1.4) LABELED AS "HTR"	15	qty	HERITAGE TREES REMOVED	15 qty HERITAGE TREES REPLACED	15 qty HERITAGE TREES REPLACED
10. SIGN PLANTINGS (SECTION 3-494.b.1.g.2) LABELED AS "RSS"	0	qty	SIGNS @ 100sf PLANTING PER SIGN	0 sf SIGN PLANTINGS	0 sf SIGN PLANTINGS

** EXISTING PLANTING NOTE:
PLAN MEETS SUFFICIENT CODE REQUIREMENTS AFTER REMOVAL OF EXOTICS. EXISTING PLANTINGS MEET CODE REQUIREMENTS
OR WILL BE BROUGHT UP TO CODE IN ACCORDANCE WITH THE CITY OF BONITA SPRINGS LDC REQUIREMENTS.

CITY OF BONITA SPRINGS LAND DEVELOPMENT CODE REFERENCES:

Section 3-418.b:

Building foundation landscape planting areas will include 50% of the required area planted with groundcover.

Section 3-422:

(c) Trees and Palms

1. Code-required trees, at the time of installation, must be a minimum of ten feet in height, have a two-inch caliper 12 inches above the ground and a four-foot spread. Palms must have a minimum of eight feet of clear trunk at planting. Palms may be used in place of trees at the rate of one palm for one tree for buffer and general tree requirements. Palms with a canopy less than 20 feet shall be clustered in groups in a minimum of three. Palms may only be used to meet 30 percent of the code-required trees. Small trees such as dahoon hollies that have an average mature spread or crown less than 20 feet may be substituted by grouping the same so as to create the equivalent of a 20-foot crown spread. Trees adjacent to walkways, bike paths and rights-of-way must be maintained with eight feet of clear trunk. Palms must be properly staked at installation.

2. Larger trees substituted to reduce the minimum number of general trees, without the use of an alternative landscape betterment plan, must be no less than four inches in diameter at 12 inches above the ground, and no less than 16 feet in height at the time of planting. The general tree requirement cannot be reduced in number by more than 50 percent.

(d) Shrubs and Hedges. Shrubs must be a minimum of 20 inches (48 inches for type F buffers) in height, above the on-site adjacent pavement or parking surface required to be buffered and/or screened, when measured at time of planting. They must be a minimum three-gallon container size and be spaced 18 to 36 inches on center. They must be at least 36 inches (60 inches for type F buffers) in height within 12 months of the time of planting and maintained in perpetuity at a height of no less than 36 inches (60 inches for type F buffers) above the adjacent pavement required to be buffered and/or screened, except for visibility at intersections and where pedestrian access is provided. Required hedges must be planted in double staggered rows and maintained so as to form a continuous, unbroken, solid visual screen within a minimum of one year after the time of planting.

Section 3-423.a.3.f:

Utility, power, or drainage easements may overlap required buffers; however, no required trees or shrub may be located in any utility, power, or street easement or right-of-way. To avoid conflicts with overhead utility lines, only small trees, less than 20 feet in height at maturity, may be used directly adjacent to an overhead line.

City of Bonita Springs Utilities:

All plantings are to be offset from CoBS Utilities (water mains, force mains, etc.) by 5 feet.

B.S.U. Section 5.6.1.10.4:

Potable and irrigation meters and backflow preventers are allowed to have plantings (other than trees or aggressive system plantings) to be placed within 30" of the meters and backflow preventers, on three sides only.

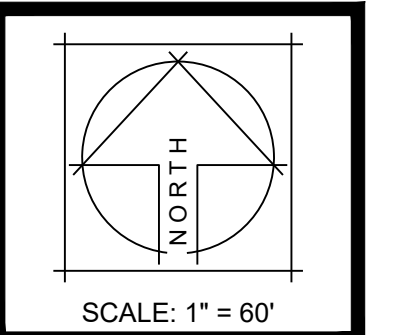
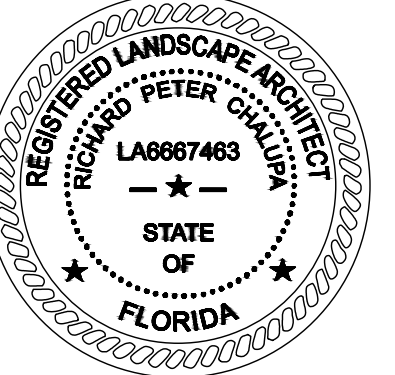


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HIGHLAND WOODS POOL CAFE AND PRO SHOP
DO LANDSCAPE PLAN
BONITA SPRINGS, FL

REVISIONS
1. REVISIONS PER CITY OF BONITA / T.A.B. COMMENTS: 01/26/2023
2. REVISIONS PER BONITA SPRINGS COMMENTS DATED 02/06/2023

SHEET
4 OF 5

DATE: SEPTEMBER 2022

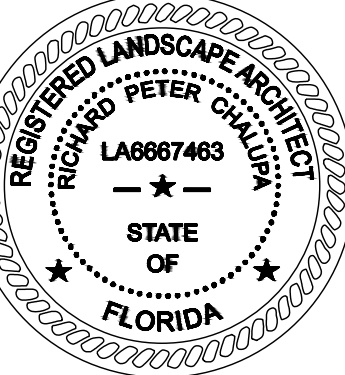


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HIGHLAND WOODS POOL CAFE AND PRO SHOP
PLANT SCHEDULE & DETAILS SHEET
BONITA SPRINGS, FL

REVISIONS
1. REVISIONS PER CITY OF BONITA / T.A.B. COMMENTS: 01/26/2023
2. REVISIONS PER BONITA SPRINGS COMMENTS DATED 02/06/2023

SHEET
5 OF 5

DATE: SEPTEMBER 2022

PLANT SCHEDULE: DEVELOPMENT ORDER

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HT. AND SPR.	CALIPER	SPEC.	NATIVE
	CE2	19	Conocarpus erectus	Buttonwood	16' ht. min.	4" cal. min.	Full crown	Yes
	MG	11	Magnolia grandiflora	Southern Magnolia	10' ht. min. x 4' spd. min.	2" cal. min.	Full crown	Yes
	QV1	44	Quercus virginiana	Southern Live Oak	10' ht. min. x 4' spd. min.	2" cal. min.	Full crown	Yes

HERITAGE TREE REPLACEMENT	CODE	QTY	BOTANICAL NAME	COMMON NAME	HT. AND SPR.	CALIPER	SPEC.	NATIVE
	QV2	10	Quercus virginiana	Southern Live Oak	20' ht. min.	4" cal. min.	Full crown	Yes
	RE2	6	Roystonea elata	Florida Royal Palm	20' ht. min.	Heavy	8' spd.	Yes

PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HT. AND SPR.	CALIPER	SPEC.	NATIVE
	RE1	3	Roystonea elata	Florida Royal Palm	8' ct min.	Heavy	4' spd. min.	Yes

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HT. AND SPR.	SPACING	NATIVE
	CLU	169	Clusia rosea	Autograph Tree	3 gal. min.	24" ht. min, at install	36" oc	Yes

SOD, MULCH and ROOT BARRIER

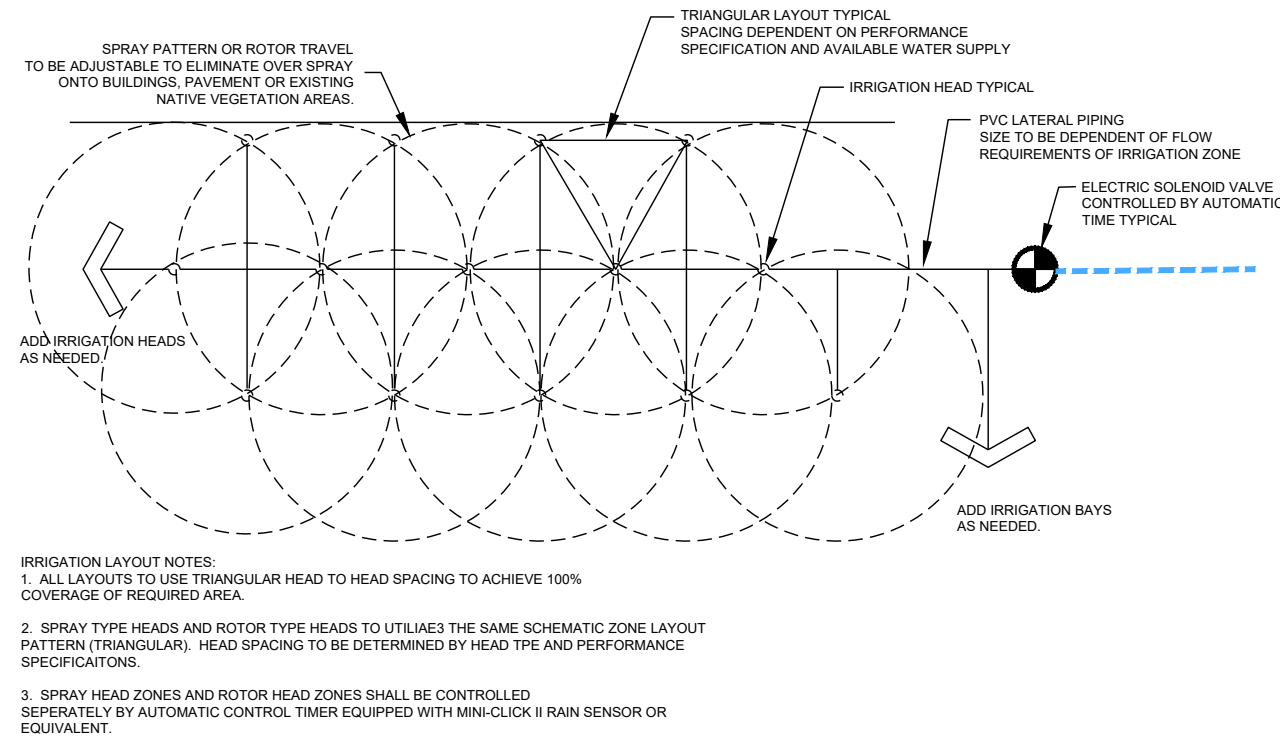
SOD	TBD	SOD ALL. PROPOSED SOD BEDS WITH STENOTAPHRUM SECUNDATUM - ST. AUGUSTINE FLORATAM SOD NOTED AS "SOD" ON PLAN. ALL OTHER DISTURBED AREAS WITH PASPALUM NOTATUM - BAHIA SOD, NOTED AS "BAHIA SOD" ON PLAN. CONTRACTOR TO VERIFY AND SUBMIT QUANTITIES.
BAHIA	TBD	

