



March 11, 2021

Michael Fiigon
City of Bonita Springs Community Development
9220 Bonita Beach Road, Suite 109
Bonita Springs, FL 34135

RE: Bonita Springs Golf Course RPD Rezone – Submittal 1

Dear Mr. Fiigon:

Enclosed, please find the completed Public Hearing Application for Planned Development, for the former Bonita Springs Golf Course property. The applicant is proposing to rezone the property to Residential Planned Development to allow a maximum of 500 dwelling units.

The subject 113+/- acre property is located on the East side of Cockleshell Drive north of Shangri La Lane in Section 23, Township 47, range 25, Bonita Springs, FL.

Documents filed with submittal 1 include the following:

1. Cover Letter
2. Application
3. Exhibit I-B-1 Authorization Form
4. Exhibit I-B-4 Covenant of Unified Control
5. Exhibit I-B-5, 6 and 7 Surrounding Property Owner Map, List and Mailing Labels
6. Exhibit I-F Disclosure Form
7. Deeds
8. Exhibit I-G Amended Covenants
9. Boundary Survey
10. Plat Book
11. Exhibit II-D Area Location Map
12. Exhibit II-E-2 and IV-D Comp Plan Consistency and Description of Development
13. Exhibit II-F-3 Existing Zoning and Current Land Use
14. Environmental Assessment
15. Exhibit III-A-2 Density Calcs
16. National Flood Hazard Maps

17. Traffic Impact Statement
18. Exhibit IV-A Public Transit Routes Map
19. Exhibit IV-C Existing Easement and R-O-W Map
20. Exhibit IV-E Master Concept Plan
21. Property Development Regulations
22. Exhibit IV-G Schedule of Uses
23. Exhibit IV-H Schedule of Deviations and Justifications
24. Exhibit IV-I Surface Water Management Plan
25. Exhibit IV-N Aerial
26. Exhibit IV-O Map of Historical and Archaeological Sites
27. Neighborhood Meeting Documents
28. CD Containing Application and Exhibits

Please feel free to contact me if you have any questions.

Sincerely,



D. Wayne Arnold, AICP

Cc: BSGC Land Holdings, LLC
Pavese Law
GradyMinor File (BCBSCC-20)



NEIGHBORHOOD MEETING REQUIREMENT

Community Development Dept. | 9220 Bonita Beach Road, Ste. 111 | Bonita Springs, FL 34135 | (239) 444-6150 | permitting@cityofbonitaspringscd.org

RE: Neighborhood Meeting Mandatory Requirement for Comprehensive Plan Amendment, Rezoning (conventional or planned development), and Special Exception applications.

On September 5, 2018 the Bonita Springs City Council adopted regulations for Neighborhood Meetings. The purpose of a neighborhood meeting is to educate occupants and owners of nearby lands about the proposed development and application, receive comments, address concerns about the development proposal, and resolve conflicts and outstanding issues, where possible.

Neighborhood meetings are mandatory for applications for a future land use map amendment, rezoning, and special exception. Neighborhood meetings are optional for all other applications. Applicants are required to conduct a neighborhood meeting prior to filing its application with the city and a second neighborhood meeting within 30 days after the city has deemed the application to be sufficient.

Please see City of Bonita Springs LDC Section 4-28 or our website for more information.

For additional questions, contact the Planner on Call at (239)-444-6166.

**PART I
APPLICANT\PROPERTY OWNERSHIP INFORMATION**

A. Name(s) of applicant(s): BSGC Land Holdings, LLC
Mailing Address: Street: 2600 Golden Gate Parkway
City: Naples State: FL Zip: 34102
Phone Number: Area Code: 239 Number: 262-2600 Ext: _____
E-mail: dgenson@barroncollier.com

B. Relationship of applicant to property:
 Owner _____ Trustee _____ Option holder _____ Lessee Contract Purchaser
_____ Other (indicate): _____

*If applicant is NOT the owner or the person authorized by the Covenant of Unified Control, submit a **Notarized Authorization Form** from the owner or his authorized representative. Label as Exhibit I-B.*

** If the application is City-initiated, enter the date the action was initiated by the Council: N.A. Attach a copy of the "green sheet" and a list of all property owners, and their mailing addresses, for all properties within the area described. Names and addresses must be those appearing on the latest tax rolls of Lee County. Label the "green sheet" as "Exhibit I-B-2" and the list as "Exhibit I-B-3". [Sec. 4-193]*

C. Name of owner(s) of property: BSGC Land Holdings, LLC and Platinum Coast Financial Corp
Mailing Address: Street: 2600 Golden Gate Parkway and 961 Trail Terrace Drive
City: Naples State: FL Zip: 34102 and 34103
Phone Number: Area Code: 239-262-2600 Number: _____ Ext: _____
Fax Number: Area Code: _____ Number: _____

D. Date property was acquired by present owner(s): 2020 and 1995

E. Is the property subject to a sales contract or sales option? _____ NO YES

F. Is owner(s) or contract purchaser(s) required to file a disclosure form? _____ NO YES. If yes, please complete and submit Exhibit I-F (attached).

G. Are there any existing deed restrictions or other covenants on this property which may affect this request?
 NO _____ YES. If yes, submit a copy of the deed restrictions or other covenants and a statement explaining how the restrictions may affect the requested action. Label as "Exhibit I-G".

H. Authorized Agent(s): List names of authorized agents (submit additional sheets if necessary).
Name: Q. Grady Minor & Associates, P.A. / Pavese Law Firm
Address: 3800 Via Del Rey, Bonita Springs, FL 34134 / Post Office Drawer 1507 Fort Myers, FL 33902
Contact Person: D. Wayne Arnold / Neal Montgomery
Phone: 239.947.1144 / 239.336.6235 E-mail: warnold@gradyminor.com / NealeMontgomery@Paveselaw.com

**PART II
GENERAL INFORMATION**

A. Request:

1. Rezoning from RM-2 & RS-1 TO:(check all applicable)

<input checked="" type="checkbox"/> RPD - Residential	<input type="checkbox"/> MPD - Mixed Use
<input type="checkbox"/> MHPD - Mobile Home	<input type="checkbox"/> RVPD - Recreational Vehicle
<input type="checkbox"/> CPD - Commercial	<input type="checkbox"/> CFPD - Community Facilities
<input type="checkbox"/> IPD - Industrial	<input type="checkbox"/> AOPD - Airport Operations

2. Option Chosen: Option 1 Option 2

3. Other - Provide specific details. _____

B. Legal Description and Boundary Sketch: Is property within a platted subdivision recorded in the official Plat Books of Lee County?

NO. Attach a legible copy of the legal description (label it Exhibit II-B-1.) and Certified sketch of description as set out in chapter 5J-17.053. (labeled Exhibit II-B-2.). **If the legal description is available on computer disc (Word or Word Perfect) please provide a copy at time of application.**

YES. Property is identified as:

Subdivision Name: Bonita Springs Country Club

Plat Book: 30 Page: 128 - 132 Unit: 2 Block: N.A. Lot: Tract A, 4, 10

Section: 23 Township: 47 Range: 25

Attach a copy of the Plat Book page with subject property clearly marked. Label this Exhibit II-B-3.

C. Project Street Address: Golf Course, 10200 Maddox Lane and 25117 Paradise Road

D. General Location Of Property (referenced to major streets): East side of Cockleshell Drive north of Shangri La Lane

E. City of Bonita Springs Plan Information

1. City of Bonita Springs Land Use Classification: Medium Density Multi-Family Residential and Moderate Density SF Residential

2. Are you proposing any City of Bonita Springs amendments which could affect the subject property?

NO YES If yes, submit a copy of the proposed amendment (labeled as "Exhibit II-E-1") along with a statement as to how the proposed amendment will affect your property (labeled as "Exhibit II-E-2").

F. Drainage, Water Control and Other Environmental Issues

1. Is the property within an Area of Special Flood Hazard as indicated in the Flood Insurance Rate Maps (FIRM)s?

NO YES. If yes, specify the minimum elevation required for the first habitable floor).
 NGVD (MSL)

2. Are there any environmentally sensitive lands such as, but not limited to: wetlands, mangrove forests, creek & river shorelines, sand dunes, xeric scrub, mature pine forests, or other unique land forms as defined in the Bonita Plan Goal 15 and its Objectives and Policies, Objective 4.1, Policies 7.1.1 d. 2, 7.2.3, Goal 14 and Policies 14.1.1 through 14.3.5 and applicable sections of the Land Development Code (LDC). Are there any listed species occupied habitat as defined in the Bonita Plan or LDC on the subject property, Bonita Plan Policy 7.1.1 d. 2, 7.4.1 through 7.10.3, Objective 7.12 and Policies 7.12.1 through 7.12.3, and applicable sections of the LDC?

 NO X YES If yes, delineate these areas on a map or aerial photo and label it Exhibit II-F-1. Also, complete Exhibit II-F-2 attached hereto.

G. Present Use of Property: Is the property vacant? X NO X YES

If the property is not vacant, the owner or applicant's signature on this application indicates that the Owner agrees to either remove all existing buildings and structures, OR that the proposed use of the building or structure(s) will be in compliance with all applicable requirements of the Land Development Regulations. **[Sec. 4-194(b)(3)]**

Briefly describe current use of the property: STRAP #14-47-25-B1-1400A.0000 is an abandoned golf course.

STRAP #23-47-25-B1-01400.0860 contains an existing residential dwelling unit.

STRAP #23-47-25-B1-0050A.0000 is an abandoned golf course.

STRAP #23-47-25-B1-00500.0040 abandoned golf course maintenance area.

H. Property Dimensions

- 1. Width (average if irregular parcel): 1,350+/- Feet
- 2. Depth (average if irregular parcel): 3,600+/- Feet
- 3. Frontage on road or street: Varies Feet on Paradise Road and Cockleshell Drive
(Name of street)
- 4. Total land area: 113+/- Acres or Square Feet

I. Land Area Calculations

- 1. Undevelopable Areas:
 - a. Freshwater wetland areas 0
 - b. Other wetland areas 0
 - c. Submerged land subject to tidal influence: 0
 - d. Total (a + b + c): 0
- 2. Remaining developable land (H.4 less I.1.d): 113+/-

**PART III
PROPOSED DEVELOPMENT**

A. Nature of Request

1. Will the development contain living units? _____ NO YES. If the answer is yes, please indicate the total number of living units proposed, by type:

500	Single Family	_____	Mobile Homes	_____	Recreational Vehicles
X	Zero-Lot-Line	X	Duplex/Two Family	_____	Townhouses
500	Multiple Family	500	TOTAL ALL TYPES		

2. If the development will contain living units, please complete Exhibit III-A-2 (attached) and enter the following information:

- a. PERMITTED total units (from Exhibit III-A-2): 619
- b. PROPOSED total units (from A-1. above): 500
- c. PROPOSED density (from Exhibit III-A-2): 3.097 d.u.a. (Permitted 6 d.u.a)

3. Will the development contain non-residential areas? NO _____ YES. If the answer is yes, please indicate the size [gross square footage (gsf) unless indicated otherwise] of each general class of uses below:

Retail: _____ Total gsf

Offices: _____ Total gsf

Medical: _____ gsf Non-medical: _____ gsf

Hotel/Motel: _____ Total units

Size of units: _____ 0-425 sq. Ft. _____ 426-725 sq. Ft. _____ 726 or more sq. Ft.

Industrial: _____ Total gsf

Under roof: _____ gsf Not under roof: _____ gsf

Mines, Quarries, or General Excavation: Acres to be excavated: _____

Other-specify: _____

Number of Beds (if applicable): _____ OR: _____ gsf

4. Building Height

35 Maximum height of buildings (in feet above grade)

2 Number of Habitable Floors

5. Aviation Hazard: Do you propose any structures, lighting, or other features that might affect safe flight conditions?
 NO _____ YES. If yes, please submit an explanation and label it Exhibit III-A-5.

B. Facilities

1. Fire District: Bonita Springs Fire District

2. Water Supply

a. Estimated daily consumption of potable water:

1. Residential units: 125,000 gpd

2. Mobile Home units: _____ gpd

3. Rec. Vehicle units: _____ gpd

4. Commercial: _____ gpd

5. Industrial: _____ gpd

b. Source of potable water: Bonita Springs Utilities

c. Do you have a written agreement from the utility company to serve your project?

NO _____ YES. If yes, please submit a copy of the agreement.

d. Source of Non-potable water: Bonita Springs Utilities

3. Sanitary Sewer Service

a. Estimated daily production of wastewater:

1. Residential units: 75,000 gpd

2. Mobile Home units: _____ gpd

3. Recreational Vehicles: _____ gpd

4. Commercial: _____ gpd

5. Industrial: _____ gpd

b. Is any special effluent anticipated? NO _____ YES. If yes, please complete Exhibit III-B-3 (attached).

c. Source of sanitary sewer service: Bonita Springs Utilities

d. Do you have a written agreement from the utility company to serve your project?

NO _____ YES. If yes, please submit a copy of the agreement.

e. Will a private on-site disposal facility be used? NO _____ YES. If yes, please complete Exhibit III-B-3 (attached).

f. Are individual sewage disposal systems proposed? NO _____ YES.

C. Transportation

1. Has this project been exempted from filing a Traffic Impact Statement?

NO _____ YES _____ NOT REQUIRED (Exist. development). If it has been exempted, attach a copy of the exemption and label it Exhibit III-C.

PART IV - SUBMITTAL REQUIREMENTS

COPIES REQUIRED					Exhibit #	Item
SUB	DRI	PD	EXIST	MINOR		
	15	15	15	15		Completed application [4-193(b)]
	1	1	1	1		Application Fee [2-571]
	2	2	2	2	I-B-1	Notarized Authorization Form (if applicable) [4-194]]
	2	2	2	2	I-B-2	Green Sheet (If applicable)
	2	2	2	2	I-B-3	List of Property Owners (If applicable) [4-194(a)(5)]
	2	2	2	2	I-B-4	Notarized Covenant & doc. Of Unified Control [4-194(b)(1)(b)]
	1	1	1	1	I-B-5	Surrounding Property Owners List [4-194(a)(6)]
	2	2	2	2	I-B-6	Property Owners Map 4-194(a)(7)]
	2	2	2	2	I-B-7	Mailing Labels for Surrounding Property Owners
	2	2	2	2	I-F	Notarized Disclosure Form (if applicable) [4-194(b)(1)]
	2	2	2	2	I-G	Deed Restrictions & Narrative (if applicable) [4-194(b)(2)]
	15	15	15	15	II-B-1	Legal Description [4-196(1)]
	15	15	15	15	II-B-2	Certified sketch of description (if applicable) [4-196(1)]
	2	2	2	2	II-B-3	Plat Book Page (if applicable) [4-196(1)]
	15	15	15	15	II-D	Area Location Map [4-194(a)(4)]
	15	15	15	15	II-E-1	Bonita Springs Plan Amendment (if applicable) [4-295(a)(5) & 4-370]
	15	15	15	15	II-E-2	Narrative/how prop. complies with Bonita Comp Plan, etc. [4-295(a)(5)]
	15	15	15	15	II-F-1	Environ. Sensitive Lands map (if app.) [4-325(c)]
	4	4	4	4	II-F-2	Environmental Assessment [4-1339]
	15	15	4	4	II-F-3	Exist. zoning & current land use map/photo [4-295(a)(4)a]
	15	15	4	4	II-F-4	Soils, vegetation and ground cover maps [4-295(a)(4)c.]
	15	15	4	4	II-F-5	Topography map (if available) [4-295(a)(4)c.]
	15	15	-	-	III-A-2	Density Calcs (if applicable) [4-295(a)(6)c.]
	15	15	-	-	III-A-5	Aviation Hazard (if applicable) [4-987 et seq.]
	15	15	-	-	III-B-3	Sanitary Sewer Facilities(if applicable) [3-353]
	6	6	-	6	III-C	Traffic Imp. Statement (if applicable) [4-295 (a)(7)]
	6	6	-	6	III-C	TIS Exemption Form (if applicable) [4-295(a)(7)]
	15	15	6	6	IV-A	Public transit routes map (if applicable) [4-295(a)(4)d.]
	15	15	6	6	IV-C	Existing easements and r-o-w map. [4-295(a)(4)e.]
	15	15	15	15	IV-D	Description of proposed development. [4-295(a)(6)]
	15	15	15	15	IV-E	Master Concept Plan (Option 1) [4-295(a)(6)a]
	15	15	15	15	IV-F	Master Concept Plan (Option 2) [4-295(a)(6)b]
	1	1	1	1		11 inch by 17 inch copy of the Master Concept Plan
	15	15	15	15	IV-G	Schedule of Uses [4-295(a)(8)]
	15	15	15	15	IV-H	Schedule of Dev. & Justification [4-295(a)(9)]
	4	4	-	-	IV-I	Surface Water Management Plan [4-295(b)(1)]
	4	4	-	-	IV-J	Protected Species Management Plan [4-295(b)(2)]
	15	15	15	15	IV-K	Program for phased development (if applicable) [4-295(b)(3)]
	15	15	15	15	IV-L	Hazardous Material Emergency Plan (if applicable) [4-194]]
	-	-	4	-	IV-M	Mobile Home Park Rezoning Information [4-195(d) et seq.]
	3	3	3	3	IV-N	Aerial [4-295(a)(4)(b)]
	3	3	3	3	IV-O	Map of Historical & Archaeological Sites [4-295(a)(4)(f)]
	3	3	3	3	IV-P	Possible Impacts on Historical & Archaeological Sites[4-295(a)(4)(f)]
	1	1	1	1	IV-Q	Application and Exhibits on CD-ROM

***At least one copy must be an original.**

PART V

AFFIDAVIT

I, _____ certify that I am the owner or authorized representative of the property described herein, and that all answers to the questions in this application and any sketches, data or other supplementary matter attached to and made a part of this application, are honest and true to the best of my knowledge and belief. I also authorize the staff of the City of Bonita Springs Community Development to enter upon the property during normal working hours for the purpose of investigating and evaluating the request made thru this application.

Signature of Owner or Owner-authorized Agent

Date

Typed or printed name and title

STATE OF FLORIDA)
COUNTY OF LEE)

The foregoing instrument was certified and subscribed before me this _____ day of _____ 20____, by _____, who is personally known to me or who has produced _____ as identification.

Signature of notary public

(SEAL)

Printed name of notary public

PART I – GENERAL EXPLANATORY NOTES

THE APPLICANT MUST PAY THE APPROPRIATE APPLICATION FEE AS SET FORTH BY THE CITY.

UPON WRITTEN REQUEST, THE DIRECTOR MAY MODIFY THE SUBMITTAL REQUIREMENTS CONTAINED IN THIS SECTION IF THE APPLICANT CLEARLY DEMONSTRATES THAT THE SUBMISSION WILL HAVE NO BEARING ON THE REVIEW AND PROCESSING OF THE APPLICATION. THE REQUEST AND THE DIRECTOR'S WRITTEN RESPONSE MUST ACCOMPANY THE APPLICATION SUBMITTED AND WILL BECOME A PART OF THE PERMANENT FILE.

PART I – EXPLANATORY NOTES

- A. Applicant's Name: Application may be made by the landowner or the authorized agent. **[Sec. 4-193(a)]** Where there is more than one owner, either legal or equitable, then all such owners must jointly initiate the application. Exceptions to this are:
- 1) It is not required that both husband and wife initiate the application on private real property owned by them.
 - 2) The property is subject to a land trust agreement, the trustee may initiate the application.
 - 3) The fee owner is a corporation, any duly authorized corporate official may initiate the application.
 - 4) The fee owner is a partnership, the general partner may initiate the application.
 - 5) The fee owner is an association, the association may appoint an agent to initiate the application on behalf of the association.
 - 6) The property is a condominium or time-share condominium, refer to Sec. 4-193(a)(1)b. for rules.
 - 7) The property is a subdivision, refer to Sec. 4-193(a)(1)c. for rules.
 - 8) Rezoning initiated by the City Council on property not owned by the City.

- B. Relationship of applicant to owner: If the applicant is not the owner of the property or the person authorized to represent the owner through the Covenant of Unified Control, the applicant must submit proof of authority to represent the owner. This may be accomplished with a **notarized** authorization form from the owner or his authorized representative. Label this submittal as Exhibit I-B-1.

If the owner does not desire to sign the attached Covenant of Unified Control he may submit an alternate document for consideration by the City Attorney's office prior to submitting the application for rezoning. A copy of the City Attorney's approval of the document must be submitted with the application.

If the application is City-initiated by the City of Bonita Springs Council, attach a copy of the "green sheet" whereby the action was authorized. Label the copy as Exhibit I-B-2.

Submit a list of the names of all property owners and their addresses for property included within the requested action. Label as Exhibit I-B-3.

- C. Name of owner (s): see F. below
- D. Date property was acquired by present owner(s). If the City initiated the rezoning and does not own the property or have it under contract for purchase, enter "Not Applicable".
- E. If the request is City-initiated and the City is not purchasing the property, enter "Not Applicable".
- F. Disclosure Form: Except for City-Initiated rezonings, a Disclosure Form (Exhibit I-F, attached) must be submitted for any entity whose interest in the property is other than solely equity interest(s) which are regularly traded on an established commodities market in the United States or another Country.
- G. Existing Deed Restrictions: A copy of the deed restrictions on the subject property, if any, and a statement as to how the deed restrictions may affect the requested action must be submitted.
- H. Authorized Agent(s): If the owner or applicant has authorized agent(s) to act on his/her behalf, list the agent(s) name, mailing address and phone number. If City-initiated, enter "Not Applicable".

PART II – EXPLANATORY NOTES

A. Nature of Request:

1. If for rezoning to a Planned Development district, indicate the zoning classification(s) being requested.
2. If not for rezoning provide specific details of the action requested. (eg. Amendment to PD. Etc),

B. Legal Description: **If rezoning to more than one district, a separate legal description must be provided for each classification requested.**

If the property is not within a platted subdivision recorded in the official plat books of Lee County, a complete legal description must be attached which is sufficiently detailed and legible so as to be able to locate said property on county maps or aerial photographs. The legal description must include the Section, Township, Range, and parcel number(s).

If the application includes multiple contiguous parcels, the legal description may describe the perimeter boundary of the total area, and need not describe each individual parcel, except where different zoning requests are made on individual parcels. Label the legal description as Exhibit II-B-1.

If the request is owner-initiated, a survey or a certified sketch of description as set out in chapter 5J-17.053, Florida Administrative Code must be submitted, unless the subject property consists of one or more undivided platted lots. If the application includes multiple abutting parcels, the legal description must describe the perimeter boundary of the total area, but need not describe each individual parcel. However, the STRAP number for each parcel must be included.

The Director has the right to reject any legal description which is not sufficiently detailed or legible so as to locate said property, and may require a certified survey or boundary-survey prepared by a surveyor meeting the minimum technical standards for land surveying in the state, as set out in chapter 5J-17.053, F.A.C. Boundaries must be clearly marked with a heavy line. The boundary line must include the entire area to be developed. If the request is owner-initiated the Federal Emergency Management Agency flood zone and required finished floor elevation must be shown as well as the location of existing structures on the property.

C. Project Street Address: If the street address is unknown, the address may be obtained from the Lee County E-911 Addressing Division at (239) 338-3200.

D. General Location: The general location should reference known major streets so as to indicate to the general public the location of the property. A property location map must be submitted. Label the map as Exhibit II-D.

E. City of Bonita Springs Plan Information:

1. List the current City of Bonita Springs Land Use Classification of the subject parcel(s).
2. City of Bonita Springs Plan Information. Submit a copy of any amendment being proposed to the City of Bonita Springs Plan by the applicant which may affect the subject property as well as the Planning Division's reference number for the amendment. Label the proposed amendment as Exhibit II-E-1. Attach a statement as to how the amendment will affect your property. Label the statement as Exhibit II-E-2.