MULCH	TBD	FORESTRY SERVICES COCO BROWN, OLD FLORIDA BLEND MULCH, OR APPROVED OTHER HARDWOOD MULCH NO CYPRESS MULCH PERMITTED SHREDDED, 3" THICK, ALL PLANT BEDS AND TREES RINGS (4") DIAMETER WITHIN SOD BEDS. CONTRACTOR TO VERIFY AND SUBMIT QUANTITIES.
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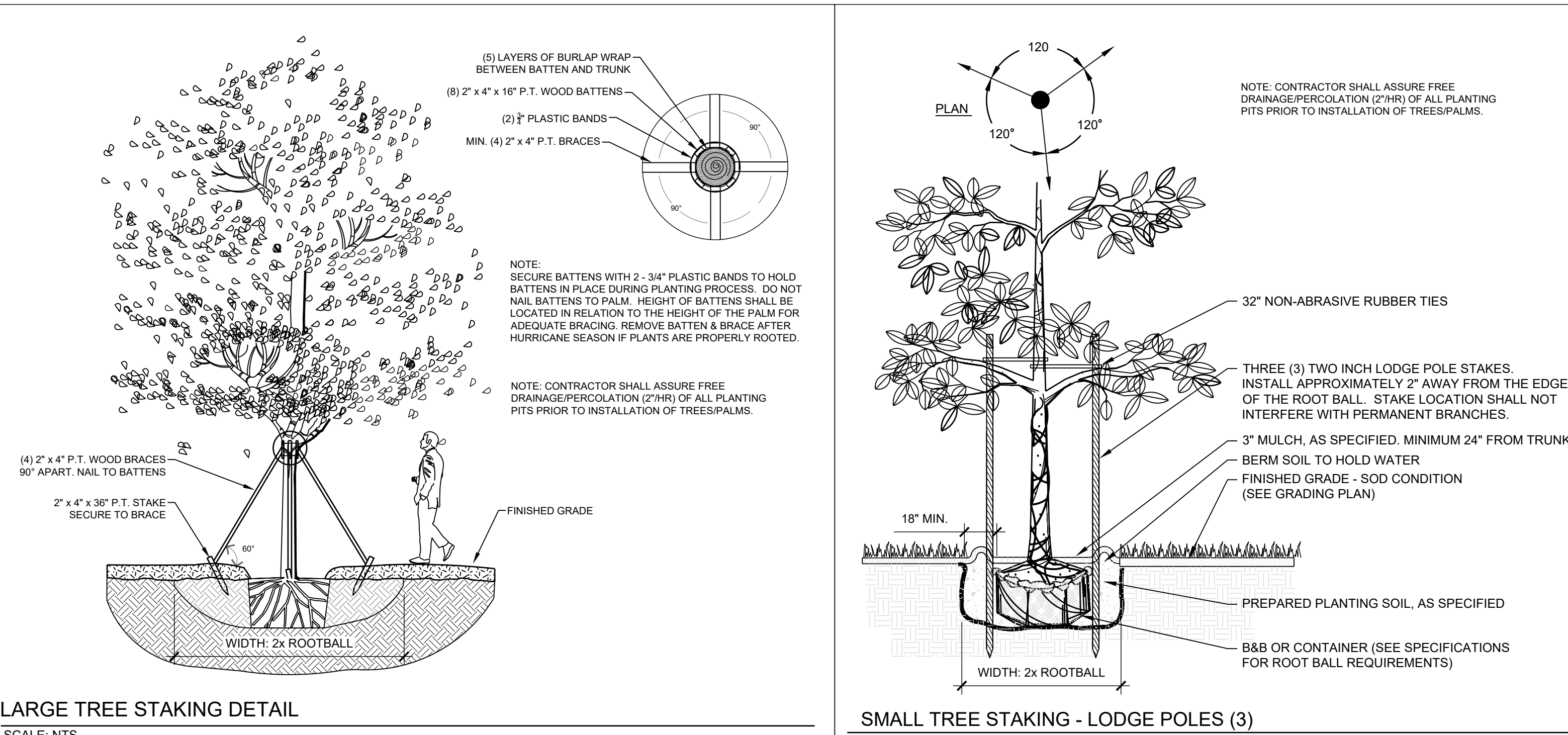
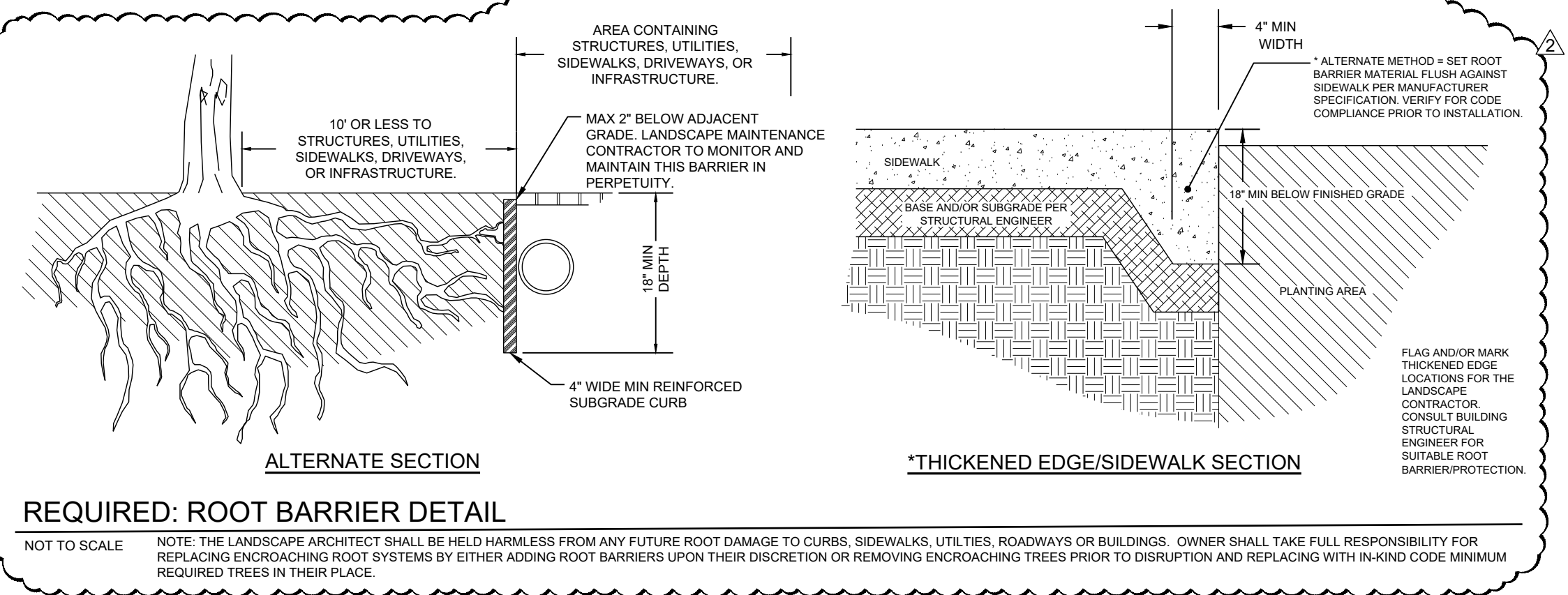
ROOT	TBD	ROOT BARRIER TO BE INSTALLED AS NECESSARY. SEE DETAILS SHEET FOR INFORMATION. CONTRACTOR TO VERIFY AND SUBMIT QUANTITIES.
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IRRIGATION NOTES:

- RETROFIT THE EXISTING IRRIGATION to maintain 100% irrigation coverage via an efficient system utilizing standards common to the industry.
- The irrigation system is to be controlled by a rain and/or wind sensor switch connected to the system controller. The location of the system controller is to be verified and coordinated as necessary to provide access and electrical connection(s).
- Verify pump and equipment locations with Owner.
- Irrigation sleeving locations indicated are diagrammatic and serve only as a guide for installation purposes. Irrigation sleeving is to be a minimum of Schedule 40 PVC two times the size of irrigation pipe. This work is to be coordinated by the General Contractor. Sleeving shall be clearly marked, flagged, or otherwise delineated above grade to avoid damage and provide ease of location for future use. Sleeving shall be utilized in areas where piping must cross a greater than 5' width, such as roads and walks.
- Irrigation Contractor to verify all sleeving locations with the Owner / Developer / General Contractor prior to installation of all subsurface and proposed impervious surfaces. This Irrigation Plan is CONCEPTUAL for Code Minimum Purposes and will need further detailing upon finalizing contracts from a selected Irrigation Designer / Landscape Architect of choice.
- Avoid overspray on pavement, buildings, etc. Utilize pressure-compensating heads for elimination of aerosol spray (This is a standard feature of INST, Hunter spray heads).
- The design is based upon the following operating parameters: 60 GPM Max. and 40 PSI Min.-60 PSI Max.
- Pipe sizing shall be determined by the Friction Loss Method and water velocity shall not exceed 5 cubic feet per second.
- Constant pressure piping shall be SCH 40 PVC.
- The Irrigation Contractor shall supply As-built drawings and material cut sheets upon installation completion and as a term of Final Acceptance. This cost shall be accommodated in the bid.
- Zones shall be marked in the controller box and corresponding valves shall have affixed to the Valve Cover a waterproof, fade-resistant tag.
- Verify installation and parts warranty prior to Contract execution.
- Irrigation heads in planting beds shall be 12" pop-up minimum and 6" pop-up minimum in sod areas. Risers, if installed, shall be black pvc consistent with later piping. Verify remaining type(s), if necessary. Install quick couplers as required or as noted.
- This system shall be automated, provide a moisture sensing device, and will avoid the application (or indirect runoff of irrigation water) of water to impervious areas.
- This system shall utilize bubblers on the required trees.
- The Irrigation Meter if required shall be supplied by the General Contractor.
- Irrigation system requires back flow prevention. Assure existing back flow prevention is functional and/or install a new back flow prevention per County requirements. Contractor shall field verify size and location.
- Irrigation lines, heads, and components shall not be installed within the ROW without a County approved Landscape Maintenance Agreement (LMA).
- Per Department of Health 64E-9.004 (e) Landscape irrigation water that wets the wet deck area of the pool, the pool itself, enters the collector tank, or wets an interactive water feature must be potable water from a public water system or shall meet the bacteriological quality of potable water as evidenced by annual laboratory analysis submitted to the department. Reclaimed water may not be used in these areas. If reclaimed water is used in the vicinity of the pool (inside of the pool fence or within 100 feet of the pool water's edge) it must employ drip irrigation or soaker hoses. Signs shall be posted notifying pool patrons that reclaimed water is in use, and is not to be consumed.
- Soil in landscape areas shall be of uniform quality, free from hard clods, stiff clay, hard pan, sods, partially disintegrated stone, lime, cement, ashes, slag, concrete, tar residues, tarred paper, boards, chips, sticks or any other undesirable material. In no case shall there be more than 5% by volume of stones, coarse sand, gravel or clay lumps larger than one inch (1") in diameter.