F. Drainage, Water Control and Other Environmental Issues

2. If environmentally sensitive areas exist on the site, an environmental assessment must be prepared that examines the existing conditions, addresses the environmental problems, and proposes means and mechanisms to protect, conserve, or preserve the environmental and natural resources.

H. Property Dimensions: If the parcel is irregularly shaped, indicate the average width and depth of the property. Indicate the length of property abutting any existing street rights-of-way or easements. If property abuts more than one street, indicate frontage on each street.

The total area (in square feet or acres) of the property.

I. Land Area Calculations

1. Undevelopable Areas: Insert the area of land identified as undevelopable by the following terms:
 - a. Freshwater wetlands
 - b. Other wetlands
 - c. Submerged land subject to tidal inundation. The area of land which is submerged and is subject to tidal inundation.

PART III – EXPLANATORY NOTES

A. Nature of Request

5. Aviation Hazard: If your project is near any commercial or general aviation facility or within any area delineated on the Lee County Port Authority Airspace Notification Map as a notification area, describe any structures (including proposed communication towers), lighting, or other features which could adversely affect safe flight, and labeled it Exhibit III.A.5.

B. Facilities

1. Fire District: List the Fire District in which the property is located.
2. Water Supply:
 - a. Estimate the daily consumption of potable water by the proposed project.
For residential projects, use 250 gpd (gallons per day) per unit. If the water treatment facility serves only mobile homes or recreational vehicles, the following figures may be used:
 - Mobile Homes use 187.5 gpd. per unit.
 - Recreational Vehicles use 150 gpd. per unit.For all other types of projects, show calculations and source of consumption rates utilized.
 - b. If the property lies wholly or partly in the certificated franchised service area of an established water utility, name the utility company.
If a private, on-site, potable water system is proposed, please provide a description of the system.
 - d. Source of non-potable water service: If a separate system is proposed for non-potable (irrigation) water uses, please specify the source.
3. Sanitary Sewer Service.
 - a. Estimated daily production of wastewater
For residential projects use 200 gpd (gallons per day) per unit. If the sewage treatment facility serves only mobile homes or recreational vehicles, the following figures may be used:
 - Mobile Homes use 150 gpd per unit.
 - Recreational Vehicles use 120 gpd per unitFor all other types of projects, show calculations and source of consumption rates utilized.
 - b. If any special types of effluent can be anticipated, please submit Exhibit III.B.3. (attached)
 - c. If the property lies wholly or partly in the certificated or franchised service area of an established sanitary sewer district or sewer utility name the utility.
 - e. If a private, on-site, wastewater treatment and disposal facility is proposed, please submit Exhibit III.B.3 (attached).

PART IV - EXPLANATORY NOTES: Exhibits not previously discussed.

Surrounding Property Owners List: A complete list of all property owners, and their mailing addresses, for all property within three hundred seventy-five (375) feet [five hundred (500) feet if for a COP] of the perimeter of the subject property or the portion thereof that is the subject of the request. Names and addresses of property owners shall be deemed to be those appearing on the latest tax rolls of the County. The applicant is responsible for the accuracy of such list. **[Sec 4-194(a)(6)]**

Property Owners Map: A City Zoning map or other similar map displaying all of the parcels of property within three hundred seventy-five feet [five hundred (500) feet if for a COP] of the perimeter of the subject parcel or the portion thereof that is the subject of the request, referenced by number or other symbol to the names on the property owners list. The applicant shall be responsible for the accuracy of the map. **[Sec. 4-194(a)(7)]**

Unified Control Documentation. A notarized document (see Exhibit IV-D) corroborating unified control over the subject parcel. **[Sec. 4-295(a)(3)]**

If the owner does not desire to sign the attached Covenant of Unified Control he may submit an alternate document for consideration by the City Attorney's office prior to submitting the application for rezoning.

Existing Conditions: **[Sec. 4-295(a)(4)]** NOTE: If more than one of the following requirements is shown on the same set of maps or photos, please mark the document with all appropriate exhibition numbers.

Existing zoning and current uses: Show existing zoning and current land uses surrounding the property to a distance of 375 feet.

Soils, vegetation and ground cover: Classified in accordance with USDA/SCS system and the Florida Land Use and Cover Classification System, respectively

Topography: Provide a City of Bonita Springs Topographical map (if available).

Public Transit: Show the property in relation to existing and proposed public transit routes and bus stops, including what facilities exist at the bus stop.

Environmental Assessment: Areas of encroachment by undesirable exotic (floral) species, the line of mean high water, and jurisdictional boundaries of state and federal agencies, and Coastal Construction Setback Lines. If the site contains unique landforms or biological areas such as creek beds, sand dunes, coastal or interior hammocks, or old growth pine flatwoods, additional information may be required including wildlife and plant inventories and hydrologic details, in order to identify the highest quality biological communities and develop suitable conservation measures. Please contact the City of Bonita Springs Community Development at 239-444-6150 with any questions concerning this environmental assessment.

Master Concept Plan: Refer to Sec. 4-295 (a)(6)a.3. or b. 3. AND 4-295(a)(7)a. for information.

Schedule of Uses: **[Sec. 4-295(a)(7)]**

1. A summary of the kinds of uses proposed for the entire site (for projects containing residential uses, this shall include the types of proposed dwelling units);
2. The units (gross square feet for commercial/industrial uses, number of units for residential, motel/ hotel uses, beds for institutional types of uses, etc.) of each kind of use for the entire site;
3. For developments containing uses for which the parking requirements are to be determined by the Director, the number of parking spaces proposed for those uses.

Schedule of deviations: Refer to Sec. 4-295(a)(6)a.9. or b.9. and 4-295(a)(7)d.

Traffic Impact Statement: **[Sec. 4-295(a)(6)a.11 Or b. 10 and 4-295(a)(7)]** Format and degree of detail is set forth in the adopted City of Bonita Springs Code.

Surface Water Management Plan: **[Sec. 4-295 (b)(1)]** Written statements which describe:

1. The runoff characteristics of the property in its existing state;
2. In general terms, the drainage concept proposed, including the outfall to canals or natural water bodies including how drainage flow from adjacent properties will be maintained;
3. The retention features (including existing natural features) that will be incorporated into the drainage system and the legal mechanism which will guarantee their maintenance;
4. How existing natural features will be preserved. Include an estimate of the ranges of existing and post development water table elevations, where appropriate.
5. Describe the requirements for fill materials posed by this development for other than building pads (use, volume, etc.)
6. If the property is subject to seasonal inundation or subject to inundation by a stream swollen by the rains of a 100-year storm event, indicate the measures that will be taken to mitigate the effects of expectable flooding. **[3-324]**

Management Plan for Protected Species: **[Sec. 4-295(b)(2)]** Refer to the Sec. 3-456.

Program for phased development: **[Sec. 4-295(b)(3)]** Description of program for phased development (if applicable). A description of the program of phased construction, if the development is to be so constructed.

GENERAL

- a. The applicant is responsible for the accuracy and completeness of this application. Any time delays or additional expenses necessitated due to the submittal of inaccurate or incomplete information shall be the responsibility of the applicant.
- b. All information submitted with the application or submitted at the public hearing becomes part of the public record and shall be a permanent part of the file.
- c. All applications must be submitted in person. Mailed-in applications will not be processed.
- d. All attachments and exhibits submitted shall be of a size that will fit or conveniently fold to fit into a letter size (8 1/2" x 11") folder.
- e. The Department staff will review this application for compliance with requirements of the City of Bonita Springs Land Development Code. If any deficiencies are noted, the applicant will be notified.
- f. All applicants shall pay an application fee as set forth in the City of Bonita Springs Fees and Charges Manual.

**EXHIBIT I-F
DISCLOSURE OF INTEREST FORM FOR:**

STRAP NO. _____ **CASE NO.** _____
 23-47-25-B1-0050A.0000, 23-47-25-B1-00500.0040 and 23-47-25-B1-01400.0860

1. If the property is owned in fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest.

Name and Address	Percentage of Ownership
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

2. If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each.

Name, Address, and Office	Percentage of Stock
STRAP #23-47-25-B1-0050A.0000	_____
Platinum Coast Financial Corp, 961 Trail Terrace Dr., Naples FL 34103	100
See attached 2020 Annual Reports	_____
_____	_____
_____	_____
_____	_____

3. If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with percentage of interest.

Name and Address	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

4. If the property is in the name of a GENERAL PARTNERSHIP OR LIMITED PARTNERSHIP, list the names of the general and limited partners.

Name and Address	Percentage of Ownership
23-47-25-B1-01400.0860 and 23-47-25-B1-00500.0040	_____
BSGC Land Holdings, LLC, 2600 Golden Gate Pkwy, Naples FL 34105	100
See attached 2020 Annual Reports	_____
_____	_____
_____	_____
_____	_____
_____	_____

5. If there is a CONTRACT FOR PURCHASE, whether contingent on this application or not, and whether a Corporation, Trustee, or Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners.

Name, Address, & Office (if applicable)	Percentage of Stock
BSGC Land Holdings, LLC, 2600 Golden Gate Pkwy, Naples FL 34105	100
See attached 2020 Annual Reports	

Date of Contract: _____

6. If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust.

Name and Address

For any changes of ownership or changes in contracts for purchase subsequent to the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest shall be filed.

The above is a full disclosure of all parties of interest in this application, to the best of my knowledge and belief.

Signature: _____
(Applicant)

(Printed or typed name of applicant)

STATE OF FLORIDA
COUNTY OF LEE

The foregoing instrument acknowledged before me this _____ day of _____, 20____, by _____, who is personally known to me or who has produced _____ as identification.

Signature of Notary Public

Printed Name of Notary Public

(SEAL)

**EXHIBIT II-F-2
ENVIRONMENTAL ISSUES**

A. Topography: Describe the range of surface elevations of the property:

The property is currently developed with a dormant golf Course and one single family residential lot. The elevations range from 11' to 17'. The property is located in Zone X and AE-EL13 of the FEMA Flood Maps.

B. Sensitive Lands: Identify any environmentally sensitive lands, including, but not limited to, wetlands (as defined in the Comprehensive Plan), flow ways, creek beds, sand dunes, other unique land forms [see the Comprehensive Plan for listed species occupied habitat (see Sec. 4-1337 et seq. of the Land Development Code).

Please see Environmental Report

C. Preservation/Conservation of Natural Features: Describe how the lands listed in B. above will be protected by the completed project:

Please see Environmental Report

D. Shoreline Stabilization: If the project is located adjacent to navigable natural waters, describe the method of shoreline stabilization, if any, being proposed:

Not Applicable

**EXHIBIT III-A-2
PRELIMINARY DENSITY CALCULATIONS***

A. Gross Residential Acres

- | | |
|---|--------------|
| 1. Total land area: | 113+/- acres |
| 2. Area to be used for non-residential uses: (Line A.2.a. plus A.2.b.): | _____ acres |
| a. R-O-W providing access to non-residential uses: | _____ acres |
| b. Non-residential use areas: | _____ acres |
| 3. Gross residential acres (Line A.1 less A.2): | 113+/- acres |
| a. Uplands areas | 113+/- acres |
| b. Freshwater Wetlands areas | _____ acres |
| c. Other Wetland areas | _____ acres |

B. Comprehensive Plan Land Use Classification: _____ (If more than one classification, calculations for each classification must be submitted)

Density Standards (from the Comprehensive Plan)

- | | |
|---|-----------------------------|
| 1. Maximum density for Land Use Classification: | _____ units/gross res. acre |
| 2. Maximum total density for Land Use Classification: | _____ units/gross res. acre |

MAXIMUM PERMITTED DWELLING UNITS

C. High Density Residential, High Density Mixed Use/Village, "Old 41" Town Center Mixed Use Redevelopment Overlay Area.

- | | |
|---|------------------------------|
| 1. Standard density uplands units (A.3.a. times B.1) | _____ units |
| 2. Standard density wetlands units (A.3.b. & A.3.c. times B.1) | _____ units |
| 3. Total standard density units (sum of C.1 & C.2) | _____ units |
| 4. Max. Total density units [A.3.a. times ((B.1 plus 1/2 of (B.2 less B.1)))] | _____ units |
| 5. Sub-total permitted std. density units (line C.3 or C.4 - whichever is less): | _____ Units Sub-total |
| 6. BONUS UNITS (REQUESTED) | |
| a. Low-moderate housing density: | _____ units |
| b. TDR units: | _____ units |
| c. Sub-total (C.6.a plus C.6.b) | _____ units |
| 7. Total Permitted Units (C.5. plus C.6.c): | _____ Units Total |

NOTE: may not exceed (A.3.a. times B.2) plus (A.3.b. and A.3.c. times .05).

* Subject to staff review and correction.

D. Moderate Density Mixed Use/Planned Development, Medium Density Multi-Family Residential, Medium Density Residential, Moderate Density Residential

- | | |
|--|--------------------|
| 1. Standard density uplands units (A.3.a. times B.1) | _____ units |
| 2. Standard density freshwater wetlands units (A.3.b. times B.1) | _____ units |
| 3. Total standard density units (sum of D.1 & D.2) | _____ units |
| 4. Maximum upland density (A.3.a. times 8) | _____ units |
| 5. Total permitted units (line D.3 or D.4 - whichever is less): | _____ Units |

E. Suburban Density Residential, Low Density Residential, Estate Residential

- 1. Standard density uplands units (A.3.a. times B.1) _____ units
- 2. Standard density freshwater wetlands units (A.3.b times B.1) _____ units
- 3. Total standard density (sum of E.1 & E.2) _____ units
- 4. Maximum upland density (A.3.a. times 4) _____ units
- 5. **Total permitted units** (line E.3 or E.4 - whichever is less): _____ **Units Total**

F. Conservation, Resource Protection, DRGR

- 1. Total acres of "Open Land" _____ acres
- 2. Maximum density (F.1 times 0.2*) _____ units
- 3. Total permitted units: _____ units

**EXHIBIT III-B-3
SANITARY SEWER FACILITIES**

A. **Special Effluent:** If special effluent is anticipated, please specify what it is and what strategies will be used to deal with its' special characteristics:

Not Applicable

B. **Private On-site Facilities:** If a private on-site wastewater treatment and disposal facility is proposed, please provide a detailed description of the system including:

1. Method and degree of treatment:

Not Applicable

2. Quality of the effluent:

Not Applicable

3. Expected life of the facility:

Not Applicable

4. Who will operate and maintain the internal collection and treatment facilities:

Not Applicable

5. Receiving bodies or other means of effluent disposal:

Not Applicable

C. **Spray Irrigation:** If spray irrigation will be used, specify:

1. The location and approximate area of the spray fields:

Not Applicable

2. Current water table conditions:

Not Applicable

3. Proposed rate of application:

Not Applicable

4. Back-up system capacity:

Not Applicable

**EXHIBIT I-B-4
COVENANT OF UNIFIED CONTROL**

The undersigned do hereby swear or affirm that they are the fee simple title holders and owners of record of property commonly known as _____ and legally described in exhibit A attached hereto. (street address)

The property described herein is the subject of an application for planned development zoning. We hereby designate _____ as the legal representative of the property and as such, this individual is authorized to legally bind all owners of the property in the course of seeking the necessary approvals to develop. This authority includes but is not limited to the hiring and authorization of agents to assist in the preparation of applications, plans, surveys, and studies necessary to obtain zoning and development approval on the site. This representative will remain the only entity to authorize development activity on the property until such time as a new or amended covenant of unified control is delivered to the City of Bonita Springs.

The undersigned recognize the following and will be guided accordingly in the pursuit of development of the project:

1. The property will be developed and used in conformity with the approved master concept plan including all conditions placed on the development and all commitments agreed to by the applicant in connection with the planned development rezoning.
2. The legal representative identified herein is responsible for compliance with all terms, conditions, safeguards, and stipulations made at the time of approval of the master concept plan, even if the property is subsequently sold in whole or in part, unless and until a new or amended covenant of unified control is delivered to and recorded by the City of Bonita Springs.
3. A departure from the provisions of the approved plans or a failure to comply with any requirements, conditions, or safeguards provided for in the planned development process will constitute a violation of the Land Development Code.
4. All terms and conditions of the planned development approval will be incorporated into covenants and restrictions which run with the land so as to provide notice to subsequent owners that all development activity within the planned development must be consistent with those terms and conditions.
5. So long as this covenant is in force, City of Bonita Springs can, upon the discovery of noncompliance with the terms, safeguards, and conditions of the planned development, seek equitable relief as necessary to compel compliance. The City of Bonita Springs will not issue permits, certificates, or licenses to occupy or use any part of the planned development and the City may stop ongoing construction activity until the project is brought into compliance with all terms, conditions and safeguards of the planned development.

Owner

Printed Name

STATE OF FLORIDA
COUNTY OF LEE

Sworn to (or affirmed) and subscribed before me this _____ day of _____, 20____, by _____, who is personally known to me or who has produced _____ as identification.

Notary Public

(Name typed, printed or stamped)
(Serial Number, if any)

PART V

AFFIDAVIT

I, David B. Genson certify that I am the owner or authorized representative of the property described herein, and that all answers to the questions in this application and any sketches, data or other supplementary matter attached to and made a part of this application, are honest and true to the best of my knowledge and belief. I also authorize the staff of the City of Bonita Springs Community Development to enter upon the property during normal working hours for the purpose of investigating and evaluating the request made thru this application.

[Signature]
Signature of Owner or Owner-authorized Agent

1/21/2021
Date

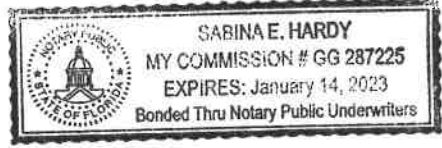
David B. Genson as Officer Principal
Typed or printed name and title
BSGC Land Holdings, LLC
By: BSGC, LLC, its Manager
By: CSG Group, LLC, its Manager
By: Barron Collier Management, LLC, its Manager

STATE OF FLORIDA)
COUNTY OF LEE) COLLIER

The foregoing instrument was certified and subscribed before me this 21 day of January 2021, by David B. Genson, who is personally known to me or who has produced _____ as identification.

[Signature]
Signature of notary public

(SEAL)



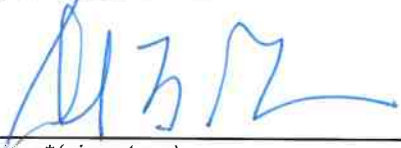
Sabina E. Hardy
Printed name of notary public

EXHIBIT I-B-1
LETTER OF AUTHORIZATION

TO CITY OF BONITA SPRINGS COMMUNITY DEVELOPMENT

The undersigned do hereby swear or affirm that they are the fee simple title holders and owners of record of property commonly known as STRAP Numbers 23-47-25-B1-0050A.000, 23-47-25-B1-01400.0860 and 23-47-25-B1-00500.0040 and legally described in exhibit A attached hereto.

The property described herein is the subject of an application for zoning or development. We hereby designate Q. Grady Minor & Associates, P.A. and Pavese Law as the legal representative of the property and as such, this individual is authorized to legally bind all owners of the property in the course of seeking the necessary approvals to develop. This authority includes but is not limited to the hiring and authorizing of agents to assist in the preparation of applications, plans, surveys, and studies necessary to obtain zoning and development approval on the site. This representative will remain the only entity to authorize development activity on the property until such time as a new or amended authorization is delivered to the City of Bonita Springs.



Owner*(signature)

David B. Genson, Officer/Principal

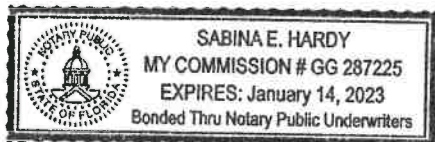
BSGC Land Holdings, LLC
By: BSGC, LLC its Manager
By: CSG Group, LLC, its Manager
By: Barron Collier Management, LLC, its Manager

STATE OF Florida

COUNTY OF Collier

The foregoing instrument was sworn to (or affirmed) and subscribed before me by means of physical presence or online notarization, this 21 day of January, 2021, by David B. Genson as Officer/Principal of BSGC Land Holdings, LLC, who is personally known to me or who has produced _____ (type of identification) as identification.

STAMP/SEAL





Signature of Notary Public

EXHIBIT A

PARCEL 6: TRACT 10, BONITA SPRINGS COUNTY CLUB, UNIT 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

And

Lot 86, Bonita Springs Country Club Unit 1, a subdivision according to the plat thereof recorded in Plat Book 30, Pages 81 through 84, in Public Records of Lee County, Florida.

And

PARCEL 1: TRACT 4, BONITA SPRINGS COUNTY CLUB, UNIT 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

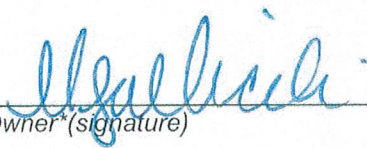
PARCEL 2: TRACT A, BONITA SPRINGS COUNTRY CLUB, UNIT 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, PUBLIC RECORDS OF LEE COUNTY, FLORIDA, LESS AND EXCEPT THE FOLLOWING DESCRIBED LANDS: A lot or parcel of land located in the Northwest 1/4 of Section 23, Township 47 South, Range 25 East, Lee County, Florida, and more particularly described as follows: Commencing at the Northwest corner of Tract 15, Bonita Springs Country Club, Unit 2, as recorded in Plat Book 30, Page 132, in the Public Records of Lee County, Florida, run South 88°37'26" West for 10.22 feet; thence run North 13°17'47" West for 40.88 feet to the Point of Beginning of the lands herein described;
thence continue North 13°17'47" West for 137.08 feet;
thence run North 10°47'13" East for 346.09 feet;
thence run North 32°58'13" East for 302.39 feet;
thence run North 56°26'31" East for 316.83 feet;
thence run North 84°24'41" East for 300.79 feet;
thence run South 01°29'13" West for 739.32 feet to an intersection with the Southerly Right-of-Way of a 30 foot wide private road extending South 88°30'47" East; thence run North 88°30'47" West for 123.00 feet;
thence run South 27°32'14" West for 206.44 feet; thence run South 88°37'26" West for 523.76 feet to the Point of Beginning.

EXHIBIT I-B-1
LETTER OF AUTHORIZATION

TO CITY OF BONITA SPRINGS COMMUNITY DEVELOPMENT

The undersigned do hereby swear or affirm that they are the fee simple title holders and owners of record of property commonly known as STRAP Number 23-47-25-B1-1400A.0000 and legally described in exhibit A attached hereto.

The property described herein is the subject of an application for zoning or development. We hereby designate BSGC Land Holdings, LLC, Q. Grady Minor & Associates, P.A. and Pavese Law as the legal representative of the property and as such, this individual is authorized to legally bind all owners of the property in the course of seeking the necessary approvals to develop. This authority includes but is not limited to the hiring and authorizing of agents to assist in the preparation of applications, plans, surveys, and studies necessary to obtain zoning and development approval on the site. This representative will remain the only entity to authorize development activity on the property until such time as a new or amended authorization is delivered to the City of Bonita Springs.




Owner* (signature)

Megan Miceli as President of Platinum Coast Financial Corp

STATE OF Florida
COUNTY OF Collier

The foregoing instrument was sworn to (or affirmed) and subscribed before me by means of physical presence or online notarization, this 3 day of February, 20 21, by Megan Miceli as President of Platinum Coast Financial Corp, who is personally known to me or who has produced _____ (type of identification) as identification.

STAMP/SEAL



Signature of Notary Public

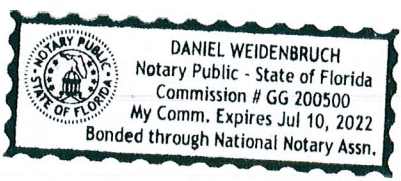


EXHIBIT A

(1) Tract A, Bonita Springs Country Club, Unit 1, (a replat of Helfenstein Estates, Lots 16, 17, 18, 19 and part of 20, according to the plat in Plat Book 8, page 40, all lying in Sections 24 and 23, Township 47 South, Range 25 East, Lee County, Florida, per Plat Book 30, pages 81 through 84, public records of Lee County, Florida.