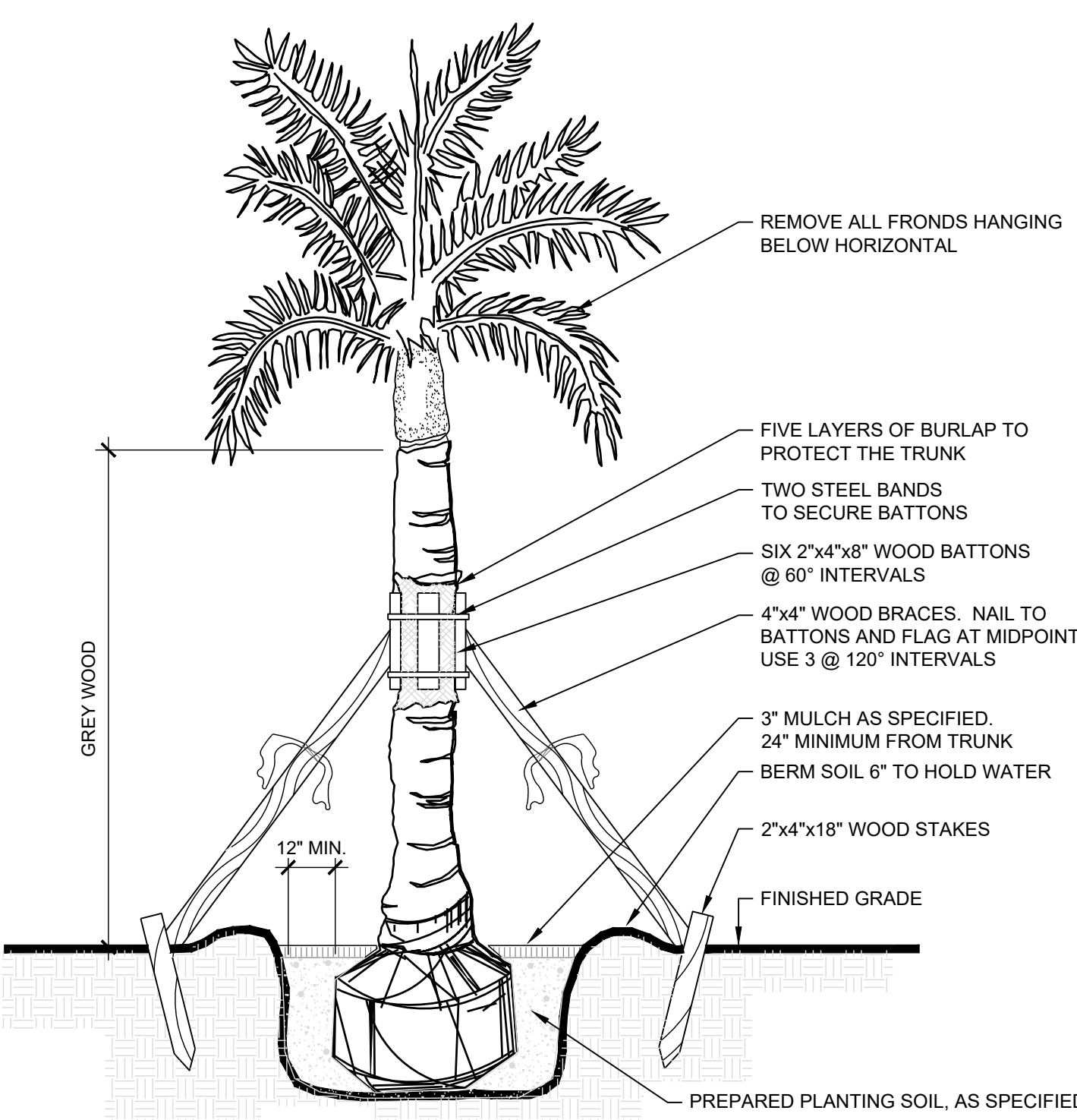
TYPICAL SPRAY IRRIGATION ZONE DIAGRAM



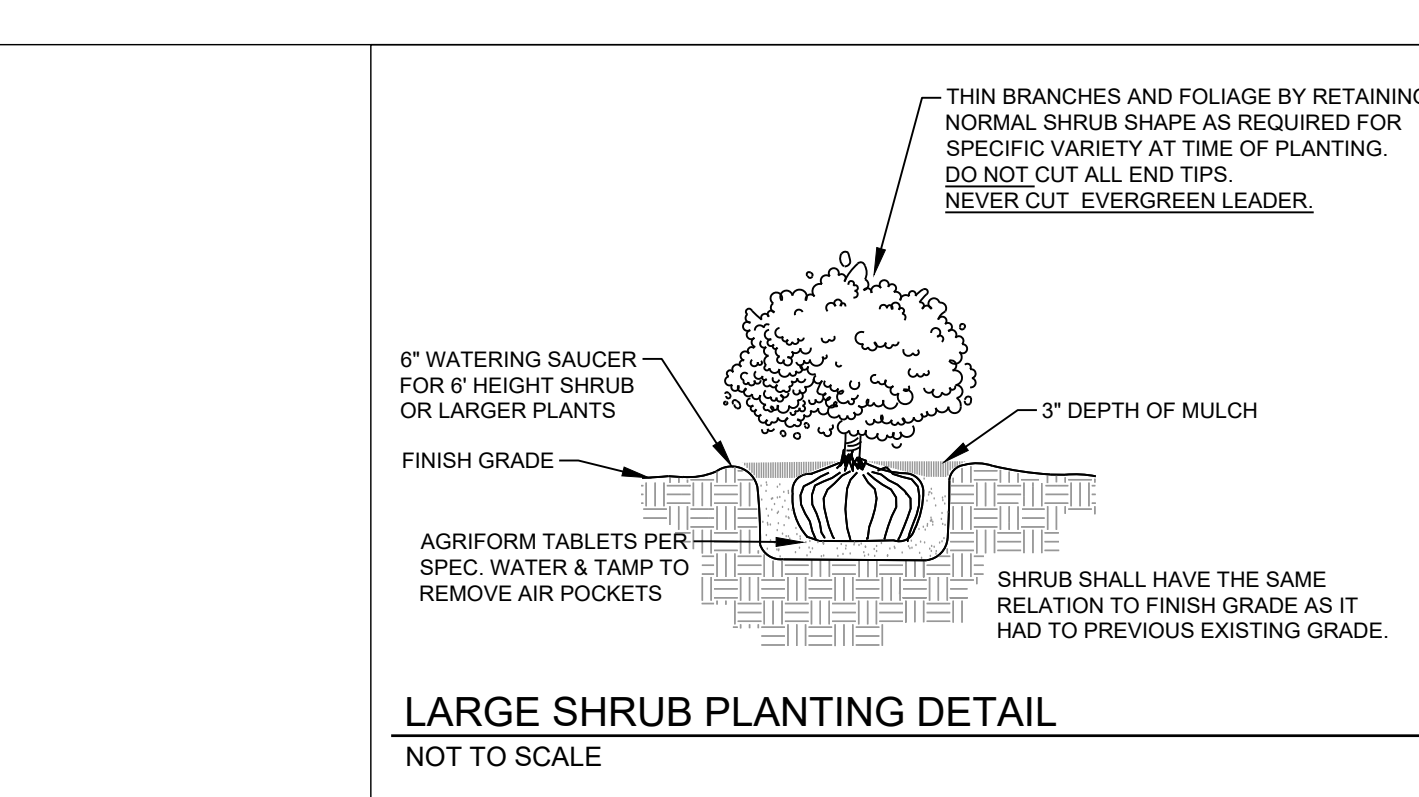
LARGE TREE STAKING DETAIL

SCALE: NTS

SMALL TREE STAKING - LODGE POLES (3)



PALM STAKING DETAIL



LARGE SHRUB PLANTING DETAIL

NOT TO SCALE

LANDSCAPE INSTALLATION NOTES:

- ALL PLANT MATERIAL MUST BE FLORIDA NO. 1.
- ALL PLANTS SHALL BE FERTILIZED WITH AGRIFORM 20-10-5 TABLETS AS PER THE MANUFACTURER'S SPECIFICATIONS IN CONJUNCTION WITH NOTE #3.
- THE PLANTING SOIL SHALL BE THE APPROXIMATE PROPORTIONS AS FOLLOWS: 50% SAND AND 50% ORGANIC MATERIAL CONSISTING OF NATIVE PEAT, WELL DECOMPOSED SAWDUST, LEAF MOLD AND TOP SOIL. IT SHALL PROVIDE A GOOD PLIABLE AND THOROUGHLY MIXED MEDIUM WITH ADEQUATE AERATION, DRAINAGE AND WATER-HOLDING CAPACITY. IT SHALL ALSO BE FREE OF ALL EXTRANEOUS DEBRIS, SUCH AS ROOTS, STONES, WEEDS, ETC.
- A SET OF CONSTRUCTION DOCUMENTS AND/OR APPROVED CODE-REQUIRED PLANS SHALL BE ON SITE AT ALL TIMES.
- ALL UTILITIES, EASEMENTS, RIGHT-OF-WAY, OWNERSHIP, AND/OR OTHER SURVEY DATA SHALL BE VERIFIED BY THE GENERAL CONTRACTOR, SITE WORK CONTRACTOR, AND/OR LANDSCAPE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
- COMPLIANCE / PERMIT ACQUISITION AND/OR DISPLAY IS REQUIRED FOR CODE-RELEVANT REQUIREMENTS (SUCH AS, BUT NOT LIMITED TO: REMOVALS, TRIMMING, REPLACEMENT, ETC.).
- VERIFY PLANT QUANTITIES AND SPECIFICATIONS WITH THE LANDSCAPE ARCHITECT (ALSO REFERENCED AS "L.A." HEREAFTER). NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE NOTED. PLANTING PLAN SHALL TAKE PRECEDENCE OVER 'PLANT LIST QUANTITIES.' THE L.A. RESERVES THE RIGHT FOR MATERIAL REJECTION IF THE INSTALLATION DOES NOT CORRESPOND TO THE PLANT LIST 'SPECIFICATION' /REMARK'.
- PLANT MATERIAL IS TO BE FLORIDA GRADE #1 MINIMUM AND FLORIDA FANCY FOR PLANT MATERIAL SPECIFIED AS "SPECIMEN". TREES ARE TO BE CONSIDERED SINGLE TRUNK AND MEET THE MINIMUM STANDARD FOR CODE WITHIN THE APPLICABLE JURISDICTION.
- SIZES/SPECIFICATIONS ARE CONSIDERED MINIMUM. INSTALLATION MATERIAL IS TO MEET OR EXCEED THESE REQUIREMENTS - VERIFY ANY DISCREPANCY PRIOR TO MATERIAL PURCHASE, DELIVERY, AND/OR INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF PLANT MATERIAL WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTACT THE L.A. FOR SPECIFIC GUIDELINES. IF A SITE CONFLICT / POTENTIAL IS NOTED, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO MATERIAL INSTALLATION. THE L.A. RESERVES THE RIGHT FOR MATERIAL RELOCATION IF THE INSTALLATION DOES NOT CORRESPOND TO THE PLANTING PLAN.
- THE LANDSCAPE CONTRACTOR AND/OR IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGED SITE UTILITIES, INFRASTRUCTURE, ETC. REPAIR / REPLACE SHALL BE A REQUIREMENT.
- VERIFY SITE REMOVALS, RELOCATIONS, AND/OR PROTECTED ITEMS PRIOR TO BID PREPARATION. THIS MAY INCLUDE BUT NOT BE LIMITED TO: SOD, SOIL, PLANT MATERIAL, STUMPS, ETC. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO COMPLETE WORK AS OUTLINED WITH THE PLANTING PLANS), SPECIFICATIONS, AND NOTES.
- QUANTITIES AND SPECIFICATION ARE SUBJECT TO ADJUSTMENT, RELOCATION, AND/OR REMOVAL DURING OR AFTER THE INSTALLATION AND SUBSEQUENT APPROVAL PROCESS BY THE L.A.
- CONTRACTOR AND / OR LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXOTIC(S) OR NUISANCE PLANTS AS DEFINED BY THE LOCAL AGENCY(IES) WHICH SHALL SUPERCEDE STATE REQUIREMENTS; HOWEVER, THE FLORIDA EXOTIC PEST PLANT COUNCIL (FLEPPC) AND/OR UP-IFAS STANDARDS SHALL BE USED AS A DATABASE TO JUSTIFY REMOVALS IF NO LOCAL ORDINANCE/CODE REQUIREMENT EXISTS.
- THE LANDSCAPE CONTRACTOR SHALL EXECUTE PRUNING VIA A CERTIFIED ARBORIST AND USING STANDARDS AS ESTABLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE. ALL PRUNING, UPON REQUEST, SHALL BE ADVISED BY THE L.A.
- TREES AND PALMS OVER 9" IN HEIGHT SHALL BE STAKED.
- THE LANDSCAPE CONTRACTOR AND/OR IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR:
A. PLANT WARRANTIES AND REPLACEMENTS, AS SPECIFIED WITHIN THEIR RESPECTIVE AGREEMENT(S)
B. PLANT MATERIAL MAINTENANCE UNTIL "SUBSTANTIAL COMPLETION"
C. PLANT MATERIAL PROTECTION ADEQUACY
D. SCOPE OF WORK VERIFICATION AND EXECUTION
E. COORDINATION OF ALL SUBCONTRACTOR(S)
- THE OWNER / GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR: 1- PROVIDING FINAL GRADE, SITE ACCESS, SECURITY OF THE SITE 2- CONTRACT REVIEW AND ACCEPTANCE OF TERMS 3- PLANT / IRRIGATION MAINTENANCE COORDINATION 4- PAYMENT MILESTONES.
- IRRIGATION SYSTEM REQUIRES BACK FLOW PREVENTION. ASSURE EXISTING BACK FLOW PREVENTION IS FUNCTIONAL AND/OR INSTALL A NEW BACK FLOW PREVENTION PER COUNTY REQUIREMENTS. CONTRACTOR SHALL FIELD VERIFY SIZE AND LOCATION.

ABBREVIATION LEGEND:

CALLOUT	DESCRIPTION
VUA	REQUIRED VEHICULAR USE TREE
RBT	REQUIRED BUFFER TREE
BLD	REQUIRED BUILDING TREE
RGT	REQUIRED GENERAL TREE
RST	REQUIRED SHADE TREE
EOW	EDGE OF WATER
EOP	EDGE OF PAVEMENT
BOC	BACK OF CURB
UE	UTILITY EASEMENT
DE	DRAINAGE EASEMENT
LME	LAKE MAINTENANCE EASEMENT
LBE	LANDSCAPE BUFFER EASEMENT

FPL UTILITIES NOTE:

ADHERE TO RECOMMENDED CLEARANCES
FOR ALL FPL TRANSFORMERS / CABINETS:
FRONT: 8'
SIDES & REAR: 3'

EXISTING LANDSCAPE LEGEND:

SYMBOL	BOTANICAL NAME	COMMON NAME	HERITAGE TREE	STATUS
	PINUS ELLIOTTII 'DENSE'	SLASH PINE	YES	TO REMAIN
	QUERCUS VIRGINIANA	LIVE OAK	YES	TO REMAIN
	GENERIC CANOPY TREE	<VARIES>	NO	TO REMAIN

SPECIES TO BE REMOVED

Botanical Name:	Common Name:
Abrus precatorius	Rosary Pea
Acacia auriculiformis	Earleaf Acacia
Albizia lebeck	Woman's Tongue
Araucaria heterophylla	Norfolk Island Pine
Bischofia javanica	Bishopwood
Casuarina spp.	Australian Pine
Colubrina asiatica	Lather Leaf
Cuplanopsis anacardioides	Carrotwood
Dioscorea alata	Winged Yam
Dioscorea bulbifera	Air Potato
Lantana camara	Lantana
Leucaena leucocephala	Lead Tree
Lygodium spp.	Climbing Fern
Melaleuca quinquenervia	Melaleuca
Mimosa pudica	Catclaw Mimosa
Panicum maximum	Guinea Grass
Rhodomyrtus tomentosa	Downy Rosemyrtle
Scaevola taccada	Scaevola Beach Naupaka
Schinus terebinthifolius	Brazilian Pepper
Solanum vium	Tropical Soda Apples
Syzygium cumini	Java Plum
Thespesia populnea	Seaside Mahoe
Urena lobata	Cessaroewood

PROHIBITED SPECIES LIST

Botanical Name:	Common Name:
Cestrum diurnum	Day-blooming Jasmine
Eucalyptus camaldulensis	Murray Red Gum
Eugenia uniflora	Surinam Cherry
Ficus benjamina	Benjamin Fig
Ficus microcarpa	Cuban Laurel
Dalbergia sissoo	Rosewood
Koeleruteria elegans	Golden Raintree
Ligustrum lucidum	Glossy Privet
Ligustrum sinense	Chinese Ligustrum
Melia azederach	Chinaberry
Psidium cattleianum	Strawberry Guava
Psidium guajava	Common Guava
Sapium sebiferum	Chinese Tallow
Syzygium jambos	Rose Apple
Thespesia populnea	Cork Tree
Wedelia triobata	Wedelia

SEE ALSO, NOTE #14 IN THE LANDSCAPE INSTALLATION
NOTES FOR ADDITIONAL EXOTIC PLANT RESOURCE(S).