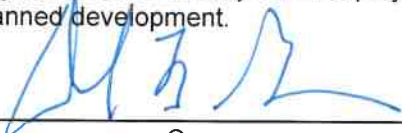
**EXHIBIT I-B-4
COVENANT OF UNIFIED CONTROL**

The undersigned do hereby swear or affirm that they are the fee simple title holders and owners of record of property commonly known as 10200 Maddox Ln, 25117 Paradise Rd and Bonita Springs Golf Course Unit 2 and legally described in exhibit A attached hereto. (street address)

The property described herein is the subject of an application for planned development zoning. We hereby designate Q. Grady Minor & Associates, P.A. and Pavese Law as the legal representative of the property and as such, this individual is authorized to legally bind all owners of the property in the course of seeking the necessary approvals to develop. This authority includes but is not limited to the hiring and authorization of agents to assist in the preparation of applications, plans, surveys, and studies necessary to obtain zoning and development approval on the site. This representative will remain the only entity to authorize development activity on the property until such time as a new or amended covenant of unified control is delivered to the City of Bonita Springs.

The undersigned recognize the following and will be guided accordingly in the pursuit of development of the project:

1. The property will be developed and used in conformity with the approved master concept plan including all conditions placed on the development and all commitments agreed to by the applicant in connection with the planned development rezoning.
2. The legal representative identified herein is responsible for compliance with all terms, conditions, safeguards, and stipulations made at the time of approval of the master concept plan, even if the property is subsequently sold in whole or in part, unless and until a new or amended covenant of unified control is delivered to and recorded by the City of Bonita Springs.
3. A departure from the provisions of the approved plans or a failure to comply with any requirements, conditions, or safeguards provided for in the planned development process will constitute a violation of the Land Development Code.
4. All terms and conditions of the planned development approval will be incorporated into covenants and restrictions which run with the land so as to provide notice to subsequent owners that all development activity within the planned development must be consistent with those terms and conditions.
5. So long as this covenant is in force, City of Bonita Springs can, upon the discovery of noncompliance with the terms, safeguards, and conditions of the planned development, seek equitable relief as necessary to compel compliance. The City of Bonita Springs will not issue permits, certificates, or licenses to occupy or use any part of the planned development and the City may stop ongoing construction activity until the project is brought into compliance with all terms, conditions and safeguards of the planned development.

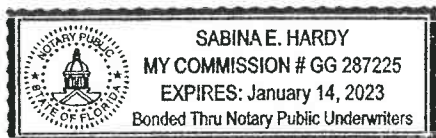



Owner
David B. Genson

Printed Name

STATE OF FLORIDA
COUNTY OF COLLIER

Sworn to (or affirmed) and subscribed before me this 21 day of January 2021, by David B. Genson, who is personally known to me or who has produced _____ as identification.





Notary Public
Sabina E. Hardy

(Name typed, printed or stamped)
(Serial Number, if any)

EXHIBIT A

PARCEL 6: TRACT 10, BONITA SPRINGS COUNTY CLUB, UNIT 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

And

Lot 86, Bonita Springs Country Club Unit 1, a subdivision according to the plat thereof recorded in Plat Book 30, Pages 81 through 84, in Public Records of Lee County, Florida.

And

PARCEL 1: TRACT 4, BONITA SPRINGS COUNTY CLUB, UNIT 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

PARCEL 2: TRACT A, BONITA SPRINGS COUNTRY CLUB, UNIT 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, PUBLIC RECORDS OF LEE COUNTY, FLORIDA, LESS AND EXCEPT THE FOLLOWING DESCRIBED LANDS: A lot or parcel of land located in the Northwest 1/4 of Section 23, Township 47 South, Range 25 East, Lee County, Florida, and more particularly described as follows: Commencing at the Northwest corner of Tract 15, Bonita Springs Country Club, Unit 2, as recorded in Plat Book 30, Page 132, in the Public Records of Lee County, Florida, run South 88°37'26" West for 10.22 feet; thence run North 13°17'47" West for 40.88 feet to the Point of Beginning of the lands herein described;
thence continue North 13°17'47" West for 137.08 feet;
thence run North 10°47'13" East for 346.09 feet;
thence run North 32°58'13" East for 302.39 feet;
thence run North 56°26'31" East for 316.83 feet;
thence run North 84°24'41" East for 300.79 feet;
thence run South 01°29'13" West for 739.32 feet to an intersection with the Southerly Right-of-Way of a 30 foot wide private road extending South 88°30'47" East; thence run North 88°30'47" West for 123.00 feet;
thence run South 27°32'14" West for 206.44 feet; thence run South 88°37'26" West for 523.76 feet to the Point of Beginning.


EXHIBIT I-B-4
COVENANT OF UNIFIED CONTROL

The undersigned do hereby swear or affirm that they are the fee simple title holders and owners of record of property commonly known as Bonita Springs Golf Course Unit 1 and legally described in exhibit A attached hereto.
(street address)

The property described herein is the subject of an application for planned development zoning. We hereby designate BSGC, LLC, Pavese Law and Q. Grady Minor & Associates, P.A. as the legal representative of the property and as such, this individual is authorized to legally bind all owners of the property in the course of seeking the necessary approvals to develop. This authority includes but is not limited to the hiring and authorization of agents to assist in the preparation of applications, plans, surveys, and studies necessary to obtain zoning and development approval on the site. This representative will remain the only entity to authorize development activity on the property until such time as a new or amended covenant of unified control is delivered to the City of Bonita Springs.

The undersigned recognize the following and will be guided accordingly in the pursuit of development of the project:

1. The property will be developed and used in conformity with the approved master concept plan including all conditions placed on the development and all commitments agreed to by the applicant in connection with the planned development rezoning.
2. The legal representative identified herein is responsible for compliance with all terms, conditions, safeguards, and stipulations made at the time of approval of the master concept plan, even if the property is subsequently sold in whole or in part, unless and until a new or amended covenant of unified control is delivered to and recorded by the City of Bonita Springs.
3. A departure from the provisions of the approved plans or a failure to comply with any requirements, conditions, or safeguards provided for in the planned development process will constitute a violation of the Land Development Code.
4. All terms and conditions of the planned development approval will be incorporated into covenants and restrictions which run with the land so as to provide notice to subsequent owners that all development activity within the planned development must be consistent with those terms and conditions.
5. So long as this covenant is in force, City of Bonita Springs can, upon the discovery of noncompliance with the terms, safeguards, and conditions of the planned development, seek equitable relief as necessary to compel compliance. The City of Bonita Springs will not issue permits, certificates, or licenses to occupy or use any part of the planned development and the City may stop ongoing construction activity until the project is brought into compliance with all terms, conditions and safeguards of the planned development.

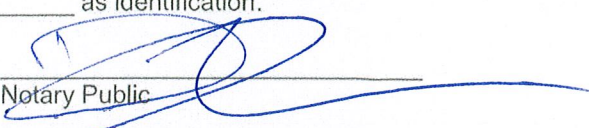

Owner

Megan Miceli as President of Platinum Coast Financial Corp

Printed Name

STATE OF FLORIDA
COUNTY OF LEE

Sworn to (or affirmed) and subscribed before me this 3 day of February 2021, by Megan Miceli, President, who is personally known to me or who has produced as identification.


Notary Public

(Name typed, printed or stamped)
(Serial Number, if any)

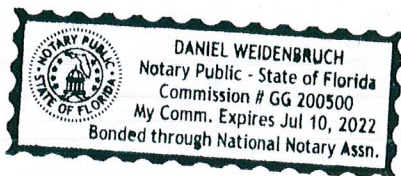


EXHIBIT A

(1) Tract A, Bonita Springs Country Club, Unit 1, (a replat of Helfenstein Estates, Lots 16, 17, 18, 19 and part of 20, according to the plat in Plat Book 8, page 40, all lying in Sections 24 and 23, Township 47 South, Range 25 East, Lee County, Florida, per Plat Book 30, pages 81 through 84, public records of Lee County, Florida.

Bonita Springs Golf Course PD

Exhibit I-B-5, I-B-6 and I-B-7

Surrounding Property Owners List and Labels

Date: 9/3/2020	List Size: 877					
STRAP	Owner Name	Address	City	State	Zip	Country
23-47-25-B1-0050A.0000	PLATINUM COAST FINANCIAL CORP	961 TRAIL TERRACE DR	NAPLES	FL	34103	
14-47-25-B3-010L3.00CE	BONITA LAKES HOMEOWNERS TOLL BROS INC	24201 WALDEN CENTER DR STE 204	BONITA SPRINGS	FL	34134	
14-47-25-B3-010P1.00CE	BONITA LAKES HOMEOWNERS TOLL BROS INC	24201 WALDEN CENTER DR STE 204	BONITA SPRINGS	FL	34134	
14-47-25-B3-0130A.00CE	BONITA LAKES HOMEOWNERS ASSN I	3365 WOODS EDGE CIR STE 102	BONITA SPRINGS	FL	34134	
14-47-25-B3-0130A.1210	GIGANTE JOYCE E	23197 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130A.1220	SAVINO JOSEPH F + COLLEEN I	10505 ESPANOLA DR	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130B.1340	COHEN PHILIP + JAYNE J	10514 ESPANOLA DR	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130C.1350	WEAD ROY DOUGLAS & MYRIAM	23184 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130C.1360	HUTZLER JEFFERY & JEAN	23188 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130C.1370	RICKSTROM KEVIN L + KATHY	23192 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130C.1380	GILLES LARRY W + JOYCE K	23196 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130C.1390	GEHLY PAULA MARIE TR	23200 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130D.2390	BLANCO JUVENAL + SYNTHIA D	23180 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130D.2400	LODOVICO ANTONIO + DANETTE M	2211 ARDMORE BLVD	PITTSBURGH	PA	15221	
14-47-25-B3-0130D.2410	VASUDEVAN CHITTIBABU +	23172 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130D.2420	BARRETTE RICHARD G &	23168 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130E.2650	KOHUT KENNETH M + SUSAN A	5281 BUTTERNUT RIDGE DR	INDEPENDENCE	OH	44131	
14-47-25-B3-0130E.2660	MCGREGOR TODD THOMAS +	23175 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130E.2670	TOSCH ROBERT + ROSEMARY IRENE	23179 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130E.2680	RENSBERGER MICHAEL L &	23183 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0130S.00CE	BONITA LAKES HOMEOWNERS ASSN I	3365 WOODS EDGE CIR STE 102	BONITA SPRINGS	FL	34134	
14-47-25-B3-0140A.00CE	BONITA LAKES HOMEOWNERS ASSN I	3365 WOODS EDGE CIR STE 102	BONITA SPRINGS	FL	34134	
14-47-25-B3-0140A.1100	YOUNGBLOOD BHAIRAVI	23243 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0140A.1110	CARNEY-BUSH MARY GRACE KELLY &	714 ROXBURY CT	LAKE ORION	MI	48359	
14-47-25-B3-0140A.1120	BROWN ROGER & SUSAN	23216 SALINAS WAY	BONITA SPRINGS	FL	34135	
14-47-25-B3-0140A.1130	PHELAN MARILYN K TR	23231 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0140A.1140	BIRMAN GERALDINE M TR	23227 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0140A.1150	KINSEY KATHLEEN KARLIN &	23223 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0140A.1160	GORDON BARRY H TR	1222 CHARLOTTESVILLE BLVD	KNOXVILLE	TN	37922	
14-47-25-B3-0140A.1170	FLORES MARIO AUGUSTO &	23215 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0140A.1180	ROYALTY LARRY T &	1419 LOCUST ST	QUINCY	IL	62301	
14-47-25-B3-0140A.1190	BOWDISH ELLIE JANE	23207 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0140A.1200	CHOW CHRISTOPHER NING-YUE &	23203 SANABRIA LOOP	BONITA SPRINGS	FL	34135	
14-47-25-B3-0140B.1400	COHN BRUCE RONALD &	211 SALTGRASS DR	GLEN BURNIE	MD	21060	

14-47-25-B3-0140B.1410	CABREJA CHRISTINE MARIA	23208 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140B.1420	HOFFMAN LAURIE S TR	23212 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140B.1430	BADE ERNEST E & ROSE V TR	23216 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140B.1440	HOLLANDER LAWRENCE & SALLIE	23220 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140B.1450	AMOROSO JOHN ROBERT &	23224 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140B.1460	HUJSA HOWARD & IRENE	23228 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140B.1470	ABELL MICHAEL RADFORD &	23232 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140B.1480	GUILD GORDON E	23236 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140B.1490	RODRIGUES JOSEPH MICHAEL &	23240 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140C.1500	THOMAS ALAN SCHUMAN II &	3030 BEACON WOODS DR	CLEVES	OH	45002
14-47-25-B3-0140D.2080	DOBRILLA ENRIQUE MARTIN &	23300 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140D.2090	GRZEBIELUCHA PAUL +	23296 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140D.2100	KAUFFMAN JAMES W + BEVERLY KAY	23292 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140D.2110	HAUGEN KENNETH LANCE &	1329 17 1/2 AVE SW	MINOT	ND	58701
14-47-25-B3-0140D.2120	GABRIEL FRANK G JR +	23284 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140D.2130	FRIEDMAN SCOTT R &	23280 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140D.2140	SOLIMINE JENNIFER ANN +	23276 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140D.2150	SMITH ROBERT SIDNEY &	23272 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140D.2160	CAPOCCIA ADELE CATHERINE +	23268 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140D.2170	MCDONALD TIMOTHY J &	23264 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140D.2180	MUELLER RONALD J & DENISE M	23260 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140D.2190	MASSEY GLEN A & PATRICIA	23256 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140D.2200	PEARLMAN RICHARD &	23252 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140D.2210	URSO MARIO P & LINDA L	3 FARM FIELD LN	PITTSFORD	NY	14534
14-47-25-B3-0140D.2220	ABBASI MUHAMMAD J & TRACY L	23244 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140E.2230	JAHRAUS JOEL P	23255 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140E.2240	LANA KUPFERSCHMID REV TRUST +	23261 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140E.2250	PYTEL JEFFERY M + THERESA M	23265 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140E.2260	QUERCI JOHN C	23271 SANABRIA LOOP	BONITA SPRINGS	FL	34135
14-47-25-B3-0140E.2270	ROETTKER DONALD J & PEGGY L	5700 BLACKWOLF RUN	CINCINNATI	OH	45247
14-47-25-B3-0140E.2280	JHAWAR SURESH C TR G-M ENTERPRISES	525 KLUG CIR	CORONA	CA	92880
14-47-25-B3-0140S.00CE	BONITA LAKES HOMEOWNERS ASSN I	3365 WOODS EDGE CIR STE 102	BONITA SPRINGS	FL	34134
14-47-25-B4-00115.00B0	CROWDER DALE	3029 TROPHY DR #303	NAPLES	FL	34110
14-47-25-B4-00115.00C0	HULL SHARON J	10361 SAINT PATRICKS LN	BONITA SPRINGS	FL	34135
14-47-25-B4-00115.00D0	POLITO STEPHEN M + HELEN	2174 POST AVE	LYNDHURST	NJ	7071
14-47-25-B4-00115.00E0	JOHNSON HEATHER M	10409 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00115.00F0	PERRY DEBRA M	10425 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00115.00G0	ESLER LEE E + JOAN M	10441 WILD TURKEY AV	BONITA SPRINGS	FL	34135
14-47-25-B4-00115.00H0	RAZZANO FRANK	10457 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00115.00I0	JONES JAY R + MARY C	10471 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0010	VANCE WILLIAM J III + DONNA E	10498 WILD TURKEY AV	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0020	DUNSTAN LAWRENCE W + ANNE C	10480 WILD TURKEY AVE	BONITA SPRINGS	FL	34135

14-47-25-B4-00300.0030	MARLOW RONALD S + CAROL A	10470 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0040	BARTELS GLORIA	10456 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0050	SCHINKEL STEPHEN + BARBARA	200 WINDSOR DR	EATONTOWN	NJ	7724
14-47-25-B4-00300.0060	OVERTON BRIAN ALAN	10426 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0070	HARVEY ADELAIDE M TR	10410 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0080	BOLT JERRY R + JOYCE D	10398 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0090	BLACKWELL BRENT D +	10382 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0100	BARTLEY WILLIAM TSR + DIANNE E	812 RIVER LN	ANOKA	MN	55303
14-47-25-B4-00300.0110	MCMULLEN ROBERT A JR	10354 WILD TURKEY AV	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0120	COLEMAN DAVID	10338 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0130	MARY M LYNCH TR	1255 PASADENA AVE UNIT 811	SAINT PETERSBURG	FL	33707
14-47-25-B4-00300.0140	PRESSELLER PAUL	10300 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0150	BRADLEY ROBERT + ELAINE TR	622 GOLFERS LN	BARTLETT	IL	60103
14-47-25-B4-00300.0160	LINVILLE WILLIE C JR	10278 WILD TURKEY AV	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0170	GOETZ DIANE	49 MOUNTAINSIDE DR	RANDOLPH	NJ	7869
14-47-25-B4-00300.0180	SPEAKMAN DAVID F + JOYCE A	24683 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0190	GRANT MARGARET S TR	24701 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0200	JONES CARI LYNN	24719 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0210	EDDY EUGENE W + GERTRUDE M	24733 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0220	KEMP KEVIN DOUGLAS +	24753 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0230	MACKER MARY A	PO BOX 96	SOMERS	MT	59932
14-47-25-B4-00300.0240	FASSINO SEAN & LAUREN	24783 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0250	BOWEN LYNETTE + GARY	24801 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0260	HERNANDEZ ISMAEL & ELSY	24815 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0270	EMARD ERIK W	24849 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0280	PANZERI PETER	24867 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0290	HALE SHARON L	24881 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0300	ZIELINSKI DAVID A + COLLEEN M	24899 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0310	ROMANO JAMES M	24915 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0320	RIEMAN THOMAS K JR + REANNA C	24929 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0330	GROVES GREGORY G	24945 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0340	PETELER GEORGE P III + CLAIRE	24961 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0350	DOLCE ANNE E	24979 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0360	TRALEWSKI SHIRLEY	24999 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0370	GILLMOR AARON MICHAEL GODETTE	24998 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0380	PIZZA PATSY J + MARIE E	24980 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0400	NORTON ROBERT T & JOY E TR	24960 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0410	KOPALA RICHARD + BARBARA A	24946 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0420	WHITE JAMES G + JOANNE	24916 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0430	HICKEY RYAN PATRICK +	24896 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0440	BEESELY MELISSA ANN	24880 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0450	MCDONALD PAUL D + VIRGINIA SUE	24866 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0460	KATHLEEN D MAJOR TRUST	24850 CARNOUSTIE CT	BONITA SPRINGS	FL	34135

14-47-25-B4-00300.0470	VET THOMAS D & CHERIE T	24816 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0480	OLSEN MURIEL A	24800 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0490	SIKORSKI ALAN E +	24782 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0500	KORNOELJE J KENNETH +	24774 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0510	HEDER JACQUELINE L	24750 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0520	MAFFEI JOHN	24734 CARMOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0530	SLEEPER STEPHAN D + BONNIE E	24716 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0540	DEFORGE JEREMIAH +	24710 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0550	KYNOCH GRACE M L/E	24708 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0560	JOHNSON GARY & ANGELA	24700 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0570	CROWE KATHERINE GRACE	24701 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0580	LOPEZ ORTIZ DAVID E &	24707 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0590	SNYDER FRANCIS J + MARGARET TR	4632 ROUTE 98	GREAT VALLEY	NY	14741
14-47-25-B4-00300.0600	PIRRO RICHARD W + MARY M	24731 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0610	DEMETRIADES GEORGE T + LARALEE	24777 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0620	SCHECHTER ANDRE TR	26721 DUBLIN WOODS STE 1	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0630	HUTCHINGS EDGAR M +	24801 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0640	MAZZEO JOHN D + GAIL	24815 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0650	VERNON ALEXANDER +	24849 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0660	DELSIGNORE JULIA A TR	188 PRESTON ALLEN RD	LISBON	CT	6351
14-47-25-B4-00300.0670	WAGGONER MARY ALLISON	24881 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0680	SMITH KEVIN R + VANESSA	24895 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0690	KIPP MARC A	24915 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0700	BOTT BEVERLY J	24945 CARNOUSHE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0710	GAYARRE WENDY R	24961 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0720	BUZZELL AMY	24971 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0730	OGLE BARBARA J +	24981 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.0740	BUNTING DOUGLAS P + PAMELA H	24999 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.1150	DEANE MICHAEL J + KATHERINE A	PO BOX 367688	BONITA SPRINGS	FL	34136
14-47-25-B4-00300.1160	BOSWELL EILEEN	24651 PARADISE RD	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.1170	NIETO PAULINO & ARACELI	10277 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.1180	KASPRZAK CHERYL	PO BOX 990461	NAPLES	FL	34116
14-47-25-B4-00300.1190	OTTO MARILYN +	10301 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.1200	NEWMAN KENNETH A	10325 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00300.1210	MORPHIS LARRY + DORIS D	10347 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
14-47-25-B4-00400.0010	GOWELL LAWRENCE M &	2411 LAKE AVE UNIT 31	NORTH MUSKEGON	MI	49445
14-47-25-B4-00400.0020	JONES DAVID M	3A SUNSET DR	ESSEX JUNCTION	VT	5452
14-47-25-B4-00400.0270	JEANS PHILIPPE &	10281 ENOCH LN	BONITA SPRINGS	FL	34135
14-47-25-B4-00400.0350	METCALFE LOUISE S TR	10248 ENOCH LN	BONITA SPRINGS	FL	34135
14-47-25-B4-00400.0360	BRICKLEY LISA L +	10252 ENOCH LN	BONITA SPRINGS	FL	34135
14-47-25-B4-00400.0370	GLASS JEFREY & JENNIFER	10260 ENOCH LN	BONITA SPRINGS	FL	34135
14-47-25-B4-00400.0380	BUTLER JEFFREY S + EVELYNE	10266 ENOCH LN	BONITA SPRINGS	FL	34135
14-47-25-B4-00400.0390	SALWACH BERNADETTE	10270 ENOCH LN	BONITA SPRINGS	FL	34135

14-47-25-B4-00400.0400	SCHELL RICHARD I + SHANNON	10350 SAINT PATRICKS LN	BONITA SPRINGS	FL	34135	
14-47-25-B4-00400.0480	MARTIN VINCENT + DONNA	10280 ENOCH LN	BONITA SPRINGS	FL	34135	
14-47-25-B4-00600.0010	PERRY ALLEN PAUL &	24710 PARADISE RD	BONITA SPRINGS	FL	34135	
14-47-25-B4-00600.0020	WALL JOHN J + ELAINE H	24700 PARADISE RD	BONITA SPRINGS	FL	34135	
14-47-25-B4-00600.0090	BRANDT CHRISTINE L	24680 PARADISE RD	BONITA SPRINGS	FL	34135	
14-47-25-B4-00700.0010	BENNETT NICHOLAS J + AMY M	24900 FAIRWINDS LN	BONITA SPRINGS	FL	34135	
14-47-25-B4-00700.0020	HOOS SANDRA S TR	24908 FAIRWINDS LN	BONITA SPRINGS	FL	34135	
14-47-25-B4-00700.0030	DE LA CHAPELLE ANDREW B +	24916 FAIRWINDS LN	BONITA SPRINGS	FL	34135	
14-47-25-B4-00700.0170	CAMBRA TRAVERS F + NOREEN S	10170 BROOK RIDGE LN	BONITA SPRINGS	FL	34135	
14-47-25-B4-00700.0180	MEANS DAVID R & LINDA C	10190 BROOK RIDGE LN	BONITA SPRINGS	FL	34135	
14-47-25-B4-00700.0190	DORNETTO JOSEPH C SR &	24978 PARADISE RD	BONITA SPRINGS	FL	34135	
14-47-25-B4-00700.0200	KNECHTEL ULRICH +	BRAUWEG 2	GESSERTSHAUSEN		86459	GERMANY
14-47-25-B4-00700.0210	STAROPOLI MATTHEW C + BRUNILDA	19 SHERWOOD DR	NANUET	NY	10954	
14-47-25-B4-00700.0220	DAFELDECKER ROBERT K &	24901 FAIRWINDS LN	BONITA SPRINGS	FL	34135	
14-47-25-B4-00700.0230	WIRTH RICHARD +	24909 FAIRWINDS LN	BONITA SPRINGS	FL	34135	
14-47-25-B4-00700.0320	PAVEY MASHELLE MARIE TR	10355 DAWN AVE	NAPERVILLE	IL	60564	
14-47-25-B4-00701.00CE	SOUTHLANDS HOMEOWNERS ASSN	11680 BONITA BEACH RD SE	BONITA SPRINGS	FL	34135	
14-47-25-B4-0070A.00CE	SOUTHLANDS HOMEOWNERS ASSN	11680 BONITA BEACH RD SE	BONITA SPRINGS	FL	34135	
14-47-25-B4-00800.0010	MARCH JASON E & BRITTANY P	10289 AVONLEIGH DR	BONITA SPRINGS	FL	34135	
14-47-25-B4-00800.0020	PALACIOS ROMAN	10285 AVONLEIGH DR	BONITA SPRINGS	FL	34135	
14-47-25-B4-00800.0030	RUSSELL ROBERT R + SALLY K	10283 AVONLEIGH DR	BONITA SPRINGS	FL	34135	
14-47-25-B4-00800.0360	BIROU LAURA MARIE	8951 BONITA BEACH RD SUITE 525-303	BONITA SPRINGS	FL	34135	
14-47-25-B4-00800.0370	COMERICA BANK + TRUST NA TR INDUSTRY CONSULTING GROUP INC	PO BOX 8265	WICHITA FALLS	TX	76307	
14-47-25-B4-00800.0380	BROWN DAVID EDWARD +	10103 AVONLEIGH DR	BONITA SPRINGS	FL	34135	
14-47-25-B4-00800.0390	THIES HEINZ + KARIN	10284 AVONLEIGH DR	BONITA SPRINGS	FL	34135	
14-47-25-B4-00800.0770	UNKNOWN HEIRS OF	1564 MISSISSAUGA RD	MISSISSAUGA	ON	L5H 2K2	CANADA
14-47-25-B4-0080A.00CE	FAIRWINDS HOMEOWNERS ASSN INC	PO BOX 36624	BONITA SPRINGS	FL	34135	
14-47-25-B4-0080B.00CE	FAIRWINDS HOMEOWNERS ASSN INC	PO BOX 36624	BONITA SPRINGS	FL	34135	
14-47-25-B4-0080C.00CE	FAIRWINDS HOMEOWNERS ASSN INC	PO BOX 36624	BONITA SPRINGS	FL	34135	
14-47-25-B4-0080E.00CE	FAIRWINDS HOMEOWNERS ASSN INC	PO BOX 36624	BONITA SPRINGS	FL	34135	
14-47-25-B4-0080F.00CE	FAIRWINDS HOMEOWNERS ASSN INC	PO BOX 36624	BONITA SPRINGS	FL	34135	
22-47-25-B2-00200.7170	MCCANN BRENDA L +	25440 STILLWELL PKWY	BONITA SPRINGS	FL	34135	
22-47-25-B2-00200.7310	GLAZIER ALAN A + SHERI D	25460 STILLWELL PKWY	BONITA SPRINGS	FL	34135	
22-47-25-B2-00200.7320	GORMAN BRIAN	227 DOLPHIN COVE CT	BONITA SPRINGS	FL	34134	
22-47-25-B2-00200.7440	YOUNGBLOOD ROBERT A TR	25504 STILLWELL PKWY	BONITA SPRINGS	FL	34135	
22-47-25-B2-00200.7450	JONES DEAN	25526 STILLWELL PKWY	BONITA SPRINGS	FL	34135	
22-47-25-B2-00200.7550	TRAN LONG VINH &	9576 STRIKE LN	BONITA SPRINGS	FL	34135	
22-47-25-B2-00200.7560	CLARK MICHAEL D + SALLY A	25566 STILLWELL PKWY	BONITA SPRINGS	FL	34135	
22-47-25-B2-00200.7640	FINK PATRICIA T	25588 STILLWELL PKWY	BONITA SPRINGS	FL	34135	
22-47-25-B3-00002.0010	HOPE LUTHERAN CHURCH	25999 OLD 41 RD	BONITA SPRINGS	FL	34135	
22-47-25-B3-00002.0020	CITY OF BONITA SPRINGS	9101 BONITA BEACH RD	BONITA SPRINGS	FL	34135	
22-47-25-B3-00200.7800	LEMUS FRANCISCO JAVIER JR	25736 STILLWELL PKWY	BONITA SPRINGS	FL	34135	

22-47-25-B3-0070I.00CE	VILLAGES OF BONITA MASTER ASSN WBG SW FLORIDA INC	27800 OLD 41 RD	BONITA SPRINGS	FL	34135	
22-47-25-B3-007J0.00CE	VILLAGES OF BONITA MASTER ASSN WBG SW FLORIDA INC	27800 OLD 41 RD	BONITA SPRINGS	FL	34135	
22-47-25-B3-00800.01CE	BERMUDA PARK CONDO ASSN INC GULF BREEZE MGMT	8910 TERRENE CT STE 200	BONITA SPRINGS	FL	34135	
22-47-25-B3-01600.00CE	BERMUDA PARK CONDO ASSN INC	27800 OLD 41 RD	BONITA SPRINGS	FL	34135	
22-47-25-B3-02000.0020	RAZO LAURA & LEOBARDO	9704 GLEN HERON DR	BONITA SPRINGS	FL	34135	
22-47-25-B3-02000.0030	INTERNATIONAL CAPITAL	20 N MARTINGALE RD STE 180	SCHAUMBURG	IL	60173	
22-47-25-B3-02000.0040	VELIKOV ILKOAT +	2855 MIZZEN WAY	NAPLES	FL	34109	
22-47-25-B3-02000.0050	WILHELM JAMES R TR	9716 GLEN HERON DR	BONITA SPRINGS	FL	34135	
22-47-25-B3-02000.0060	LE NGOC LY THI	9720 GLEN HERON DR	BONITA SPRINGS	FL	34135	
22-47-25-B3-02000.0070	WOODHALL GRAHAM + SUSAN	HUNDLEBY GRANSE NORTHBECK LANE	HUNDLEBY LINCOLNSHIRE		PEZ3 5NB	UNITED KINGDOM
22-47-25-B3-02000.0250	MANSOUR MICHAEL + MIREILLE	2063 BORD DU LAC	IIE-BIZARD	QC	H9C 1A6	CANADA
22-47-25-B3-02000.0260	LEZEAU WOLF BOURJOLLY	9723 GLEN HERON DR	BONITA SPRINGS	FL	34135	
22-47-25-B3-0200A.00CE	RPM MANAGEMENT INC COCKLESHELL VILLAGE PO ASSN	PO BOX 1167	NAPLES	FL	34106	
23-47-25-B1-00500.0020	PCFC-BONITA LLC	961 TRAIL TERRACE DR	NAPLES	FL	34103	
23-47-25-B1-00500.0040	PLATINUM COAST FINANCIAL CORP	961 TRAIL TERRACE DR	NAPLES	FL	34103	
23-47-25-B1-00814.0010	JOHNSON NOREEN L	25441 CARNEY CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-00814.0020	NEAL PAULA N & WENDIE K	25451 CARNEY CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-00814.0030	UNKNOWN HEIRS OF	25461 CARNEY CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-00814.0040	SIPALA MARA I	25505 CARNEY CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-00814.0050	GUERRA ISIDORO + ELVIA L	25452 PARADISE RD	BONITA SPRINGS	FL	34135	
23-47-25-B1-00814.0060	BYRNE PHILLIP +	FOURWINDS GOODSHAW LANE CRAWSHAWBOOTH LANCASHIRE	ROSSENDALE		BB4 8DJ	UNITED KINGDOM
23-47-25-B1-00814.0070	SUMMERALL SCOTT +	12751 DEVONSHIRE LAKES CIR	FORT MYERS	FL	33913	
23-47-25-B1-00814.0080	RICHARD STEPHEN + JANICE	25408 CARNEY CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-00814.0090	OBRIEN LEONARD R	25416 CARNEY CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-00814.0100	YINGLING JAMES G TR	3500 PRAIRIE RD	BELLEVUE	OH	44811	
23-47-25-B1-00814.0110	HOUDYSHELL MICHAEL	25432 CARNEY CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-00814.0120	ARRIGO MARK C & GABRIELLE R	25440 CARNEY CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-00814.0130	SOMERS SCOTT A	25448 CARNEY CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-00814.0140	HUGHES DOUGLAS R + KAREN	25456 CARNEY CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-00814.0150	SHOCK SANDRA	25464 CARNEY CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-01100.00CE	FAIRWAY PINES CONDO ASSOC	5683 BALKAN CT	FORT MYERS	FL	33919	
23-47-25-B1-01400.0750	MARTELL TERRY A TR +	PO BOX 367837	BONITA SPRINGS	FL	34136	
23-47-25-B1-01400.0760	BELLANTONI FRED & LUCY	25067 CARNOUSTIE CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01400.0770	LUTHER ROBERT J + FRANCES A	25137 CARNOUSTIE CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01400.0780	LATFY CAROL A TR	25205 CARNOUSTIE CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01400.0790	UNKNOWN HEIRS OF	25275 CARNOUSTIE CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01400.0800	ROBBINS JAMES A TR	25341 CARNOUSTIE CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01400.0810	COLVIN WILLIAM A & EMILY	25001 PARADISE RD	BONITA SPRINGS	FL	34135	
23-47-25-B1-01400.0820	NGUYEN TUAN HUU &	25021 PARADISE RD	BONITA SPRINGS	FL	34135	
23-47-25-B1-01400.0830	BAUTISTA MARIA JULIA LUJAN +	25045 PARADISE RD	BONITA SPRINGS	FL	34135	
23-47-25-B1-01400.0840	FOSTER DOUGLAS B +	25069 PARADISE RD	BONITA SPRINGS	FL	34135	

23-47-25-B1-01400.0850	MCCLOSKEY JOHN SR + LINDA E	25093 PARADISE RD	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0860	NEIERT TAYLOR +	25117 PARADISE RD	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0870	NAGLE-SCOTT LINDA S &	25141 PARADISE RD	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0880	HAMILTON MICHAEL +	25163 PARADISE RD	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0890	ROMANO NICHOLAS + LOIS ANN	8718 INDEPENDENCE DR	STERLING HEIGHTS	MI	48313
23-47-25-B1-01400.0900	MCKEE CHRISTOPHER A	10263 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0910	CHITWOOD JEFFREY L &	10277 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0920	CASAS MALCOW M & TANIA K	10287 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0930	GRALL EMIL H + NETTIE J TR	10301 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0940	ELAM JOSEPH TR	25311 PARADISE RD	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0950	PIERFELICE LOUIS J +	10333 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0960	ELAM JOSEPH E TR	25311 PARADISE RD	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0970	GRALL EMIL H & NETTI J TR	10361 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0980	HANCOCK SANDRA H TR	10373 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.0990	DIGIORGIO VINCENT R &	10385 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.1010	HAMED MICHAEL C & JUDITH D +	10411 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.1020	ROBERTSON LANA K +	10425 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.1030	WALTERS JOSEPH J + KATIE L	10439 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.1040	SMILEY PATRICK W	10457 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.1070	CINOTTI ROBERT W + LOUISE M	10456 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.1080	CONNER THOMAS M + DORCAS E	10440 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.1090	ORKOVITZ LAWRENCE E + LINDA A	10426 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.1100	FISHER JO ANNE L EST	10420 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.1110	FISHER BARBARA Y	10410 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.1120	LENARD MARK D & ROBYN L	10406 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.1130	HORAN JOHN & JENNIFER	10400 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
23-47-25-B1-01400.1140	EDDY NEAL R TR	4843 RT 219	GREAT VALLEY	NY	14741
23-47-25-B1-01500.0010	PATTERSON DEBRA K	25150 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0020	SONNENBERG WILLIAM L &	25152 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0030	MOORMAN THOMAS + DONNA	25154 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0040	VELARDO MARIE E VELARDO WILLIAM	8 MICHAEL RD	WAKEFIELD	MA	1880
23-47-25-B1-01500.0050	MANDY SUZANNE TR	25158 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0060	CAMP PATRICK R & SHERYL A	25160 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0070	POPP FREDERICK W SR TR	25162 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0080	CATLIN NICOLE	25164 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0090	GRAMER RONALD G + DEBRA L	1460 WOLF RIVER DR	FREMONT	WI	54940
23-47-25-B1-01500.00CE	GREENS OF BONITA SPGS DEV INC BONITA SPRINGS GOLF + COUNTRY	10200 MADDOX LN	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0100	GENTILE VIRGINIA	25168 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0110	HARDEBECK BARBARA J	25170 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0120	JENKINS H DAVIS + NORMA C	PO BOX 149	BRIDGEPORT	WV	26330
23-47-25-B1-01500.0130	LUNDBERG GRANT N SR	25174 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0140	KELLER YVONNE A	25176 GOLF LAKE CIR	BONITA SPRINGS	FL	34135

23-47-25-B1-01500.0150	NEWTON WILLIAM R	25178 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0160	EPPICH ROBERT + MELANIE	11850 LAUREL RD	CHESTERLAND	OH	44026
23-47-25-B1-01500.0170	GRENON LARRY E & KIM G	109 HOMESTEAD LN	EAST FALMOUTH	MA	2536
23-47-25-B1-01500.0180	MURPHY ROGER P & LEA ANN +	5705 VALLEY RD	AMES	IA	50014
23-47-25-B1-01500.0190	KLENK CAROL M TR	25186 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.01CE	GREENS OF BONITA SPGS DEV INC BONITA SPRINGS GOLF + COUNTRY	10200 MADDOX LN	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0200	MILLER MICHAEL J &	25188 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0210	HURLEY JOHN & LAURA	25190 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0220	ROMANO MARK	25192 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0230	VANDERVORT ROBBIN L + CATHY H	25194 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0240	EGGER BEVERLY	25196 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0250	TUCKER KIM	25198 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0260	SPECK MICHAEL A +	7142 AKRON RD	LOCKPORT	NY	14094
23-47-25-B1-01500.0270	BUSDICKER VIRGINIA L TR	4051 MARSHALL AVE	SANDUSKY	OH	44870
23-47-25-B1-01500.0280	PINK DONNA M TR	725 GULFSHORE DR	DESTIN	FL	32541
23-47-25-B1-01500.0290	SERNA JENNIFER +	25206 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0300	SIEVERS STANLEY J + JOYE	25208 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0310	SIGSTAD BONITA A TR	20601 EVERTON WAY N	FOREST LAKE	MN	55025
23-47-25-B1-01500.0320	SIGSTAD BONITA A TR	20601 EVERTON WAY N	FOREST LAKE	MN	55025
23-47-25-B1-01500.0330	BARRY RAYMOND M + MARGRET TR	1201 HADLEY AVE N APT 215	OAKDALE	MN	55128
23-47-25-B1-01500.0340	PETERS ROBERT J + MARLA J	5605 S GRAND PRAIRIE DR	SIOUX FALLS	SD	57108
23-47-25-B1-01500.0350	LITKE GARY JEROME TR	20439 FENSTON AVENUE NORTH	FOREST LAKE	MN	55025
23-47-25-B1-01500.0360	PESSOLANO PAUL + ELIZABETH	25220 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0370	BROWNLEE DAVID A + JANET K +	506 VERDE MEADOW DR	FRANKLIN	TN	37067
23-47-25-B1-01500.0380	BUSH BERNARD + BARBARA A	25231 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0390	TOBIAS EILEEN & GILBERT	25233 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0400	ASPINWALL TRUST	25235 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0410	ROTIGEL JENNIFER V TR	25237 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0420	LAWINGER JOANN K TR	10014 COTTONWOOD LN N	MAPLE GROVE	MN	55369
23-47-25-B1-01500.0430	PENROD BARBARA S	25241 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0440	CRAM DIANE M	25243 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0450	CAVERLY KRISTOPHER L	PO BOX 743	LAKE CITY	MI	49651
23-47-25-B1-01500.0460	BEECH CORNERS LTD	650 KELTONHURST DR	PATASKALA	OH	43062
23-47-25-B1-01500.0470	CINELLI ROBERT J + ANITA M	25153 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0480	PANEK RICHARD W + MARLENE R	25155 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0490	BROWN DOROTHY M	25157 GOLF LAKE CR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0500	GOOCH JOHN R + LAURA V TR	25159 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0510	LOVE JAIME + GERI	25161 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0520	KELLY MARION JOAN	25163 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0530	EKDAHL MIRABILE SANDRA	25187 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0540	PARKS SHARON J	25189 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01500.0550	FRANK E FICO TRUST +	1464 CHESTNUT CROSSING	LEMONT	IL	60439

23-47-25-B1-01500.0560	BLANKENSHIP ROGER D + DONNA M	25195 GOLF LAKE CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-01500.0570	GREEN HOWARD L + MARCIA JO	8525 VIA CARIBALDI CIR #201	ESTERO	FL	33928	
23-47-25-B1-01500.0580	AUSTIN ROBERT LEROY &	25199 GOLF LAKE CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-01500.0590	FISTER JEFFREY SCOTT	573 APPLE ST	DIXON	IL	61021	
23-47-25-B1-01500.0600	JOHNSON VIRGINIA W TR	791 N SOUTH LONG LAKE RD	TRAVERSE CITY	MI	49685	
23-47-25-B1-01500.0610	DEFAZIO RALPH J + JEANNE M	25209 GOLF LAKE CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-01500.0620	KOHN JOANNE	25211 GOLF LAKE CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-01500.0630	NIELSEN HARALD P +	25213 GOLF LAKE CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-01500.0640	KALINOWSKI JOHN F + PEGGY C	2359 LIGHTHOUSE COVE	WICHITA	KS	67205	
23-47-25-B1-01500.0650	ZOIA BARBARA A	25217 GOLF LAKE CIR	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.00CE	FAIRWAY DUNES CONDO ASSOC INC	PO BOX 2288	BONITA SPRINGS	FL	34133	
23-47-25-B1-01700.0010	CORNELL JOHN D + JUDITH L	10248 WOOD IBIS AVE	BONITA SPRINGS	FL	34135	
23-47-25-B1-01700.0020	PACH RONALD F + ALICE L	1511 W STRASBURG RD	WEST CHESTER	PA	19382	
23-47-25-B1-01700.0030	WALLACE LORI SCHUCKLAT	10278 WOOD IBIS AVE	BONITA SPRINGS	FL	34135	
23-47-25-B1-01700.0040	LOMBARDI DENNIS TR	10300 WOOD IBIS AVE	BONITA SPRINGS	FL	34135	
23-47-25-B1-01700.0050	ELAM JOSEPH TR	25311 PARADISE RD	BONITA SPRINGS	FL	34135	
23-47-25-B1-01700.0060	TOSLLUKU STEFAN +	10332 WOOD IBIS AVE	BONITA SPRINGS	FL	34135	
23-47-25-B1-01900.00CE	EAGLE POINTE ASSOC INC	10200 MADDOX LN	BONITA SPRINGS	FL	34135	
23-47-25-B1-02000.0630	RODRIGUEZ JENNY &	6275 W 24TH AVE APT #202	HIALEAH	FL	33016	
23-47-25-B1-02000.0640	STRAIGHT FINANCIAL LLC	24266 RODAS DR	BONITA SPRINGS	FL	34135	
23-47-25-B1-02000.0710	HASKINS BETSY	10300 JEF NIK LN	BONITA SPRINGS	FL	34135	
23-47-25-B1-02000.0720	GRIMM RICHARD T + INGBORG E	4N100 THORNTREE RD	SAINT CHARLES	IL	60174	
23-47-25-B1-02000.0730	CHEATHAM JOHN W	25361 PARADISE RD	BONITA SPRINGS	FL	34135	
23-47-25-B1-02000.0740	CAMPBELL RICK C + VICKIE A	10301 JEF NIK LN	BONITA SPRINGS	FL	34135	
23-47-25-B1-02000.0810	LENGO DUNG ANH	10300 WEST SIDE LN	BONITA SPRINGS	FL	34135	
23-47-25-B1-02000.0820	ELAM JOSEPH TR	25311 PARADISE RD	BONITA SPRINGS	FL	34135	
23-47-25-B1-02000.0830	PEREZ BALDEMAR J	4899 ROYAL PALM DR	ESTERO	FL	33928	
23-47-25-B1-02000.1000	TIRSCHKE JOSEPH D +	25249 PARADISE RD	BONITA SPRINGS	FL	34135	
23-47-25-B1-02000.1010	HEATH BARRY L & SUSAN C	25307 PARADISE RD	BONITA SPRINGS	FL	34135	
23-47-25-B1-02000.1020	MOTES DAVID G + ANDREA K	10301 WEST SIDE LN	BONITA SPRINGS	FL	34135	
23-47-25-B1-02000.1050	NOLTE BENJAMIN J TR	25250 CORZINE RD	BONITA SPRINGS	FL	34135	
23-47-25-B1-02000.1070	AVRAMIDIS KAREN	4051 GULF SHORE BLVD N #1101	NAPLES	FL	34103	
23-47-25-B1-02100.00CE	GOLF VILLAS OF BONITA SPRINGS	10085 MADDOX LANE	BONITA SPRINGS	FL	34135	
23-47-25-B1-02300.00CE	LAKESIDE HIDEAWAY AT BONITA COMPASS GROUP	3701 N TAMAMI TRL	NAPLES	FL	34103	
23-47-25-B2-0060A.0010	HOOPS NICHOLAS TROY + JENNIFER	10494 WOOD IBIS AVE	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060A.0020	KEELING KATHRYN D	25210 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060A.0030	JOHNSON MELISSA &	3652 PALOMINO RD	MELBOURNE	FL	32934	
23-47-25-B2-0060B.0010	RIMONDI LAUREN P & GARREN +	25180 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060B.0020	NAFD0F21 LLC	2316 PINE RIDGE RD # 453	NAPLES	FL	34109	
23-47-25-B2-0060B.0030	TURNER VAL A + ROSEMARY	25160 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060B.0040	COOK GRAHAM + JUDITH	136 SCOTHWOOD RD HAYLING ISLAND	HAMPSHIRE		PO11 9QH	UNITED KINGDOM
23-47-25-B2-0060B.0050	AUGUSTINE DAVID B + DIANE	25140 DIVOT DR	BONITA SPRINGS	FL	34135	