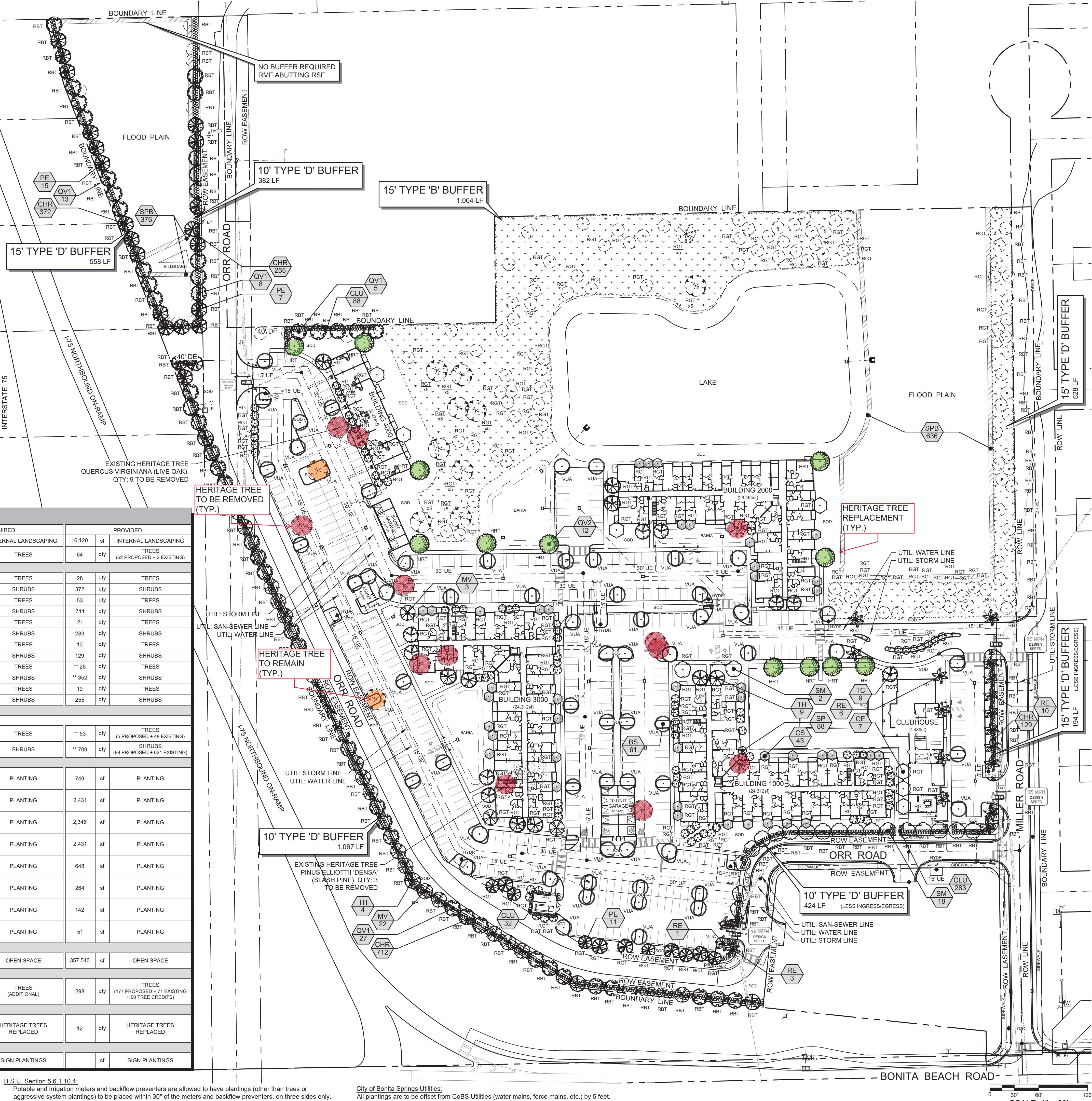
LANDSCAPE CALCULATIONS - THE CITY OF BONITA SPRINGS, FL

	MEASUREMENT	UNITS	CALCULATION		REQUIRED	PROVIDED
1. VEHICULAR USE AREA: (SECTION 3-418.c.2.a) AREA WITHOUT CURBING, LABELED AS "INT" AND "VUA"	161,196	sf	INT. LANDSCAPING: sf x 0.10 TREES: 1 / 250sf (MAX 65' DISTANCE)	=	16,120 64 qty	16,120 64 qty
2. RIGHT-OF-WAY LANDSCAPING: (SECTION 3-418.d.4) 15' TYPE 'D' BUFFER, R.O.W.: INTERSTATE 75, LABELED AS "RBT"	558	LF	TREES: 5 / 100 LF, SHRUBS: DBL HEDGE (3 GAL, 24")	=	28 qty 372 qty	28 qty 372 qty
RIGHT-OF-WAY LANDSCAPING: (SECTION 3-418.d.4) 10' TYPE 'D' BUFFER, R.O.W.: I-75 AND BONITA BEACH RD, LABELED AS "RBT"	1,067	LF	TREES: 5 / 100 LF, SHRUBS: DBL HEDGE (3 GAL, 24")	=	53 qty 711 qty	53 qty 711 qty
RIGHT-OF-WAY LANDSCAPING: (SECTION 3-418.d.4) 10' TYPE 'D' BUFFER, R.O.W.: ORR ROAD (OUTPARCEL), LABELED AS "RBT"	424	LF	TREES: 5 / 100 LF, SHRUBS: DBL HEDGE (3 GAL, 24")	=	21 qty 283 qty	21 qty 283 qty
RIGHT-OF-WAY LANDSCAPING: (SECTION 3-418.d.4) 15' TYPE 'D' BUFFER, R.O.W.: MILLER ROAD, LABELED AS "RBT"	194	LF	TREES: 5 / 100 LF, SHRUBS: DBL HEDGE (3 GAL, 24")	=	10 qty 129 qty	10 qty 129 qty
RIGHT-OF-WAY LANDSCAPING: (SECTION 3-418.d.4) 15' TYPE 'D' BUFFER, R.O.W.: NORTHEAST CORNER, LABELED AS "RBT"	528	LF	TREES: 5 / 100 LF, SHRUBS: DBL HEDGE (3 GAL, 24")	=	26 qty 352 qty	26 qty 352 qty
RIGHT-OF-WAY LANDSCAPING: (SECTION 3-418.d.4) 10' TYPE 'D' BUFFER, R.O.W.: ORR ROAD (NORTHWEST CORNER), LABELED AS "RBT"	382	LF	TREES: 5 / 100 LF, SHRUBS: DBL HEDGE (3 GAL, 24")	=	19 qty 255 qty	19 qty 255 qty
3. PERIMETER BUFFERING: (SECTION 3-418.d.4) 15' TYPE 'B' BUFFER, NORTH, LABELED AS "RBT"	1,064	LF	TREES: 5 / 100 LF, SHRUBS: DBL HEDGE (3 GAL, 24")	=	53 qty 709 qty	53 qty 709 qty
4. BUILDING PERIMETER PLANTINGS: (SECTION 3-418.b) --- CLUBHOUSE --- LABELED AS "BPP"	7,489	sf	10% GROUND LEVEL FLOOR AREA (ON ALL SIDES OF THE BUILDING, 5' WIDTH, EXCEPT ABUTTING PRESERVE/BUFFER)	=	749 sf PLANTING	749 sf PLANTING
BUILDING PERIMETER PLANTINGS: (SECTION 3-418.b) --- BUILDING 1000 --- LABELED AS "BPP"	24,312	sf	10% GROUND LEVEL FLOOR AREA (ON ALL SIDES OF THE BUILDING, 5' WIDTH, EXCEPT ABUTTING PRESERVE/BUFFER)	=	2,431 sf PLANTING	2,431 sf PLANTING
BUILDING PERIMETER PLANTINGS: (SECTION 3-418.b) --- BUILDING 2000 --- LABELED AS "BPP"	23,464	sf	10% GROUND LEVEL FLOOR AREA (ON ALL SIDES OF THE BUILDING, 5' WIDTH, EXCEPT ABUTTING PRESERVE/BUFFER)	=	2,346 sf PLANTING	2,346 sf PLANTING