23-47-25-B2-0060B.005A	RONAN JOHN T + MARCIA J	25130 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060C.0020	KREITNER JAMES WESLEY	10208 ROCKVILLE PIKE APT 402	ROCKVILLE	MD	20852	
23-47-25-B2-0060C.0030	HOWER MICHAEL + LISA	10591 WOODCHUCK LN	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060D.0010	ELGERABLI YGAL +	10570 WOODCHUCK LN	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060D.0020	POLAK JOEL K + ANGELA M	10580 WOODCHUCK LN	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060D.0030	MAGDALENO AMBER OLGALEE	10590 WOODCHUCK LN	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060D.0220	RUPP CRYSTAL + MARK II	10591 WOOD IBIS AVE	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060D.0230	DEVIESE TERESA K	10581 WOOD IBIS AVE	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060D.0240	HATLAS PAUL M	10571 WOOD IBIS AVE	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060E.0010	SEIFERS BRAD	25211 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060E.0020	GRAHAM CLARA ANNE TR	25201 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0060E.0030	KOSCHALK SUSAN G & JASON	19782 BEAULIEU CT	FORT MYERS	FL	33908	
23-47-25-B2-01400.1050	ENTRUST IRA SW FLORIDA LLC RONALD LOOSLI	27376 TORTOISE TRL	BONITA SPRINGS	FL	34135	
23-47-25-B2-01400.1060	LENNON PATRICIA A +	10468 WOOD IBIS AVE	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220A.0010	BOTHWELL JAMES W JR + KAREN M	25120 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220A.0020	TIEBEN JEROME E + TORI J	25110 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220A.0030	WHITE CURTIS & CATHRYN	25100 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220A.0040	BRENNAN CRAIG R + CATHIE A	25090 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220A.0050	ENGLAND PHILLIP &	25080 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220A.0060	LUCKOW PAMELA	25070 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220A.0070	BLACKMAN TERRY L &	25050 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220A.0080	LANSDEN THOMAS M + HEIDI S	25030 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220A.0090	SWALES JOHN J	80 BURNS BLVD, SU 415	KING CITY	ON	L7B 0B3	CANADA
23-47-25-B2-0220A.00CE	SIR MICHAELS PLACE HOME ASSN CAMBRIDGE MGMT	2335 TAMIAMI TRL N STE 402	NAPLES	FL	34103	
23-47-25-B2-0220A.0100	WOULAS MICHAEL + NANCY	25010 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220B.0010	PAPPALARDO MONICA	10570 SIR MICHAELS PLACE DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220B.00CE	SIR MICHAELS PLACE HO ASSN INC SUNVAST MGMT + SVCS INC	381 INTERSTATE BLVD	SARASOTA	FL	34240	
23-47-25-B2-0220C.0010	GLATT GARY M + CAROLE W	10551 SIR MICHAELS PLACE DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220C.0020	GREER JOSEPH B & MARSHA L	25071 DIVOT DR	BONITA SPRINGS	FL	34135	
23-47-25-B2-0220C.00CE	SIR MICHAELS PLACE HO ASSN INC SUNVAST MGMT + SVCS INC	381 INTERSTATE BLVD	SARASOTA	FL	34240	
23-47-25-B4-00417.0000	PERFETTO ANTHONY J+ KEARSTON K	25623 NOEL LN	BONITA SPRINGS	FL	34135	
23-47-25-B4-00418.0000	PERFETTO VINCENT G + TRUCEAL M	25624 JARROW RD	BONITA SPRINGS	FL	34135	
23-47-25-B4-00419.0000	BELLAMY ROBERT WAYNE &	25623 JARROW RD	BONITA SPRINGS	FL	34135	
23-47-25-B4-00420.0000	STEGER LINDA L	25850 PARADISE RD	BONITA SPRINGS	FL	34135	
23-47-25-B4-00713.0010	WIDHALM PAUL + RAQUEL	24900 DIVOT DT	BONITA SPRINGS	FL	34135	
23-47-25-B4-00713.0020	PARKINSON WESLEY ROBERT &	25539 FENNER CIR	BONITA SPRINGS	FL	34135	
23-47-25-B4-00713.0030	BYRER WILLIAM H + CATHY L	25543 FENNER CIR	BONITA SPRINGS	FL	34135	
23-47-25-B4-00713.0040	FORESTER DOUGLAS E	25547 FENNER CIR	BONITA SPRINGS	FL	34135	
23-47-25-B4-00713.0050	HEGER SIEGFRIED HEGER &	WITTEKINDSTR 1B	WILDESHAUSEN		27793	GERMANY
23-47-25-B4-00713.0060	MRAZ THOMAS A + ANITA L	25555 FENNER CIR	BONITA SPRINGS	FL	34135	
23-47-25-B4-00713.0070	OWENS STUART F	25559 FENNER CIR	BONITA SPRINGS	FL	34135	

23-47-25-B4-00713.0080	MIGUEL TRACY XANTHE	25563 FENNER CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00713.0090	SANTIAGO JOSTINO R &	25567 FENNER CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00713.0100	SIERTS MICHAEL + SHEILA B	PO BOX 366116	BONITA SPRINGS	FL	34136
23-47-25-B4-00713.0110	RICK ELIZABETH A TR	25575 FENNER CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00713.0120	OSBORNE VANROY JR + AMY JO	25579 FENNER CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00713.0130	VANDERMILLEN SUZANNE M	25583 FENNER CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00713.0140	TENNANT MICHAEL ALAN &	25572 FENNER CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00713.0150	CRUZ ESMERALDA +	25564 FENNER CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00713.0160	DELOREY DANIEL P &	25556 FENNER CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00713.0170	BUCHANAN FRANKLIN T JR	25548 FENNER CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00713.0180	ANGIUS JOSEPH S JR &	25540 FENNER CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00814.0160	WALCOTT MARY E TR	25472 CARNEY CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00814.0170	WADDELL JEAN ANN +	25480 CARNEY CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00814.0180	BAKER PAMELA	25488 CARNEY CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00814.0190	KOSILLA TERESA G &	25496 CARNEY CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00814.0200	UNSWORTH AMBER D	25504 CARNEY CIR	BONITA SPRINGS	FL	34135
23-47-25-B4-00900.00CE	BONITA PINES CLUB CONDO ASSOC	25802 COCKLESHELL DR	BONITA SPRINGS	FL	34135
23-47-25-B4-01000.00CE	CYPRESS PLANTATIONS CONDO ASSO	27180 BAY LANDING DR STE 4	BONITA SPRINGS	FL	34135
23-47-25-B4-01200.00CE	CYPRESS PLANTATIONS CONDO II	187 FOREST LAKES BLVD	NAPLES	FL	34105
23-47-25-B4-02000.0130	WELSH THOMAS R + PATRICIA	5890 TIMBERLINE CT	NEW MIDDLETOWN	OH	44442
23-47-25-B4-02000.0140	PACETTI MATTHEW +	10301 BINKY LN	BONITA SPRINGS	FL	34135
23-47-25-B4-02000.0210	GONZALEZ ANTONIO M	10300 TARRAH LN	BONITA SPRINGS	FL	34135
23-47-25-B4-02000.0220	RANDINELLI TODD J + MARILUISE	25831 PARADISE RD	BONITA SPRINGS	FL	34135
23-47-25-B4-02000.0230	JORESKI KEITH	13885 LAZY LN	FORT MYERS	FL	33905
23-47-25-B4-02000.0240	GRIMM S MARTIN + SUE C	PO BOX 923	BONITA SPRINGS	FL	34133
23-47-25-B4-02000.024A	FITZGERALD BRIAN	10325 TARRAH LN	BONITA SPRINGS	FL	34135
23-47-25-B4-02000.0310	HEIDEMANN KENNETH L + SARA Y	21587 BELHAVEN WAY	ESTERO	FL	33928
23-47-25-B4-02000.0320	ESMON DWIGHT + SANDRA B	10250 MORNINGSIDE LN	BONITA SPRINGS	FL	34135
23-47-25-B4-02000.0330	YOUNG DAVID H + CAROL A	10350 MARLIN LN	BONITA SPRINGS	FL	34135
23-47-25-B4-02000.0410	MLSL LLC	6945 LAKEVIEW DR	YALAHA	FL	34797
23-47-25-B4-02000.0420	LEHMANN JUNE MILLER &	25623 PARADISE RD	BONITA SPRINGS	FL	34135
23-47-25-B4-02000.0430	CHAMBERS AARON M & GRETA M	25581 PARADISE RD	BONITA SPRINGS	FL	34135
23-47-25-B4-02000.0440	BULLOCK CHAD	10301 PEPE LN	BONITA SPRINGS	FL	34135
23-47-25-B4-02000.0510	WIED THOMAS K + CATHERINE A	4797 EDGEWATER BEACH RD	GREEN BAY	WI	54311
23-47-25-B4-02000.0520	ERCOLANI ANTHONY D + SHEILA M	25555 PARADISE RD	BONITA SPRINGS	FL	34135
23-47-25-B4-02000.0530	NUNNINK LEO A + SHIRLEY A	25481 PARADISE RD	BONITA SPRINGS	FL	34135
23-47-25-B4-02000.0610	NUNNINK SHIRLEY A TR	25481 PARADISE RD	BONITA SPRINGS	FL	34135
23-47-25-B4-02000.0620	NUNNINK SHIRLEY A TR	25481 PARADISE RD	BONITA SPRINGS	FL	34135
22-47-25-B3-01612.0101	MARZEC HENRY + ZOFIA	23 WEISS RD	UPPER SADDLE RIVER	NJ	7458
22-47-25-B3-01612.0102	LORENZ JACK	25735 LAKE AMELIA WAY #102	BONITA SPRINGS	FL	34135
22-47-25-B3-01612.0103	MASON ROBERT SCOTT	1623 W AYRES AVE	PEORIA	IL	61606
22-47-25-B3-01612.0104	KING FRANKLIN	17870 CASTLE HARBOR DR	FORT MYERS	FL	33967

22-47-25-B3-01612.0105	BAXTER FRANCIS A + CYNTHIA	454 SPRING ST	MARSHFIELD	MA	2050	
22-47-25-B3-01612.0201	CARLSON CYNTHIA G	25735 LAKE AMELIA WAY #201	BONITA SPRINGS	FL	34135	
22-47-25-B3-01612.0202	KOSKELA GARY & GABRY MONICA	752 SPRING DR	NORTHVILLE	MI	48167	
22-47-25-B3-01612.0203	MARKS ADAMS + MATTEA	25735 LAKE AMELIA WAY #203	BONITA SPRINGS	FL	34135	
22-47-25-B3-01612.0204	HOMETOWN RADIO INC SANTA	21046 BOSCO CT	ESTERO	FL	33928	
22-47-25-B3-01612.0205	RUSSELL JOHN & CAROL	17703 GLOBE THEATER DR	OLNEY	MD	20832	
22-47-25-B3-01613.0101	GRUETTEMAYER MICHAEL E +	25727 LAKE AMELIA WAY # 101	BONITA SPRINGS	FL	34135	
22-47-25-B3-01613.0102	BRYSKIEWICZ CHERYL A	25727 LAKE AMELIA WAY #102	BONITA SPRINGS	FL	34135	
22-47-25-B3-01613.0103	UNKNOWN HEIRS OF	25737 OLD GASLIGHT DR	BONITA SPRINGS	FL	34135	
22-47-25-B3-01613.0104	STONE STEVEN R & LORI A	25727 LAKE AMELIA WAY #104	BONITA SPRINGS	FL	34135	
22-47-25-B3-01613.0105	SANOW CHARLES R JR	10627 S SPRINGFIELD	CHICAGO	IL	60655	
22-47-25-B3-01613.0201	MAJESKI THOMAS C + LARUE R	46057 BARTLETT DR	CANTON	MI	48187	
22-47-25-B3-01613.0202	MATHEWS TOD E + DONNA P	PO BOX 366494	BONITA SPRINGS	FL	34136	
22-47-25-B3-01613.0203	SHOPE RICHARD L + VIRGINIA M	2925 GREENBRIAR LN	ALLENTOWN	PA	18103	
22-47-25-B3-01613.0204	COMPRES NICOLE	25727 LAKE AMELIA WAY # 204	BONITA SPRINGS	FL	34135	
22-47-25-B3-01613.0205	GAUDET DARRELL ROLAND &	303-64 CUMBERLAND DR	DARTMOUTH	NS	B2V 2C7	CANADA
22-47-25-B3-01614.0101	ROUSE DOUGLAS W	470 BERRY PATCH LN	WHITE LAKE	MI	48386	
22-47-25-B3-01614.0102	JOHNSTON MICHAEL G +	400 QUARY LANE NE UN E	WARREN	OH	44483	
22-47-25-B3-01614.0103	DAY REGINA T TR	3311 TWILIGHT LN #4901	NAPLES	FL	34109	
22-47-25-B3-01614.0104	KARAS FRANCES L/E	PSC #2 BOX 7864	APO	AE	9012	
22-47-25-B3-01614.0201	FOX JUDITH L & PATRICK O	8 GASLIGHT DR	ALBANY	NY	12205	
22-47-25-B3-01614.0202	DEMOLE DAVID +	136 RENAUD	NORTE DAME D ILE PERROT	QC	J7V 6C2	CANADA
22-47-25-B3-01614.0203	COSTELLO SUSAN A	25711 LAKE AMELIA WAY #203	BONITA SPRINGS	FL	34135	
22-47-25-B3-01614.0204	WIRTH ROBERT A TR	2260 MISTY CT	NEW BERLIN	WI	53151	
22-47-25-B3-01615.0101	DIAZ ELSA +	25710 LAKE AMELIA WAY #101	BONITA SPRINGS	FL	34135	
22-47-25-B3-01615.0102	GORING MICHELLE	25710 LAKE AMELIA WAY #102	BONITA SPRINGS	FL	34135	
22-47-25-B3-01615.0103	OLYMPUS ESTATE INC	4912 BAYBRIDGE BLVD	ESTERO	FL	33928	
22-47-25-B3-01615.0104	BOWLING MARCIA C TR	144 RIDGEVIEW DR	WYOMING	OH	45215	
22-47-25-B3-01615.0201	REYNOLDS GARDINER B	25710 LAKE AMELIA WAY #201	BONITA SPRINGS	FL	34135	
22-47-25-B3-01615.0202	BROWN MARTIN D+ SHARON	25710 LAKE AMELIA WAY # 202	BONITA SPRINGS	FL	34135	
22-47-25-B3-01615.0203	TURNER EDWIN C + BEVERLY A	25710 LAKE AMELIA WAY #203	BONITA SPRINGS	FL	34135	
22-47-25-B3-01615.0204	TAURASI PAUL A III + DOROTHY L	54 CLIFFSIDE DR	PLYMOUTH	MA	2360	
23-47-25-B1-01100.1010	GOOD JEFFREY D & JANE E	650 MORNINGSTAR DR	PORTAGE	WI	53901	
23-47-25-B1-01100.1020	SCHLUMPF MICHAEL W + ANGELA C	159 FREEDOM LN	SEWICKLEY	PA	15143	
23-47-25-B1-01100.1030	WRIGHT EDWARD L/E	25398 GOLF LAKE CIR #103	BONITA SPRINGS	FL	34135	
23-47-25-B1-01100.1040	HAYNER CHARLES L + EVA M	10804 N 300 E LOT 2	ROME CITY	IN	46784	
23-47-25-B1-01100.1050	HEYER DAVID S & BARBARA G	25398 GOLF LAKE CIR # 105	BONITA SPRINGS	FL	34135	
23-47-25-B1-01100.1060	LANGE RICH + LANA	25398 GOLF LAKE CIR #106	BONITA SPRINGS	FL	34135	
23-47-25-B1-01100.1070	LAMIRANDE ROGER A TR	1383 BLUE JAY PL	NEW RICHMOND	WI	54017	
23-47-25-B1-01100.1080	EGELAND MICHAEL R + KARIN M TR	25398 GOLF LAKE CIR #108	BONITA SPRINGS	FL	34135	
23-47-25-B1-01100.1090	JENKINS H DAVIS + NORMA C	PO BOX 149	BRIDGEPORT	WV	26330	
23-47-25-B1-01100.1100	SOUTH RIVERSIDE LLC	27282 SOUTH RIVERSIDE DR	BONITA SPRINGS	FL	34135	

23-47-25-B1-01100.2010	SHAWINSKY PETER J	25398 GOLF LAKE CIR # 201	BONITA SPRINGS	FL	34135
23-47-25-B1-01100.2020	HINTZ RICHARD D + PAMELA L	3819 KENS LN	MIDLAND	MI	48642
23-47-25-B1-01100.2030	BENOIT DONNA H L/E	25398 GOLF LAKE CIR #203	BONITA SPRINGS	FL	34135
23-47-25-B1-01100.2040	LODOVICO EUGENE C &	8003 BREN DINA CT	MURRYSVILLE	PA	15668
23-47-25-B1-01100.2050	RIVARD DOUGLAS H + KATHERINE E	2286 100TH ST	NEW RICHMOND	WI	54017
23-47-25-B1-01100.2060	WOOD THOMAS H & DENISE	25398 GOLF LAKE CIR # 206	BONITA SPRINGS	FL	34135
23-47-25-B1-01100.2070	LAPOINTE PAUL K + CAROL J TR	20542 ENFIELD CR	FOREST LAKE	MN	55025
23-47-25-B1-01100.2080	JOHNSON ROBERTA J	25398 GOLF LAKE CIR #208	BONITA SPRINGS	FL	34135
23-47-25-B1-01100.2090	LAPOINTE PAUL K + CAROL J TR	20542 ENFIELD CR	FOREST LAKE	MN	55025
23-47-25-B1-01100.2100	LARSON ROBERT W + MICHELYN TR	5256 W 106TH ST	BLOOMINGTON	MN	55437
23-47-25-B1-01100.1110	LYONS JERRY C + JOAN M	25402 GOLF LAKE CIR #111	BONITA SPRINGS	FL	34135
23-47-25-B1-01100.1120	EDER JULIA C +	13365 EUROPA CT N UNIT 2	HUGO	MN	55038
23-47-25-B1-01100.1130	HARNED LYNN B & MARJORIE E TR	3008 GRAND BLVD	CEDAR FALLS	IA	50613
23-47-25-B1-01100.1140	OBRIEN LEONARD R	25416 CARNEY CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01100.1150	ROSS WILLIAM F & JEANNE M	25402 GOLF LAKE CIR #115	BONITA SPRINGS	FL	34135
23-47-25-B1-01100.1160	ADAMS DENNIS L	120 KYNLYN RD	RADNOR	PA	19087
23-47-25-B1-01100.1170	OBRIEN LEONARD ROBERT	25416 CARNEY CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-01100.1180	BERFANGER RON +	PO BOX 771390	NAPLES	FL	34117
23-47-25-B1-01100.2110	MITCHELL MARY M &	CMR 409, BOX 443	APO	AE	9053
23-47-25-B1-01100.2120	FLANAGAN THOMAS F	25402 GOLF LAKE CIR #212	BONITA SPRINGS	FL	34135
23-47-25-B1-01100.2130	SOUTH RIVERSIDE LLC	27282 S RIVERSIDE DR	BONITA SPRINGS	FL	34135
23-47-25-B1-01100.2140	PIPKIN MICHAEL J + ELAINE J	25402 GOLF LAKE CIR #214	BONITA SPRINGS	FL	34135
23-47-25-B1-01100.2150	DAHLSEID JULIE	3144 CRIMSON DR NW	GARFIELD	MN	56332
23-47-25-B1-01100.2160	HAFNER FRANK H TR	5000 PROVIDENCE DR THE COMMONS ROOM 210	SANDUSKY	OH	44870
23-47-25-B1-01100.2170	WOJTOWICZ ROBERT P + VIRGINIA	25402 GOLF LAKE CIR #217	BONITA SPRINGS	FL	34135
23-47-25-B1-01100.2180	WEAVER BENN L & BELINDA M	25402 GOLF LAKE CIR #218	BONITA SPRINGS	FL	34135
23-47-25-B1-01600.0010	HELLER KAYE L	25101 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
23-47-25-B1-01600.0020	IRWIN TERRY ALLAN &	7115 FRENCH HILL RD NW	DOVER	OH	44622
23-47-25-B1-01600.0030	CROTEAU BRIAN & JULIEN	25121 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
23-47-25-B1-01600.0040	BENOLKIN MATTHEW J + ANNE E	25131 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
23-47-25-B1-01600.0050	LOCKHART JOYCE M	25141 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
23-47-25-B1-01600.0060	WHITTEMORE BONNIE M	25151 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
23-47-25-B1-01600.0070	PRUDENTE FLORENCE T	25161 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
23-47-25-B1-01600.0080	NICCUM KERRY L + CAROL J	25171 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
23-47-25-B1-01600.0090	DEALY JOHN J + KATHLEEN D	13 GEORGIAN DR	CLARK	NJ	7066
23-47-25-B1-01600.0100	ROGERS EILEEN S	25191 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
23-47-25-B1-01600.0110	GRICE PAMELA ANN	25201 FAIRWAY DUNES CT	BONITA	FL	34135
23-47-25-B1-01600.0120	WILSON DALE R + CAROL A	702 WALES WAY	ASHLAND	VA	23005
23-47-25-B1-01600.0130	PATTERSON BRIAN THOMAS	25221 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
23-47-25-B1-01600.0140	PACI PATRICIA A	25231 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
23-47-25-B1-01600.0150	OLEARY MARY LU TR +	1211 WESTON DR	ARLINGTON HEIGHTS	IL	60004
23-47-25-B1-01600.0160	YOHAI MARK M TR	2 STONE HILL RD	WESTBOROUGH	MA	1581

23-47-25-B1-01600.0170	TANNER BRAD CURTIS +	25261 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0180	ZAJAC ANDREW & ASTRID	1324 CHURCHILL RD	SCHAUMBURG	IL	60195	
23-47-25-B1-01600.0190	MIRKES NANCY J TR	25281 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0200	FOX JAMES F + CAROL S	150 MALLARD COVE RD	LOWVILLE	NY	13367	
23-47-25-B1-01600.0210	HERRINGSHAW DOUGLAS H + SUSAN	1191 RILEY RD	CARO	MI	48723	
23-47-25-B1-01600.0220	FLOOD LINDA RAE	25311 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0230	GRELLA JENNIFER LYNN	25321 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0240	CURRY DAVID +	25331 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0250	LEACH KENNETH PAUL &	1333 PINKHAM RD	EAST BURKE	VT	5832	
23-47-25-B1-01600.0260	INDUSTRIE CARDEN INC	2770 CHAMPAGNE ST	SHERBROOK	QC	J1K 1W8	CANADA
23-47-25-B1-01600.0270	PERKINS LEONARD + MARTHA E	937 STATE HIGHWAY 3	BAR HARBOR	ME	4609	
23-47-25-B1-01600.0280	OCONELL ELLEN J	25371 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0290	LAMEY RICHARD W & DIANA	8139 CADWALADER AVE	ELKINS PARK	PA	19027	
23-47-25-B1-01600.0300	BARTLEY ROBERT H + ANTOINETTE	25391 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0310	SHIRLEY MARY V TR	25401 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0320	KLING ERICH A + GAIL M TR	11 E SALEM RD	FISHKILL	NY	12524	
23-47-25-B1-01600.0330	SATER ARTHUR L + SHARRON K	25421 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0340	ELLIOTT NEIL S J +	246 GREEN CIR	DORVAL	QC	H9S 3T8	CANADA
23-47-25-B1-01600.0350	STAFFORD SANDRA	25441 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0360	RAFTERY JUNE	25451 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0370	METZ EDWARD JR	25461 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0380	WINSETT RONALD + MARGERY H	25471 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0390	LESUEUR FRANK G + CHERYL H	11018 REEDY CREEK RD	BRISTOL	VA	24202	
23-47-25-B1-01600.0400	BREEN JEFFRY K & BEVERLY	25491 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0410	JEMISON TRACEY F	1118 HUDSON ST APT 4	HOBOKEN	NJ	7030	
23-47-25-B1-01600.0420	REILLY DANIEL A + MARJORIE A	1214 SEA GIRT AVE	SEA GIRT	NJ	8750	
23-47-25-B1-01600.0430	DERRICO THOMAS C + JUDY A	3 RIDGEWOOD AVE	RIVERSIDE	NJ	8075	
23-47-25-B1-01600.0440	BETTS TANNER +	25531 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0450	SMITH ROBERT F JR &	25541 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0460	COLARUSSO ALBERT V JR &	25551 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0540	CLEAR JAMES +	25560 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0550	TIBBETTS MARK H TR	25550 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0560	ARPS MARSHA J	25540 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0570	FREITAS ANDREW J	25530 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0580	WEBB JOHN R L/E	25520 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0590	RODERICK JAMES A + MYLA A	25510 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0600	RATH LINDA LOU	25500 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0610	DERAMO ITALO + KATHLEEN S	635 WINTER ST	FRAMINGHAM	MA	1702	
23-47-25-B1-01600.0620	BUDNICK CYNTHIA H	25480 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0630	ABBOTT JAMES W + PATRICIA R	2009 SCHNEIDER ST NE	CANTON	OH	44721	
23-47-25-B1-01600.0640	LAHRMER SCOT F TR	5672 COX SMITH RD	MASON	OH	45040	
23-47-25-B1-01600.0650	WARYAS THERESA M TR	24709 RODAS DR	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0660	LAYCOCK THOMAS B +	25420 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	

23-47-25-B1-01600.0670	WHITE DANIEL JOSEPH +	25410 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0680	JOHNSON STEPHEN E	25400 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0690	SHEETS CAROLE M	9731 SW 115TH AVE	MIAMI	FL	33176	
23-47-25-B1-01600.0700	LARSON CARL R JR TR	25380 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0710	BANKS BYRON B &	25370 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0720	TANNER ROBIN	25163 PARADISE RD	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0730	FUNSTON JANET J L/E	25230 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0740	BARBER WILLIAM C + ELIZABETH D	119 THORN HOLLOW RD	CHESHIRE	CT	6410	
23-47-25-B1-01600.0750	ARMSTRONG BRYAN G + SHELIA S	25210 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0760	GROSS CARL J + CAROL J	676 SOUTHWICK RD	SOMERDALE	NJ	8083	
23-47-25-B1-01600.0770	LEE ROBERT & RANDI	25190 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0780	CARLANO LINDA R	25160 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01600.0790	MEYERS RICHARD PAUL	2195 BAYVIEW PL	WAYZATA	MN	55391	
23-47-25-B1-01600.0800	VILLANEDA KARLA A +	25120 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B1-01900.3110	BAXTER JULIA C	2961 MARALICE DR	CARMEL	IN	46033	
23-47-25-B1-01900.3120	BURHANCE JAMES L	10241 MADDOX LN #312	BONITA SPRINGS	FL	34135	
23-47-25-B1-01900.3130	PETROSKY NANCY TR VERNE PETROSKY	2894 E CROWN DR	TRAVERSE CITY	MI	49685	
23-47-25-B1-01900.3210	LANG ALAN J	10241 MADDOX LN #321	BONITA SPRINGS	FL	34135	
23-47-25-B1-01900.3220	MCCORMACK KIM	10241 MADDOX LN #322	BONITA SPRINGS	FL	34135	
23-47-25-B1-01900.3230	GRANTHAM DONELLA	10241 MADDOX LN #323	BONITA SPRINGS	FL	34135	
23-47-25-B1-01900.4110	CASEY GERALD F + DIANE E	6167 STATE ROUTE 79	CHENANGO FORKS	NY	13746	
23-47-25-B1-01900.4120	GOEBEL KENNETH N & LINDA A	W350N8921 NORWEGIAN RD	OCONOMOWOC	WI	53066	
23-47-25-B1-01900.4130	BAKANOWSKI PETER F +	10251 MADDOX LN APT 413	BONITA SPRINGS	FL	34135	
23-47-25-B1-01900.4210	FUSCO FRANK F II & MARY K	3409 RIVER PLACE DR	COLUMBUS	OH	43221	
23-47-25-B1-01900.4220	MONSALVE JORGE I +	10251 MADDOX LN #422	BONITA SPRINGS	FL	34135	
23-47-25-B1-01900.4230	STAPLETON PHILIP +	31400 BELLEVUE DR	BELLEVUE	IA	52031	
23-47-25-B1-02301.0101	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02301.0102	GIORGETTI PIER	60 CRICKERBROOK LN	FAIRFIELD	CT	6824	
23-47-25-B1-02301.0103	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02301.0104	ARSENAULT MICHAEL J +	10030 MADDOX LANE # 104	BONITA SPRINGS	FL	34135	
23-47-25-B1-02301.0105	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02301.0106	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02301.0201	MEAZA PROPERTIES LLC	2100 N LINCOLN PARK W APT 4CS	CHICAGO	IL	60614	
23-47-25-B1-02301.0202	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02301.0203	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02301.0204	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02301.0205	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02301.0206	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02301.0301	NABBS BERNARD + PATRICIA A +	24630 S TAMAMI TRAIL UNIT A	BONITA SPRINGS	FL	34134	
23-47-25-B1-02301.0302	COUVRETTE YVON +	523 CONC ROAD 1	L ORIGNAL	ON	KOB 1K0	CANADA
23-47-25-B1-02301.0303	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02301.0304	PREVATTE SHIRLENE ANNETTE L/E	10030 MADDOX LN # 304	BONITA SPRINGS	FL	34135	

23-47-25-B1-02301.0305	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02301.0306	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0107	KERSEY MICHAEL &	790 29TH ST SW	NAPLES	FL	34117
23-47-25-B1-02302.0108	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0109	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0110	NEWCOMB WILLIAM J & GAIL A	10020 MADDOX LN # 110	BONITA SPRINGS	FL	34135
23-47-25-B1-02302.0111	MEAZA PROPERTIES LLC	2100 N LINCOLN PARK W APT 4CS	CHICAGO	IL	60614
23-47-25-B1-02302.0112	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0113	DURHAM TIMOTHY C & DAWN J	10020 MADDOX LN #113	BONITA SPRINGS	FL	34135
23-47-25-B1-02302.0114	GOLDEN ROBERT C & JANE B TR	10020 MADDOX LN #114	BONITA SPRINGS	FL	34135
23-47-25-B1-02302.0207	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0208	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0209	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0210	LEFEBVRE PAULA M TR	10020 MADDOX LN #210	BONITA SPRINGS	FL	34135
23-47-25-B1-02302.0211	BFH PROPERTY HOLDINGS	28 HARTFORD AVE	MADISON	CT	6443
23-47-25-B1-02302.0212	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0213	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0214	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0307	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0308	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0309	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0310	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0311	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0312	ROONEY MARVIN L + MARTHA	5049 STILLWATER BLVD N	STILLWATER	MN	55082
23-47-25-B1-02302.0313	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02302.0314	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02303.0115	FLORES DONNA MARIE +	10010 MADDOX LN # 115	BONITA SPRINGS	FL	34135
23-47-25-B1-02303.0116	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02303.0117	RICK ELIZABETH A TR	25575 FENNER CIR	BONITA SPRINGS	FL	34135
23-47-25-B1-02303.0118	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02303.0119	WAPPETT KATHLEEN TR	10010 MADDOX LN #119	BONITA SPRINGS	FL	34135
23-47-25-B1-02303.0120	SUTTER ROBERT H + JANICE	4854 W 350 S	BERNE	IN	46711
23-47-25-B1-02303.0215	WALKER KATHLEEN A TR	5240 BLAIR RD	PERRY	OH	44081
23-47-25-B1-02303.0216	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02303.0217	ZIMINS JULIA	304 SYPE DR	CAROL STREAM	IL	60188
23-47-25-B1-02303.0218	TAYLOR JANICE R	10010 MADDOX LN #218	BONITA SPRINGS	FL	34135
23-47-25-B1-02303.0219	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02303.0220	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02303.0315	MAURO THOMAS R + MARY C	35 SHADY LN	WESTBURY	NY	11590
23-47-25-B1-02303.0316	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
23-47-25-B1-02303.0317	SCHLEEDE CHRISTOPHER + DIANE	5951 CURRY RD EXT	SCHENECTADY	NY	12303
23-47-25-B1-02303.0318	TER-RAN LLC	PO BOX 2325	BONITA SPRINGS	FL	34133
23-47-25-B1-02303.0319	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021

23-47-25-B1-02303.0320	PARENTEAU GREGORY & DONNA	22724 355TH ST SE	ERSKINE	MN	56535	
23-47-25-B1-02304.0121	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02304.0122	PETRILLA PAUL R	3110 N AVE	PARMA	OH	44134	
23-47-25-B1-02304.0123	AIBEL JOHN E + SUSAN A	455 COVE TOWER DR UNIT 602	NAPLES	FL	34110	
23-47-25-B1-02304.0124	ROMAN HORST L + CHRISTINE TR	43666 COLUMBIA DR	CLINTON TOWNSHIP	MI	48038	
23-47-25-B1-02304.0125	ADAMS LOGAN + BERNICE	2224 LOVELL CT	LEXINGTON	KY	40513	
23-47-25-B1-02304.0126	RAYMONDI JAMES + SAMANTHA	4533 BEVERLY AVE NE	CANTON	OH	44714	
23-47-25-B1-02304.0221	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02304.0222	FONTANA CHRISTOPHER D TR	7711 SANTA MARGHERITA WAY	NAPLES	FL	34109	
23-47-25-B1-02304.0223	TER-RAN LLC	PO BOX 2325	BONITA SPRINGS	FL	34133	
23-47-25-B1-02304.0224	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02304.0225	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02304.0226	TER-RAN LLC	PO BOX 2325	BONITA SPRINGS	FL	34133	
23-47-25-B1-02304.0321	DREIER TIMOTHY E + MARY +	485 7TH AVE N	NAPLES	FL	34102	
23-47-25-B1-02304.0322	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02304.0323	MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021	
23-47-25-B1-02304.0324	SANTA WILLIAM D	21046 BOSCO CT	ESTERO	FL	33928	
23-47-25-B1-02304.0325	LYNN ROBERT E	907 WALTON DR	PLAINFIELD	IN	46168	
23-47-25-B1-02304.0326	DREIER TIMOTHY E + MARY +	485 7TH AVE N	NAPLES	FL	34102	
23-47-25-B4-0090A.1110	VAN OSDOL WILLIAM + JANE	804 ALLEN CT	WESTFIELD	IN	46074	
23-47-25-B4-0090A.1120	CALCATERRA RAYMOND J + MARIA A	46188 WINSTON DR	SHELBY TOWNSHIP	MI	48315	
23-47-25-B4-0090A.1130	HAUPTLY ROBERT C +	PO BOX 104	WATERLOO	IA	50704	
23-47-25-B4-0090A.1140	RYCZAJ WILLIAM J JR &	25802 COCKLESHELL DR #114	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090A.1150	EDE DONALD L &	432 N JACKSON ST	MONDOVI	WI	54755	
23-47-25-B4-0090A.1160	KUFTA ROBERT W + VIVIAN G +	1750 BREWER RD	LEONARD	MI	48367	
23-47-25-B4-0090A.1170	CALCATERRA RAYMOND & CAROLE TR	13752 CARLISLE DR	STERLING HEIGHTS	MI	48312	
23-47-25-B4-0090A.1180	SIZEMORE KAREN I	25802 COCKLESHELL DR APT A118	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090A.2110	CONLON MARGOT	81 SHADYBROOK CRESCENT	GUELPH	ON	N1G 3H6	CANADA
23-47-25-B4-0090A.2120	WHITNEY ELIZABETH MAE	25802 COCKLESHELL DR #212	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090A.2130	COZART ALFRED O & NIKKI L	14 WALKER CT	POLAND	OH	44514	
23-47-25-B4-0090A.2140	SCHWEFEL THOMAS O TR	N7302 COUNTY RD F	OCONOMOWOC	WI	53066	
23-47-25-B4-0090A.2150	MARKGRAFF HELENA L/E	25802 COCKLESHELL DR	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090A.2160	MAGILL JOHN W	37 MAIN ST	BOYLSTON	MA	1505	
23-47-25-B4-0090A.2170	BRILLATI PAUL L + DEBORAH J	54358 AURORA PARK	SHELBY TOWNSHIP	MI	48316	
23-47-25-B4-0090A.2180	SOBEZAK DENNIS R + PAULA L	3141 SYLVESTER DR	HARTLAND	WI	53029	
23-47-25-B4-0090A.3110	HON THOMAS SR	25802 COCKLESHELL DR # 311	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090A.3120	JACKSON SANDRA L + JOHN W	25802 COCKLESHELL DR #312	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090A.3130	UHRICK KELLY A	1013 JAMESTOWN RD	BROOMALL	PA	19008	
23-47-25-B4-0090A.3140	STEEH ROBERT J + DIANE B	6635 SNOWSHOE LN	BRIGHTON	MI	48116	
23-47-25-B4-0090A.3150	CALCATERRA RAYMOND TR	13752 CARLISLE DR	STERLING HEIGHTS	MI	48312	
23-47-25-B4-0090A.3160	HAMMAN KENNETH W + JOAN	5100 WASHAKLE TR	BRIGHTON	MI	48116	
23-47-25-B4-0090A.3170	GILGALLON JOHN CRAIG &	8326 GOLFSIDE DR	COMMERCE TOWNSHIP	MI	48382	

23-47-25-B4-0090A.3180	BLIXT RANDALL TR	25802 COCKLESHELL DR # 318	BONITA SPRINGS	FL	34135
23-47-25-B4-0090B.1110	CAFMEYER DOLORES C TR	25804 COCKLESHELL DR APT B111	BONITA SPRINGS	FL	34135
23-47-25-B4-0090B.1120	MOORE ROBERT + PATRICIA	25804 COCKLESHELL DR APT B112	BONITA SPRINGS	FL	34135
23-47-25-B4-0090B.1130	HAPKA THOMAS + DEANNE	N128W17714 HOLY HILL	GERMANTOWN	WI	53022
23-47-25-B4-0090B.1140	SWEENEY ROBERT J + JOYCE E	1725 W WARDLOW RD	HIGHLAND	MI	48357
23-47-25-B4-0090B.1150	WEURDING STEVEN + DEBORAH N	2646 BLUESTONE CIR	KALAMAZOO	MI	49009
23-47-25-B4-0090B.1160	GIORDANO LEONA + RUSSELL E	10521 WOODLAWN DR	PORTAGE	MI	49002
23-47-25-B4-0090B.1170	VANCOPPENOLLE BARBARA	1718 STAN HOPE	GROSSE POINTE WOODS	MI	48236
23-47-25-B4-0090B.1180	TWEDDLE GARY H + KAREN E	9313 HILLS COVE CT	GOODRICH	MI	48438
23-47-25-B4-0090B.2110	BEVAN JOHN F +	93 1ST ST	BONITA SPRINGS	FL	34134
23-47-25-B4-0090B.2120	KLEPK JOSEPH P & LISA M	190 E CARBON ST	COAL CITY	IL	60416
23-47-25-B4-0090B.2130	MYERS DAVID K + CAROLYN S	243 BRENTON DR	NEWARK	OH	43055
23-47-25-B4-0090B.2140	BUTLER DAVID G + PATRICIA A	2844 FAIRFIELD AVE	KALAMAZOO	MI	49048
23-47-25-B4-0090B.2150	SLATER MARK S & TRACY C	25804 COCKLESHELL DR #215	BONITA SPRINGS	FL	34135
23-47-25-B4-0090B.2160	MARSAGLIA SHIRLEY TR	2691 BLOOMFIELD DR	LISLE	IL	60532
23-47-25-B4-0090B.2180	MARRARA MARY LOU TR	25804 COCKLESHELL DR #218	BONITA SPRINGS	FL	34135
23-47-25-B4-0090B.3110	WILSON ROSS C + LESIA B	50 PICKNEY ST	BOSTON	MA	2114
23-47-25-B4-0090B.3120	RUIZ GLORIA E	25804 COCKLESHELL DR #312	BONITA SPRINGS	FL	34135
23-47-25-B4-0090B.3130	FRENCH DAVID M + JOYCE A TR	7452 W O AVE	KALAMAZOO	MI	49009
23-47-25-B4-0090B.3140	WIDENER JAMES	25804 COCKLESHELL DR B-314	BONITA SPRINGS	FL	34135
23-47-25-B4-0090B.3150	BARDASH JOHN	4625 RIVERS EDGE VILLAGE #5207	PONCE INLET	FL	32127
23-47-25-B4-0090B.3160	WAYNE DAVID W & LORI C	25804 COCKLESHELL DR #316	BONITA SPRINGS	FL	34135
23-47-25-B4-0090B.3170	WESTERLUND JOHN & RAYMA A	508 INWOOD RD	LINDEN	NJ	7036
23-47-25-B4-0090B.3180	SCHONERT LEE E + LADONNA	5026 RUBY AVE	RACINE	WI	53402
23-47-25-B4-0090C.1110	MORRISON JOHN W TR	2171 TEAL CT SE	GRAND RAPIDS	MI	49546
23-47-25-B4-0090C.1120	FOLK DANIEL A + EVELYN M TR	3415 N SHERIDAN RD APT 2004	PEORIA	IL	61604
23-47-25-B4-0090C.1130	STRUM GERALD L + SHARON TR	8236 W ROSE LAKE	CANYON	MN	55717
23-47-25-B4-0090C.1140	SERIO ROY T + SHIRLEY A TR	25806 COCKLESHELL DR #114	BONITA SPRINGS	FL	34135
23-47-25-B4-0090C.1150	LAROCQUE GHISLAIN & GINETTE	6135 CH DU PORTAGE-DES-ROCHES	LATERRIERE	QC	G7N 1Z6 CANADA
23-47-25-B4-0090C.1160	ENDICOTT ZACHARY +	25806 COCKLESHELL DR #116	BONITA SPRINGS	FL	34135
23-47-25-B4-0090C.1170	RHOU CHRISTA	25806 COCKLESHELL DR APT C117	BONITA SPRINGS	FL	34135
23-47-25-B4-0090C.1180	HAUGHEY GARST D & JOCELYN S	120 LANE 150J HAMILTON LK	HAMILTON	IN	46742
23-47-25-B4-0090C.2110	EINEICHNER MARY ANNE TR	12202 ANTHONY DR	SHELBY TWP	MI	48315
23-47-25-B4-0090C.2120	MCDERMOTT THOMAS F &	PO BOX 343	MATTITUCK	NY	11952
23-47-25-B4-0090C.2130	HARDT TERRY A	9439 SOUTH EVERS	EVERGREEN PARK	IL	60805
23-47-25-B4-0090C.2140	THOMAN RICHARD C & NANCY J TR	25806 COCKLESHELL DR # 214	BONITA SPRINGS	FL	34135
23-47-25-B4-0090C.2150	CRICHTON THOMAS & VIRGINIA	10325 WISHINGSTONE CT	BONITA SPRINGS	FL	34135
23-47-25-B4-0090C.2160	WRIGHT JOHN L & SHIRLEY A TR	25806 COCKLESHELL DR APT C216	BONITA SPRINGS	FL	34135
23-47-25-B4-0090C.2170	BARRETT TARA ELISE	25806 COCKLESHELL DR # 217	BONITA SPRINGS	FL	34135
23-47-25-B4-0090C.2180	PAULSEN PEGGY H TR	2034 BRANDON RD	GLENVIEW	IL	60025
23-47-25-B4-0090C.3110	HALTERMAN ALLEN & VIRGINIA	7905 E FOXBORO DR	COAL CITY	IL	60416
23-47-25-B4-0090C.3120	GAZZE EDWARD A & KATHRYN J	57 MCBRY DR	DOVER	DE	19901

23-47-25-B4-0090C.3130	HALTERMAN GARY & SABINE B	25806 COCKLESHELL DR # 313	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090C.3140	ANDERSON KAREN TR +	3622 TARTAN CIR	PORTAGE	MI	49024	
23-47-25-B4-0090C.3150	SKONE RONALD J TR +	1218 MARINA DR	AMERY	WI	54001	
23-47-25-B4-0090C.3160	BENGTSON JAMES D & ARDELL M L/	3798 CROSSRIDGE WAY	ROSEMOUNT	MN	55068	
23-47-25-B4-0090C.3170	RIVERA LUIS +	PO BOX 367824	BONITA SPRINGS	FL	34136	
23-47-25-B4-0090C.3180	FENNEMA DAVID B & LYNN E	1069 SWATHER ST SE	GRAND RAPIDS	MI	49508	
23-47-25-B4-0090D.1110	WOODS MARY ANN TR	5746 HILLCAMP CT	SAINT LOUIS	MO	63128	
23-47-25-B4-0090D.1120	RUDE GREG & CAROLE	681 SHEILA PL	LOMBARD	IL	60148	
23-47-25-B4-0090D.1130	PEDERSON DONALD G & JOAN G TR	7500 YORK AVE S UNIT 239	EDINA	MN	55435	
23-47-25-B4-0090D.1140	BYTWORK ALVIN J & YVONNE E	25808 COCKLESHELL DR #114	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090D.1150	WILLIAM D VANDERWEELE TRUST +	6994 BOULDER POINTE CT	WASHINGTON	MI	48094	
23-47-25-B4-0090D.1160	SCHAUER FRANZ P TR	25808 COCKLESHELL DR #116	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090D.1170	OLGUIN PAULINA &	25808 COCKLESHELL DR #117	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090D.1180	FRY JEAN R +	25808 COCKLESHELL DR #118	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090D.2110	RYCZAJ WILMA J	25808 COCKLESHELL DR #211	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090D.2120	HELLER WENDELL T & BETTY C +	11555 N COLLEGE AVE	CARMEL	IN	46032	
23-47-25-B4-0090D.2130	KOHL BARBARA J	25808 COCKLESHELL DR #213	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090D.2140	DORAN DONALD R & FRANCES C	25808 COCKLESHELL DR #214	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090D.2150	HUFF ROBERT L & MARY A	25808 COCKLESHELL DR #215	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090D.2160	SKERETT WALDEMAR & MARIA	346 PLAZA RD N # B	FAIR LAWN	NJ	7410	
23-47-25-B4-0090D.2170	PARRAZALEZ DULCE	25808 COCKLESHELL DR #217	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090D.2180	BECKER THOMAS TR	4767 MALLARD CREEK DR	MASON	OH	45040	
23-47-25-B4-0090D.3110	PESSOLANO PAUL + ELIZABETH	25220 GOLF LAKE CIR	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090D.3120	LARSON JAMES L +	25808 COCKLESHELL DR # 312	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090D.3130	MUNSON JANE C TR	6912 43RD AVE SE	SAINT CLOUD	MN	56304	
23-47-25-B4-0090D.3140	PATRICIA A SKARR TRUST + LAURA SKARR CHICK	860 JOHNSTOWN LN APT B	WHEATON	IL	60189	
23-47-25-B4-0090D.3150	LAMAR LINDA J	67200 SISSON ST	WASHINGTON	MI	48095	
23-47-25-B4-0090D.3160	CONDON ROBERT W & ELLEN A	25808 COCKLESHELL DR # 316	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090D.3170	LANCA LILLIAN WOLFF &	24 CRENDON DR	TORONTO	ON	M9C 3G4	CANADA
23-47-25-B4-0090D.3180	CANONICO FRANK ANTHONY JR &	48 STERLING AVE	HARRISON	NY	10528	
23-47-25-B4-0090E.1110	MORTON MARK A & PAMALA J	520 LANE 280 HAMILTON LK	HAMILTON	IN	46742	
23-47-25-B4-0090E.1120	PAAVO CHARLES M + CAROL H TR	45194 PINETREE DR	PLYMOUTH	MI	48170	
23-47-25-B4-0090E.1130	WHITTAKER MARTHA L/E	550 LANCESHIRE LN	STATE COLLEGE	PA	16803	
23-47-25-B4-0090E.1140	SWIGGUM PHILIP M + PAULA D +	4747 BEACON HILL RD	EAGAN	MN	55122	
23-47-25-B4-0090E.1150	WINNE JAMES C & SHARON A TR	59658 THUNDER HEAD DR	WASHINGTON TOWNSHIP	MI	48094	
23-47-25-B4-0090E.1160	MCGARRY MARK K + SHARON L	8642 SOUTH LAKEVIEW RD	TRAVERSE CITY	MI	49684	
23-47-25-B4-0090E.1170	PAULEY RUBY L TR	25810 COCKLESHELL DR APT E117	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090E.1180	PHILLIPS MARK E	13035 TORCH RIVER RD	RAPID CITY	MI	49676	
23-47-25-B4-0090E.2110	LERCH THOMAS + JANICE	52895 CLINTON OAK LN	UTICA	MI	48316	
23-47-25-B4-0090E.2120	THOMPSON JANICE A + ERNEST E	2780 S 11TH ST	KALAMAZOO	MI	49009	
23-47-25-B4-0090E.2130	WAGEMAN JAMES F + TERESA M TR	25810 COCKLESHELL DR APT E213	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090E.2140	COHEN BRUCE J & MARLE	25810 COCKLESHELL DR #214	BONITA SPRINGS	FL	34135	