BUILDING PERIMETER PLANTINGS: (SECTION 3-418.b) --- BUILDING 3000 --- LABELED AS "BPP"	24,312	sf	10% GROUND LEVEL FLOOR AREA (ON ALL SIDES OF THE BUILDING, 5' WIDTH, EXCEPT ABUTTING PRESERVE/BUFFER)	=	2,431 sf PLANTING	2,431 sf PLANTING
BUILDING PERIMETER PLANTINGS: (SECTION 3-418.b) --- BUILDING 4000 --- LABELED AS "BPP"	6,476	sf	10% GROUND LEVEL FLOOR AREA (ON ALL SIDES OF THE BUILDING, 5' WIDTH, EXCEPT ABUTTING PRESERVE/BUFFER)	=	648 sf PLANTING	648 sf PLANTING
BUILDING PERIMETER PLANTINGS: (SECTION 3-418.b) --- 10 UNIT GARAGE --- LABELED AS "BPP"	2,642	sf	10% GROUND LEVEL FLOOR AREA (ON ALL SIDES OF THE BUILDING, 5' WIDTH, EXCEPT ABUTTING PRESERVE/BUFFER)	=	264 sf PLANTING	264 sf PLANTING
BUILDING PERIMETER PLANTINGS: (SECTION 3-418.b) --- 5 UNIT GARAGE --- LABELED AS "BPP"	1,417	sf	10% GROUND LEVEL FLOOR AREA (ON ALL SIDES OF THE BUILDING, 5' WIDTH, EXCEPT ABUTTING PRESERVE/BUFFER)	=	142 sf PLANTING	142 sf PLANTING
BUILDING PERIMETER PLANTINGS: (SECTION 3-418.b) --- MAINTENANCE BLDG --- LABELED AS "BPP"	510	sf	10% GROUND LEVEL FLOOR AREA (ON ALL SIDES OF THE BUILDING, 5' WIDTH, EXCEPT ABUTTING PRESERVE/BUFFER)	=	51 sf PLANTING	51 sf PLANTING
5. OPEN SPACE: (SECTION 3-417.a, 4-328.c) RESIDENTIAL CPD / RPD	893,851	sf	40% OPEN SPACE REQUIREMENT	=	357,540 sf OPEN SPACE	357,540 sf OPEN SPACE
6. GENERAL LANDSCAPE STANDARDS: (SECTION 3-418.a.2) OTHER RESIDENTIAL LABELED AS "RGT"	893,851	sf	DEVELOPMENT AREA / 3,000	=	298 qty TREES (ADDITIONAL)	298 qty TREES (177 PROPOSED + 171 EXISTING + 50 TREE CREDITS)
7. HERITAGE TREE REPLACEMENT: (SECTION 3-417.b.1.4) LABELED AS "HTR"	12	qty	HERITAGE TREES REMOVED	=	12 qty HERITAGE TREES REPLACED	12 qty HERITAGE TREES REPLACED
8. SIGN PLANTINGS: (SECTION 3-494.b.1.g.2) LABELED AS "RSS"	0	qty	SIGNS @ 100sf PLANTING PER SIGN	=	0 sf SIGN PLANTINGS	0 sf SIGN PLANTINGS

** EXISTING PLANTING NOTE:
PLAN MEETS SUFFICIENT CODE REQUIREMENTS AFTER REMOVAL OF EXOTICS. EXISTING PLANTINGS MEET CODE REQUIREMENTS
OR WILL BE BROUGHT UP TO CODE IN ACCORDANCE WITH THE COLLIER COUNTY LDC REQUIREMENTS.

B.S.U. Section 5.6.1.10.4:
Potable and irrigation meters and backflow preventers are allowed to have plantings (other than trees or
aggressive system plantings) to be placed within 30" of the meters and backflow preventers, on three sides only.

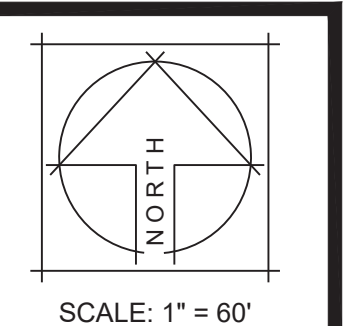
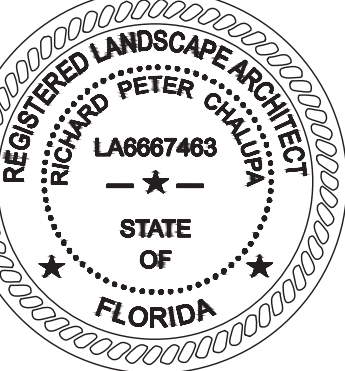
City of Bonita Springs Utilities:
All plantings are to be offset from CoBS Utilities (water mains, force mains, etc.) by 5 feet.



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BONITA 75
DO LANDSCAPE PLAN - OVERALL SITE
BONITA SPRINGS, FL

REVISIONS

SHEET
2 OF 7

DATE: NOVEMBER 2022