23-47-25-B4-0090E.2150	DESCHANE THOMAS	25810 COCKLESHELL DR #215E	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090E.2160	FENNEMA DAVID E + EVELYN H TR	5862 LEISURE DR SE	KENTWOOD	MI	49548	
23-47-25-B4-0090E.2170	MEANEY DANIEL +	25810 COCKLESHELL DR #217	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090E.2180	HORN DANIEL H	25810 COCKLESHELL DR #218	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090E.3110	LORENTZSON HAROLD C + BEVERLY	6922 LAKE ELORA DR	CANYON	MN	55717	
23-47-25-B4-0090E.3120	OCONNOR CYNTHIA JO	25810 COCKLESHELL DR #312	BONITA SPRINGS	FL	34135	
23-47-25-B4-0090E.3130	STUCK DEBORAH E & JAMES A	96 PEAR BLOSSOM LANE	CAMDEN	DE	19934	
23-47-25-B4-0090E.3140	HANSEN BIRGIT R HANSEN	94 HILLDALE CRESCENT	GUELPH	ON	N1G 4B6	CANADA
23-47-25-B4-0090E.3150	KLAPMEIER KENNETH	6309 BURNHAM CIR #419	INVER GROVE HEIGHTS	MN	55076	
23-47-25-B4-0090E.3160	PECOR JOSEPH M TR	W326N3954 NORTHLAKE DR	HARTLAND	WI	53029	
23-47-25-B4-0090E.3170	URLAND WILLIAM C + CHLOE J	1119 EDWARD AVE	ALLEN TOWN	PA	18103	
23-47-25-B4-0090E.3180	FISCHER LAWRENCE M + GINA M	1550 MUREX DR	NAPLES	FL	34102	
23-47-25-B4-01000.1010	PALUMBO CHRISTINE E	25492 COCKLESHELL DR #101	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.1020	CAROLLO ANN MARIE	46 LAFAYETTE LANE	CHERRY HILL	NJ	8003	
23-47-25-B4-01000.1030	NEILSON WILLIAM I JR +	90 GROVE ST	PUTNAM	CT	6260	
23-47-25-B4-01000.1040	NABSTEDT SCOTT S & RITA M TR	25492 COCKLESHELL DR #104	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.1050	JACKSON DIANE E	25492 COCKLESHELL DR #105	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.1060	CROSBY KATHLEEN +	132 CRANBERRY RD	WHITMAN	MA	2382	
23-47-25-B4-01000.2010	RETTENMYER NANCY M TR	25494 COCKLESHELL DR # 201	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.2020	GENDRON MICHAEL + GAIL	231 PROSPECT AVE	NORTH KINGSTOWN	RI	2852	
23-47-25-B4-01000.2030	ROGERS FRANK +	PO BOX 23	GALESBURG	IL	61402	
23-47-25-B4-01000.2040	BUCK THOMAS I + JANICE	219 E COLLEGE ST	KEWANEE	IL	61443	
23-47-25-B4-01000.2050	STEINBERG CHRISTOPHER J +	126 W 23RD ST	HAMILTON	ON	L9C 4V7	CANADA
23-47-25-B4-01000.2060	KRUHM LARRY EUGENE +	25494 COCKLESHELL DR #206	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.3010	SMITH CARL +	25496 COCKLESHELL DR #301	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.3020	GLORE RACHAEL L	25496 COCKLESHELL DR #302	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.3030	OBRIEN JOHN A III	25496-303 COCKLESHELL DR	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.3040	JOHNSON ALEX C +	25496 COCKLESHELL DR #304	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.3050	BOKAR BRENNAN LYNN	25496 COCKLESHELL DR # 305	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.3060	FISHER JACQUELINE A	25496 COCKLESHELL DR #306	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.4010	PIERRO GAIL	204 OAKDENE AVE	TEANECK	NJ	7666	
23-47-25-B4-01000.4020	DEVITO MARIE A	9 LINCOLN ST	BLOOMFIELD	NJ	7003	
23-47-25-B4-01000.4030	CAMPA JOSEPH P + MARTHA S	2301 SADDLE BROOK LN	CORTLAND	OH	44410	
23-47-25-B4-01000.4040	PALAVIN KENNETH JAMES	25498 COCKLESHELL DR # 404	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.4050	OUELLETTE JOCELYNE	222-217 EME AVENUE	ST HIPPOLYTE	QC	J8A 1W7	CANADA
23-47-25-B4-01000.4060	MATHEWS TOD E + DONNA P	PO BOX 366494	BONITA SPRINGS	FL	34136	
23-47-25-B4-01000.5010	BONDI CYNTHIA A	25500 COCKLESHELL DR #501	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.5020	COLE EMILY A +	25500 COCKLESHELL DR #502	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.5030	HAROLD CYNTHIA D	11233 COIMBRA LN	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.5040	SEUFERT SVETLANA L/E	25490 COCKLESHELL DR # 604	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.5050	RANADE VINAYAK +	138 JANELLE BLVD	PARSIPPANY	NJ	7054	
23-47-25-B4-01000.5060	BRANDT CHRISTINE L +	25500 COCKLESHELL DR #506	BONITA SPRINGS	FL	34135	

23-47-25-B4-01000.6010	BARANSKI JILLIAN +	25490 COCKLESHELL DR #601	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.6020	LUCAS WILLIAM & MARY ANN L/E	25490 COCKLESHELL DR #602	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.6030	JOSEPH TRIUMBARI INVESTMENTS	3 MANSWOOD CRESCENT	BRAMPTON	ON	L6T 0A3	CANADA
23-47-25-B4-01000.6040	SEUFERT ROBERT J TR	25490 COCKLESHELL DR #604	BONITA SPRINGS	FL	34135	
23-47-25-B4-01000.6050	JOSEPH TRIUMBARI INVESTMENTS L	3 MANSWOOD CRESCENT	BRAMPTON	ON	L6T 0A3	CANADA
23-47-25-B4-01000.6060	JOSEPH TRIUMBARI	3 MANSWOOD CRESENT	BRAMPTON	ON	L6T 0A3	CANADA
23-47-25-B4-01200.1001	TARABORELLI LORY	25480 COCKLESHELL DR #1001	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.1002	FRANIA LEONARD J & SANDRA R +	25480 COCKLESHELL DR #1002	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.1003	MCKIOU DOWAIN V TR	309 GRANT DR	MASCOUTAH	IL	62258	
23-47-25-B4-01200.1004	MUSTO LOUIS J JR + DRUANNE R	186 BROWNS PASTURE RD	STRAFFORD	NH	3884	
23-47-25-B4-01200.1005	OETTMEIER DELORIS E	25480 COCKLESHELL DR #1005	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.1006	CLIFTON ANITA B	25480 COCKLESHELL DR # 1006	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.1101	GOTHEN ROBERT C JR &	25482 COCKLESHELL DR #1101	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.1102	VALLEJOS GABRIELA HELENA SUARE	25482 COCKLESHELL DR # 1102	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.1103	LOPEZ JACQIE L	25482 COCKLESHELL DR #1103	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.1104	DUGEAU JOSEPH	25482 COCKLESHELL DR #1104	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.1105	GRIFFIN REBECCA	25482 COCKLESHELL DR #1105	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.1106	GENTILE JUSTIN JUDE	25482 COCKLESHELL DR #1106	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.7010	MURPHY JUDITH D	25488 COCKLESHELL DR # 701	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.7020	SYKES TIMOTHY J	25488 COCKLESHELL DR APT 702	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.7030	FAY JOANNE	25488 COCKLESHELL DR # 703	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.7040	DAHLSTEDT ANDREW O &	25488 COCKLESHELL DR #704	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.7050	LORIMER DUSTAN M &	25488 COCKLESHELL DR #705	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.7060	CASTAGNA SUSAN M	125 BUNNYVIEW DR	STRATFORD	CT	6614	
23-47-25-B4-01200.8010	OMBALSKY MICHAEL J & RITA	146 LIONS HEAD BLVD S	BRICK	NJ	8723	
23-47-25-B4-01200.8020	NESSELHAUF THOMAS + DEBORAH TR	25486 COCKLESHELL DR #802	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.8030	OLDFIELD THOMAS + MARYANN	55 TYNEMOUTH DR	LUMBERTON	NJ	8048	
23-47-25-B4-01200.8040	WOLIN KELLI JEAN &	25486 COCKLESHELL DR #804	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.8050	LOBERG MARGARET A	25486 COCKLESHELL DR # 805	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.8060	JORDAN JOHN M + MARY C	1571 POWDERHORN DR	VOLO	IL	60020	
23-47-25-B4-01200.9010	MORPHIS LARRY R & DORIS D	10347 WILD TURKEY AVE	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.9020	SAVIN JUDITH C	25484 COCKLESHELL DR #902	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.9030	WEST BILLIE P	25484 COCKLESHELL DRIVE #903	BONITA SPRINGS	FL	34135	
23-47-25-B4-01200.9040	ZARDECKI FRANK W + CHRISTINA S	231 CAMEO LN	CRESCO	PA	18326	
23-47-25-B4-01200.9050	BARNARD KAREN S	5500 LARRY AVE	VIRGINIA BEACH	VA	23462	
23-47-25-B4-01200.9060	RANDALL DAVE & RUTH	25484 COCKLESHELL DR #906	BONITA SPRINGS	FL	34135	
23-47-25-B4-01600.0470	CAMPAU JOYCE A L/E	25561 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B4-01600.0480	DIGILARMO ROBERT &	25571 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B4-01600.0490	WOODHOUSE ALBERT TR	25581 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B4-01600.0500	GUARINO PAUL & BEVERLY	258 RYE ST	BROAD BROOK	CT	6016	
23-47-25-B4-01600.0510	BOCKHOLT BRIAN JUMIN &	27671 ARROYAL RD #102	BONITA SPRINGS	FL	34135	
23-47-25-B4-01600.0520	HAMILTON WILLIAM STUART	25580 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135	
23-47-25-B4-01600.0530	GRECO DOMINIC & SILVANA	13540 KENNEDY RD	CALEDON	ON	L7C 2G2	CANADA

**EXHIBIT I-F
DISCLOSURE OF INTEREST FORM FOR:**

STRAP NO. _____ **CASE NO.** _____
 23-47-25-B1-1400A.0000, 23-47-25-B1-0050A.000, 23-47-25-B1-01400.0860 and 23-47-25-B1-00500.0040

1. If the property is owned in fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest.

Name and Address	Percentage of Ownership
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

2. If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each.

Name, Address, and Office	Percentage of Stock
STRAP #23-47-25-B1-1400A.0000	_____
Platinum Coast Financial Corp, 961 Trail Terrace Dr., Naples FL 34103	100
See attached 2020 Annual Reports	_____
_____	_____
_____	_____
_____	_____

3. If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with percentage of interest.

Name and Address	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

4. If the property is in the name of a GENERAL PARTNERSHIP OR LIMITED PARTNERSHIP, list the names of the general and limited partners.

Name and Address	Percentage of Ownership
23-47-25-B1-0050A.000, 23-47-25-B1-01400.0860 and 23-47-25-B1-00500.0040	_____
BSGC Land Holdings, LLC, 2600 Golden Gate Pkwy, Naples FL 34105	100
See attached 2020 Annual Reports	_____
_____	_____
_____	_____
_____	_____
_____	_____

5. If there is a CONTRACT FOR PURCHASE, whether contingent on this application or not, and whether a Corporation, Trustee, or Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners.

Name, Address, & Office (if applicable)	Percentage of Stock
BSGC Land Holdings, LLC, 2600 Golden Gate Pkwy, Naples FL 34105 See attached 2020 Annual Reports	100


Date of Contract: _____

6. If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust.

Name and Address

For any changes of ownership or changes in contracts for purchase subsequent to the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest shall be filed.


The above is a full disclosure of all parties of interest in this application, to the best of my knowledge and belief.

Signature: 
(Applicant)

David B. Genson
(Printed or typed name of applicant)

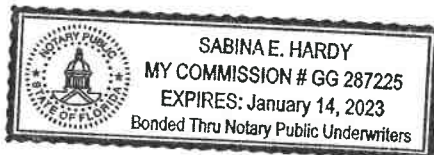
STATE OF FLORIDA
COUNTY OF ~~LEE~~ COLLIER

The foregoing instrument acknowledged before me this 21 day of January, 2021, by David B. Genson, who is personally known to me or who has produced _____ as identification.


Signature of Notary Public

Sabina E. Hardy
Printed Name of Notary Public

(SEAL)



2020 FLORIDA PROFIT CORPORATION ANNUAL REPORT

DOCUMENT# J92991

FILED
Jun 30, 2020
Secretary of State
5144827458CC

Entity Name: PLATINUM COAST FINANCIAL CORP.

Current Principal Place of Business:

961 TRAIL TERRACE DR.
NAPLES, FL 34103

Current Mailing Address:

961 TRAIL TERRACE DR.
NAPLES, FL 34103 US

FEI Number: 65-0116552

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

MICELI, MEGAN
961 TRAIL TERRACE DR.
NAPLES, FL 34103 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: MEGAN MICELI

06/30/2020

Electronic Signature of Registered Agent

Date

Officer/Director Detail :

Title SECRETARY
Name PASS, PAMELA
Address 961 TRAIL TERRACE DR.
City-State-Zip: NAPLES FL 34103

Title TREASURER
Name MICELI, LAUREL
Address 961 TRAIL TERRACE DR.
City-State-Zip: NAPLES FL 34103

Title PRESIDENT
Name MICELI, MEGAN
Address 961 TRAIL TERRACE DR.
City-State-Zip: NAPLES FL 34103

Title DIRECTOR
Name MICELI, LISA
Address 961 TRAIL TERRACE DR.
City-State-Zip: NAPLES FL 34103

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 607, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: MEGAN MICELI

PRESIDENT

06/30/2020

Electronic Signature of Signing Officer/Director Detail

Date

**Electronic Articles of Organization
For
Florida Limited Liability Company**

L20000289098
FILED 8:00 AM
September 15, 2020
Sec. Of State
bcbiro

Article I

The name of the Limited Liability Company is:
BSGC LAND HOLDINGS, LLC

Article II

The street address of the principal office of the Limited Liability Company is:
2600 GOLDEN GATE PARKWAY
ATTN: DAVID GENSON
NAPLES, FL. US 34105

The mailing address of the Limited Liability Company is:
2600 GOLDEN GATE PARKWAY
ATTN: DAVID GENSON
NAPLES, FL. US 34105

Article III

The name and Florida street address of the registered agent is:
DAVID GENSON
2600 GOLDEN GATE PARKWAY
NAPLES, FL. 34105

Having been named as registered agent and to accept service of process for the above stated limited liability company at the place designated in this certificate, I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relating to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent.

Registered Agent Signature: DAVID GENSON

Article IV

The name and address of person(s) authorized to manage LLC:

Title: MGR
BSGC, LLC
2600 GOLDEN GATE PARKWAY
NAPLES, FL. 34105 US

L20000289098
FILED 8:00 AM
September 15, 2020
Sec. Of State
bcbiro

Signature of member or an authorized representative

Electronic Signature: MATTHEW L. GRABINSKI, AUTHORIZED REP.

I am the member or authorized representative submitting these Articles of Organization and affirm that the facts stated herein are true. I am aware that false information submitted in a document to the Department of State constitutes a third degree felony as provided for in s.817.155, F.S. I understand the requirement to file an annual report between January 1st and May 1st in the calendar year following formation of the LLC and every year thereafter to maintain "active" status.

2020 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L18000124264

Entity Name: BSGC, LLC

Current Principal Place of Business:

2600 GOLDEN GATE PARKWAY
NAPLES, FL 34105

Current Mailing Address:

2600 GOLDEN GATE PARKWAY
NAPLES, FL 34105 US

FEI Number: 83-1374961

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

GENSON, DAVID B
2600 GOLDEN GATE PARKWAY
NAPLES, FL 34105 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: _____

Electronic Signature of Registered Agent

_____ Date

Authorized Person(s) Detail :

Title MGR
Name BCAM, LLLP
Address 2600 GOLDEN GATE PARKWAY
City-State-Zip: NAPLES FL 34105

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: BRADLEY A. BOAZ

V/S/T OF BC CORP, GP
OF BCAM, LLLP MM OF
BSGC, LLC

06/25/2020

Electronic Signature of Signing Authorized Person(s) Detail

Date

2020 FLORIDA LIMITED PARTNERSHIP ANNUAL REPORT

DOCUMENT# A03000001032

Entity Name: BCAM, LLLP

Current Principal Place of Business:

2600 GOLDEN GATE PARKWAY
NAPLES, FL 34105

Current Mailing Address:

2600 GOLDEN GATE PARKWAY
NAPLES, FL 34105

FEI Number: 20-0104478

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

BOAZ, BRADLEY A
2600 GOLDEN GATE PARKWAY
NAPLES, FL 34105 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: _____

Electronic Signature of Registered Agent

_____ Date

General Partner Detail :

Document # P03000070655
Name BARRON COLLIER CORPORATION
Address 2600 GOLDEN GATE PARKWAY
City-State-Zip: NAPLES FL 34105

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a general partner of the limited partnership or the receiver or trustee empowered to execute this report as required by Chapter 620, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: BRADLEY A. BOAZ

V/S/T

06/24/2020

_____ Electronic Signature of Signing General Partner Detail

_____ Date

2020 FLORIDA PROFIT CORPORATION ANNUAL REPORT

DOCUMENT# P03000070655

FILED
Jun 24, 2020
Secretary of State
3376371074CC

Entity Name: BARRON COLLIER CORPORATION

Current Principal Place of Business:

2600 GOLDEN GATE PARKWAY
NAPLES, FL 34105-3227

Current Mailing Address:

2600 GOLDEN GATE PARKWAY
NAPLES, FL 34105-3227

FEI Number: 20-0104023

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

BOAZ, BRADLEY A
2600 GOLDEN GATE PARKWAY
NAPLES, FL 34105-3227 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE:

Electronic Signature of Registered Agent

Date

Officer/Director Detail :

Title P/D
Name COLLIER, BARRON III
Address 2600 GOLDEN GATE PARKWAY
City-State-Zip: NAPLES FL 34105-3227

Title DIRECTOR
Name SPROUL, KATHERINE G
Address 2600 GOLDEN GATE PARKWAY
City-State-Zip: NAPLES FL 34105-3227

Title VP/D
Name GABLE, R. BLAKESLEE
Address 2600 GOLDEN GATE PARKWAY
City-State-Zip: NAPLES FL 34105-3227

Title V/S/T/RA
Name BOAZ, BRADLEY A
Address 2600 GOLDEN GATE PARKWAY
City-State-Zip: NAPLES FL 34105

Title DIRECTOR
Name VILLERE, LAMAR G
Address 2600 GOLDEN GATE PARKWAY
City-State-Zip: NAPLES FL 34105-3227

Title DIRECTOR
Name ALDEN, PHYLLIS G
Address 2600 GOLDEN GATE PARKWAY
City-State-Zip: NAPLES FL 34105-3227

Title DIRECTOR
Name KUNDE, CHELSEA
Address 2600 GOLDEN GATE PARKWAY
City-State-Zip: NAPLES FL 34105-3227

Title VP
Name GOGUEN, BRIAN
Address 2600 GOLDEN GATE PARKWAY
City-State-Zip: NAPLES FL 34105-3227

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 607, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: BRADLEY A. BOAZ

V/S/T

06/24/2020

Electronic Signature of Signing Officer/Director Detail

Date

Prepared by:

Daniel K. Weidenbruch, Esq.
FisherBroyles, LLP
2390 Tamiami Trail North, Suite 100
Naples, FL 34103
239-227-2880

After Recording Return to:

Collier Insurance Agency, LLC
Attn: Brad Stockham
2600 Golden Gate Parkway
Naples, FL 34105
239-262-2600

Special Warranty Deed

This Indenture is made as of this 8th day of October, 2020, between **Platinum Coast Financial Corp.**, a Florida corporation, whose post office address is 961 Trail Terrace Drive, Naples, Florida 34103 (“**Grantor**”), and **BSGC LAND HOLDINGS, LLC**, a Florida limited liability company, whose post office address is whose address is 2600 Golden Gate Parkway, Naples, Florida 34105 (“**Grantee**”).

Witnesseth that Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations has granted, bargained, and sold to Grantee the following described land located in Lee County, Florida, to-wit:

See **Exhibit “A”**, attached hereto

Subject to: all restrictions, reservations, easements and matters of record listed on Exhibit "B" (which shall not reimpose the same) attached hereto, zoning ordinances of Lee County, Florida, and taxes and assessments imposed by Lee County or any Special Taxing District for the year 2020 and subsequent years.

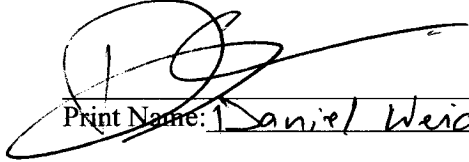
and Grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons arising by, through or under Grantor, but against none other.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

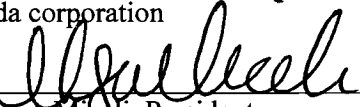
[SIGNATURE PAGE TO FOLLOW]

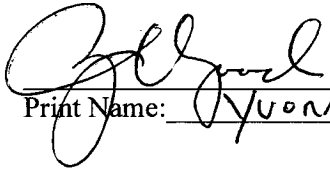
In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written. Signed, sealed and delivered in our presence:

Witnesses:


Print Name: Daniel Weidman

Platinum Coast Financial Corp.,
a Florida corporation

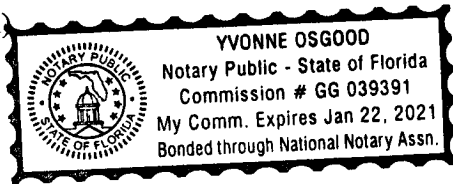
By: 
Megan Miceli, President


Print Name: Yvonne Osgood

State of Florida
County of Collier

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 7th day of October, 2020 by Megan Miceli, as President of Platinum Coast Financial Corp., a Florida corporation, who is personally known to me or has produced _____ as identification.

(Notary Seal)



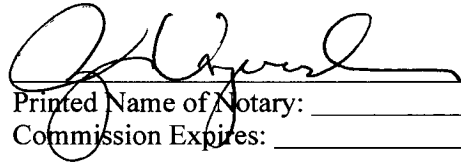

Printed Name of Notary: _____
Commission Expires: _____

Exhibit "A"

Legal

PARCEL 1: TRACT 4, BONITA SPRINGS COUNTY CLUB, UNIT 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

PARCEL 2: TRACT A, BONITA SPRINGS COUNTRY CLUB, UNIT 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, PUBLIC RECORDS OF LEE COUNTY, FLORIDA, LESS AND EXCEPT THE FOLLOWING DESCRIBED LANDS: A lot or parcel of land located in the Northwest 1/4 of Section 23, Township 47 South, Range 25 East, Lee County, Florida, and more particularly described as follows: Commencing at the Northwest corner of Tract 15, Bonita Springs Country Club, Unit 2, as recorded in Plat Book 30, Page 132, in the Public Records of Lee County, Florida, run South 88°37'26" West for 10.22 feet; thence run North 13°17'47" West for 40.88 feet to the Point of Beginning of the lands herein described;
thence continue North 13°17'47" West for 137.08 feet;
thence run North 10°47'13" East for 346.09 feet;
thence run North 32°58'13" East for 302.39 feet;
thence run North 56°26'31" East for 316.83 feet;
thence run North 84°24'41" East for 300.79 feet;
thence run South 01°29'13" West for 739.32 feet to an intersection with the Southerly Right-of-Way of a 30 foot wide private road extending South 88°30'47" East; thence run North 88°30'47" West for 123.00 feet;
thence run South 27°32'14" West for 206.44 feet; thence run South 88°37'26" West for 523.76 feet to the Point of Beginning.

Exhibit "B"
Exceptions to Title

1. Dedications, easements and other matters stated and shown on map of Bonita Springs Country Club, Unit 2 recorded at Plat Book 30, pages 128 to 132, of the Public Records of Lee County, Florida. (Parcel 1 and 2).
2. Subject to the reservation unto the State of Florida for an undivided interest in petroleum and 3/4ths interest in all minerals as shown in Deed Book 202, Page 408, Public Records of Lee County, Florida. (All).
3. Covenant by and between Michael J. Miceli and South Florida Water Management District recorded in Official Records Book 2077 page 565, Public Records of Lee County, Florida. (Parcel 2).
4. Easement Grant to Greens of Bonita Springs Development Corporation recorded in Official Records Book 2167 page 3198, Public Records of Lee County, Florida. (Parcel 2).
5. Access Easement to Fairway Pines of Bonita, Inc. recorded in Official Records Book 3297 page 1489 as corrected in Official Records Book 3464, page 2493, Public Records of Lee County, Florida. (Parcel 2).
6. Perpetual Stormwater Drainage Easement recorded under ORI No. 2009000074978, Public Records of Lee County, Florida. (Parcel 2).
7. Any lien provided by County Ordinance or by Ch. 159, F.S., in favor of any city, town, village or port authority, for unpaid service charges for services by any water systems, sewer systems or gas systems serving the land described herein; and any lien for waste fees in favor of any county or municipality.

4849-4159-7644, v. 1

Prepared by:
Richard D. Cimino, Esq.
Bryant Title & Escrow, LLC
4851 Tamiami Trail N., Suite 300
Naples, FL 34103

Consideration paid: \$375,000.00
Parcel ID Number: 23-47-25-B1-01400.0860

Warranty Deed

This Indenture, effective this 5th day of October, 2020 A.D., **Between** Taylor Neiert a/k/a Taylor N. Neiert, a single person and Brandon Escajadillo a/k/a Brandon Lee Escajadillo, a single person, as joint tenants with full rights of survivorship, of the County of Collier, State of Florida, **grantors**, and BSGC Land Holdings, LLC, a Florida limited liability company whose address is: 2600 Golden Gate Parkway, Naples, FL 34105 of the County of Collier, State of Florida, **grantee**.

Witnesseth that the GRANTORS for and in consideration of the sum of TEN DOLLARS (\$10) DOLLARS, and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Lee, State of Florida to wit:

Lot 86, Bonita Springs Country Club Unit 1, a subdivision according to the plat thereof recorded in Plat Book 30, Pages 81 through 84, in Public Records of Lee County, Florida.

Subject to ad valorem and non-ad valorem real property taxes for 2020 and subsequent years; zoning, building code and other use restrictions imposed by governmental authority; outstanding oil, gas and mineral interests of record, if any, and restrictions, reservations and easements common to the subdivision.



Grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.


In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written.

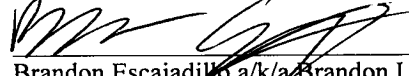
THIS SPACE INTENTIONALLY LEFT BLANK

Signed, sealed and delivered in our presence:

(as to both Grantors)



 Printed Name: **Kathie Resop**
 Witness 
 Printed Name: **DEBRA ZABRYCZI**

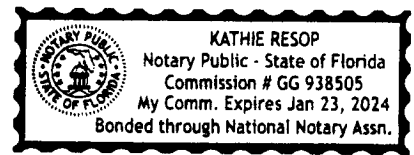

 Taylor Neiert a/k/a Taylor N. Neiert
 8085 Bayshore Dr., Naples, FL 34112


 Brandon Escajadillo a/k/a Brandon Lee Escajadillo
 8085 Bayshore Drive, Naples, FL 34112

State of Florida
County of Collier

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 30 day of ^{SEPT.} ~~October~~, 2020, by Taylor Neiert a/k/a Taylor N. Neiert, a single person and Brandon Escajadillo a/k/a Brandon Lee Escajadillo, a single person, who are personally known to me or who have produced their driver license as identification.


 Printed Name: **Kathie Resop**
 Notary Public
 My Commission Expires:



Prepared by:
Daniel K. Weidenbruch, Esq.
FisherBroyles, LLP
2390 Tamiami Trail North, Suite 100
Naples, FL 34103
239-227-2880

INSTR. # 2020000249921, Pages 4
Doc Type: D, Recorded: 10/16/2020 at 3:07 PM
Linda Doggett Lee County Clerk of the Circuit Court
Rec Fees: \$35.50 Deed Doc: \$0.70

Deputy Clerk PSMITH
#3

After Recording Return to:
Collier Insurance Agency, LLC
Attn: Brad Stockham
2600 Golden Gate Parkway
Naples, FL 34105
239-262-2600

**Note: This Special Warranty Deed is being re-recorded to
add the Instrument Number in the Note to Clerk below.**

[NOTE TO CLERK: THE CONVEYANCE EFFECTUATED HEREBY IS PART OF A COLLECTIVE SALE AND CONVEYANCE OF MULTIPLE PARCELS OF LAND (THE "PARCELS"), FROM GRANTOR (IDENTIFIED, BELOW), PLATINUM COAST FINANCIAL CORP. ("PLATINUM") AND PCFC-BONITA, LLC (COLLECTIVELY, THE "SELLERS") TO BSGC LAND HOLDINGS, LLC AND BS PARCEL HOLDINGS, LLC. THE TOTAL CONSIDERATION PAID TO THE SELLERS IN EXCHANGE FOR THE CONVEYANCE OF THE PARCELS IS AS EVIDENCED ON THAT CERTAIN DEED FROM PLATINUM TO BSGC LAND HOLDINGS, LLC WHICH DEED IS RECORDED AS INSTRUMENT # 2020000249920 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA (THE "PLATINUM CONVEYANCE"). THEREFORE, ONLY NOMINAL DOCUMENTARY STAMP TAX IS BEING PAID IN CONJUNCTION WITH THE RECORDING OF THIS DEED.]

Special Warranty Deed

This Indenture is made as of this 8th day of October, 2020, between **GREENVIEW HOLDINGS, INC.**, a dissolved Florida corporation, whose post office address is 961 Trail Terrace Drive, Naples, Florida 34103 ("**Grantor**"), and **BSGC LAND HOLDINGS, LLC**, a Florida limited liability company, whose post office address is whose address is 2600 Golden Gate Parkway, Naples, Florida 34105 ("**Grantee**").

Witnesseth that Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations has granted, bargained, and sold to Grantee the following described land located in Lee County, Florida, to-wit:

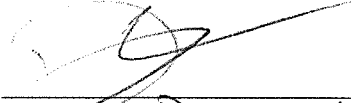
See **Exhibit "A"**, attached hereto

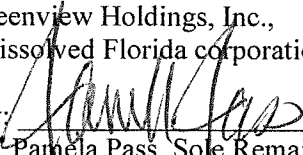
Subject to: all restrictions, reservations, easements and matters of record listed on Exhibit "B" (which shall not reimpose the same) attached hereto, zoning ordinances of Lee County, Florida, and taxes and assessments imposed by Lee County or any Special Taxing District for the year 2020 and subsequent years.

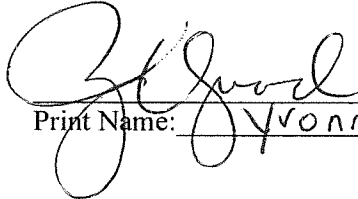
and Grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons arising by, through or under Grantor, but against none other.

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written. Signed, sealed and delivered in our presence:

Witnesses:


Print Name: Daniel Weidenbaum

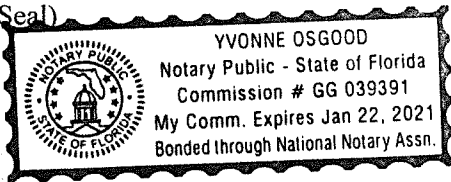
Greenview Holdings, Inc.,
a dissolved Florida corporation
By: 
Pamela Pass, Sole Remaining Director
and Trustee


Print Name: Yvonne Osgood

State of Florida
County of Collier

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 7th day of October, 2020 by Pamela Pass, as the Sole Remaining Director and Trustee of Greenview Holdings, Inc., a dissolved Florida corporation, who is personally known to me or has produced _____ as identification.

(Notary Seal)



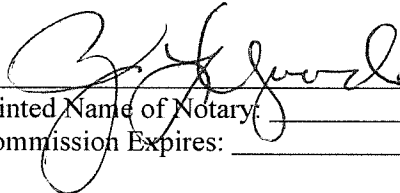

Printed Name of Notary: _____
Commission Expires: _____

Exhibit "A"

Legal

PARCEL 6: TRACT 10, BONITA SPRINGS COUNTY CLUB, UNIT 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

Exhibit "B"
Exceptions to Title

1. Subject to the reservation unto the State of Florida for an undivided interest in petroleum and 3/4ths interest in all minerals as shown in Deed Book 202, Page 408, Public Records of Lee County, Florida.
2. Any lien provided by County Ordinance or by Ch. 159, F.S., in favor of any city, town, village or port authority, for unpaid service charges for services by any water systems, sewer systems or gas systems serving the land described herein; and any lien for waste fees in favor of any county or municipality.

4819-1298-2732, v. 1

95 MAR 29 PM 3:39

This Instrument prepared by:
Michael J. Miceli
PLATINUM COAST FINANCIAL CORP.
963 Trail Terrace #East
Naples, FL 33940

3751078

Documentary Tax Pd. \$ 3865.40
Intangible Tax Pd.
By Charles Green Lee Deputy Clerk
LEE COUNTY

Warranty Deed,

made this 29th day of March, 19 95,

Between GREENVIEW HOLDINGS, INC.

a Florida corporation having an address at 10200 Maddox Lane
Bonita Springs, FL 33923

, grantor,

and PLATINIUM COAST FINANCIAL CORP., a Florida corporation

, grantee,

whose post office address is 963 Trail Terrace # East, Naples, FL 33940

Witnesseth: That the grantor, for and in consideration of the sum of \$ 10.00-----
and other good and valuable considerations, receipt whereof by grantor is hereby acknowledged, has
granted, bargained and sold to grantee, and grantee's heirs, legal representatives, successors and assigns
forever, the following described land, situate, lying and being in Lee County, Florida:

(1) Tract A, Bonita Springs Country Club, Unit 1, (a replat of Helfenstein Estates, Lots 16, 17, 18, 19 and part of 20, according to the plat in Plat Book 8, page 40, all lying in Sections 24 and 23, Township 47 South, Range 25 East, Lee County, Florida, per Plat Book 30, pages 81 through 84, public records of Lee County, Florida.

and (2) Tract A, Bonita Springs Country Club, Unit 2, (a replat of Helfenstein Estates, Lots 28, 29, 30, 31, 32, 33 and 34, according to the plat in Plat Book 8, page 40, all lying in Sections 14, 22 and 23, Township 47 South, Range 25 East, Lee County, Florida) per Plat Book 30, pages 128 through 132, public records of Lee County, Florida.

This deed is given in cancellation of mortgage dated June 5, 1985 and recorded in OR Book 1787, page 4479, assigned in OR Book 2067, page 505, and re-assigned in OR Book 2586, page 644, all of the public records of Lee County, Florida; and mortgage dated March 2, 1988 and recorded in OR Book 1974, page 693 and assigned in OR Book 2230, page 1042, all of the public records of Lee County, Florida; which have a combined outstanding principal balance of \$552,192.00.

Together with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that grantor is lawfully seized of said land in fee simple; that grantor has good right and lawful authority to sell and convey said land; that grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that, except as above noted, said land is free from all encumbrances.

"Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

GREENVIEW HOLDINGS, INC.

Margaret Healy
print name MARGARET HEALY
Linda L. Conway
print Name LINDA L. CONWAY

By: Michael J. Miceli
President
(CORPORATE SEAL)

STATE OF FLORIDA

COUNTY OF LEE

The foregoing instrument was acknowledged before me this 29th day of March, 19 95,

by MICHAEL J. MICELI
of GREENVIEW HOLDINGS, INC.

as Margaret Healy
President

a Florida corporation, on behalf of the corporation, who is personally known to me.

Margaret Healy
Notary Public
My commission expires MAY 9, 1998
OFFICIAL NOTARY SEAL
MARGARET HEALY
COMMISSION NUMBER
CC369881
MY COMMISSION EXP.
MAY 9, 1998

OR2587 P60950

RECORD VERIFIED - CHARLE GREEN CLERK
BY: HELEN CARROLL, D.C.

HERBCO LEGAL FORMS P.O. BOX 30223 PALM BEACH GARDENS, FL 33410 TEL. (305) 845-2115

83992
37500R

AMENDED

DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF
BONITA SPRINGS GOLF AND COUNTRY CLUB AND
FAIRWAY ESTATES

3892914

DR 665 PG3537

BONITA SPRINGS GOLF AND COUNTRY CLUB, hereinafter referred to as a "not for profit" corporation, being the successor in interest of all the lots located within BONITA SPRINGS GOLF AND COUNTRY CLUB, situated within Lee County, Florida, more completely described as follows, to-wit:

BONITA SPRINGS GOLF AND COUNTRY CLUB, according to the map or plat thereof on file and recorded in the office of the Clerk of Circuit Court of Lee County, Florida, in Plat Book 30, at pages 81 through 84.

FAIRWAY ESTATES, according to the map or plat thereof on file and recorded in the office of Clerk of Circuit Court of Lee County, Florida in Plat Book 32, at Pages 132 through 133,

has established a comprehensive plan for the improvement and development of such premises, and does hereby amend the covenants, conditions, reservations and restrictions for the benefit of each owner of land in such subdivision and shall inure to and pass with each and every parcel of such subdivision and shall bind the respective successors and interests of the present owner thereof.

Whereas, the original grantor has created, under the laws of the state of Florida, a corporation not for profit, known as the BONITA SPRINGS COUNTRY CLUB CIVIC ASSOCIATION, INC. and FAIRWAY ESTATES, hereinafter referred to as the ASSOCIATION, for the purpose of exercising the functions aforesaid.

Now therefore the Declaration of Covenants, Conditions and restrictions shall be as follows:

MEMBERSHIP

Henceforth from the date of recording of this amended deed of restrictions, which amendment was duly authorized by the required majority of owners, any person who acquires property in this subdivision will automatically be bound into membership in the Homeowners Association.

DEFINITIONS

1. "ASSOCIATION" shall mean and refer to Bonita Springs Country Club Civic Association, Inc. and Fairway Estates Corporations not for profit, organized for the purpose of serving as a residential neighborhood Homeowners Association.

2. "BOARD" means and refers to the elected or appointed Board of Directors of the Association.

3. "DECLARATION" means and refers to the Declaration of Covenants, Conditions and restrictions for the Bonita Springs Golf and Country Club and Fairway Estates as amended and recorded.

4. "GOVERNING DOCUMENTS" means and refers to the declaration, by-laws, rules and regulations, and the resolutions of the Association. In the event of a conflict in the interpretation of the Governing Documents, they shall be applied in order of the priority stated above.

5. "MEMBER-OWNER" means and refers to all persons who are members of the Association as provided in this declaration and have paid the annual membership fee. These persons are entitled to one (1) vote per lot for any and all business proposed by the Board which requires a vote.

RECORD VERIFIED - CHARLES GREEN, CLERK
BY: G. SHERWOOD, D.C.

6. "OWNER" means and refers to any person or persons who are the record owners of the fee simple title to any lot in the Bonita Springs Golf and Country Club and Fairway Estates subdivisions. Those persons are allowed one (1) vote for each lot owned by them, but only for matters pertaining to the amendments of the Declaration or By-laws.

7. "MEMBERSHIP ROSTER" - The Association shall maintain a roster of the names and mailing addresses of owners and telephone numbers of current home-owners. Member-owners and Owners, as heretofore defined, will be so designated and the roster will be distributed to member-owners only.

8. "NUISANCE" means and refers to any noxious, illegal or offensive activity carried on any lot or residence which may become a reasonable source of annoyance to other residences which shall include, but not be limited to, persistent barking, howling or squawking of unattended pets, loud music and/or noises.

9. "FAMILY" means one natural person or a group of two (2) or more natural persons living together each of whom is related to each of the others by blood, marriage or adoption or not more than four (4) persons not so related, who reside together in a single family residence.

1. RESIDENTIAL USE

All lots in the BONITA SPRINGS GOLF AND COUNTRY CLUB, except the area designated on the plat as above described as multi-family are restricted to the use of a single family, their household servants and guests. Only one building shall be erected to a lot. Residential structures shall have an enclosed living area of not less than fifteen hundred (1500) square feet exclusive of garages, porches, patios and breezeways.

A construction shed may be placed on a lot and remain there temporarily during the course of active construction of a residence. Otherwise, no portable buildings, utility buildings, trailers, mobile homes, or prefabricated homes may be placed on the lot.

1(a) NO TRADE, BUSINESS OR PROFESSION

No trade, business or profession or other types of commercial activity shall be carried on upon any of the land or residences covered by these restrictions which would be noxious or may become a reasonable source of annoyance or nuisance to other residents.

1(b) GARAGE SALES

No garage sale, estate sale, flea market, auction or similar event shall be held on any lot more than two (2) times in any twelve (12) month period.

1(c) RENTAL PROPERTY

This covenant shall not however, prevent the owner of a single family residence from renting said property for residential use. All of the provisions of this document and the rules and regulations of the association pertaining to use and occupancy shall be applicable and enforceable against any person occupying a residence as a lessee or guest to the same extent as against an owner.

2. PLANS, SPECIFICATIONS AND LOCATION OF BUILDINGS

The Association Board of Directors will designate an Architectural Review Committee, hereinafter referred to as the ARC, composed of no less than three (3) member-owners. The ARC will be empowered as follows:

2(a) Require submission to the ARC of complete working plans, specifications and location for any building, structure or other improvement proposed to be erected or altered, which in any way changes the exterior appearance of any structure or lot i.e. terraces, patios, walls, fences, driveways, poles etc.

2(b) Review and approve or disapprove, within thirty (30) days after plans submission, the erection or alteration of any building, structure or other improvement, or any other work which in any way changes the exterior appearance of any structure or lot. Such plans must meet the

requirements of the restrictions as recorded and in effect at the time construction or alteration of any such building has begun.

2(c) All decisions of the ARC shall be submitted in writing to the Board of Directors and duly recorded.

2(d) Any person aggrieved by a decision of the ARC shall have the right to make a written appeal to the Association Board of Directors within fifteen (15) days of receipt in writing of such decision. The determination of the Board of Directors upon reviewing any such decision, shall in all events be final.

2(e) The approval of the ARC of any proposals, plans, specifications or drawings for any work done or proposed, or in connection with any other matter requiring the approval and consent of the ARC, shall not be deemed to constitute a waiver of any right to withhold approval or consent as to any similar proposals, plans, specifications, drawings or matters whatever subsequently or additionally submitted for approval or consent.

3. BUILDING SPECIFICATIONS AND SET-BACKS

3(a) Lot Grading:

Floor levels shall be set sufficiently above street grade to provide proper drainage of the respective lot, and no filling or grading shall be done that will adversely affect the proper drainage of adjacent property. Protective slopes around all buildings shall be provided on every lot by the respective owner, and side lot line swales shall be planned and maintained to prevent standing water in the rear.

3(b) The ARC will depend largely on the use of stone, brick and wood to give distinctive appearances to the homes in the area. At the same time other materials may be approved if, in the opinion of the ARC, the design is desirable for the area and gives the appearance of keeping with the other residences in the subdivision.

3(c) The provisions herein contained shall apply equally to repair, alteration or modification made in any building, wall or other structure. Each dwelling must have an individual front elevation of distinct aesthetic beauty.

3(d) No alterations in the exterior appearance of buildings or structures shall be made without approval of the ARC.

3(e) All construction, changes and alterations shall be subject to all applicable permit requirements and to all applicable governmental laws, statutes, ordinances, rules, regulations, orders and decrees.

3(f) All dwellings shall be situated on lots or building sites as to the front and sides in such a manner as will conform with set-back requirements of the Lee County Building Department.

3(g) TIME FOR COMPLETION OF CONSTRUCTION:

Construction of dwellings and landscaping must be diligently pursued and completed within twelve (12) months of the date of commencement, except in cases of delay due to labor strikes, material shortages and Acts of God, or except where a written extension of time is granted by the ARC.

4. GARAGES, CARPORTS AND STORAGE AREAS

4(a) No garage shall be erected which is separated from a residence. Each residence shall have a garage which shall accommodate no less than two (2) automobiles. Repair of vehicles shall be permitted only inside the garage. When ingress and egress to the garage is not desired, the garage doors shall remain closed.

4(b) Carports shall not be permitted.

4(c) No garage shall ever be permanently enclosed or converted to other uses without substitution of another enclosed garage and approval of the ARC.

4(d) PARKING AND STORAGE OF VEHICLES.

Owners and occupants of residences may not park, store or keep trucks of any kind, boat, trailer, truck camper, recreation vehicle, motorcycle, mobile home, motor home, bus, tractor, or

other such vehicle on the properties outside of garages. Further, owners and occupants of residences and their guests may not park, store or keep any motor vehicle whatsoever on lawn areas or on adjacent roads and streets. As a courtesy, with prior notification to the Association Board of Directors, owners or their guests with recreation trailers or motor homes may be allowed to park in the owner's driveway for a maximum of three (3) days.

5. MISCELLANEOUS PROVISIONS.

- 5(a) No built-up roofs.
- 5(b) All roofs shall have a minimum of 5/12 pitch.
- 5(c) Lanai roofs must conform to principal structure.
- 5(d) All driveways shall be of bonded material.
- 5(e) All lots shall be maintained to the street curb limits.
- 5(f) Above-ground permanent or semi-permanent swimming pools will not be permitted.
- 5(g) Exterior clothes lines of any type shall not be permitted.
- 5(h) Outdoor television, radio or other antenna or antenna system may not be erected or installed on any lot or residence. The intent being this is served by cable.
- 5(i) An owner may, if approved by the ARC, construct a swimming pool and screened enclosure in his back yard. In the event such construction requires entry or access over an adjoining lot, the consent of the owner of said adjoining lot must be obtained.

6. WALLS, FENCES, HEDGES

- 6(a) No fence, wall or other structure shall be erected in the front yard, back yard or side yard set-back areas.
- 6(b) No landscaping shall be installed or maintained on the property of this subdivision which shall unreasonably restrict or block the view of the golf course from an adjoining lot or which shall materially impair the continuity of the general landscaping plan of the subdivision.
- 6(c) No fence, wall or hedge shall be permitted along the lot lines adjacent to the golf course.
- 6(d) Although no fences are allowed, privacy walls, or fence-like structures which are attached to, or so closely adjacent, so as to appear to be part of the main structure, the primary purpose of which is to aesthetically conceal pool or irrigation pumps, garbage cans, air-conditioners, bottled-gas tanks, or privacy around bathrooms, will be given special consideration by the ARC as an exception. No construction of such a structure will be allowed without ARC approval.

7. LANDSCAPING

Along with the house plans, a basic landscaping plan must be submitted to and approved by the ARC. All shrubs, trees, grass and plantings of every kind shall be kept well maintained, properly cultivated and free of trash and other unsightly material. Landscaping as approved by the ARC shall be installed no later than sixty (60) days following occupancy of, or completion of, any building, whichever occurs first. All portions of lots so improved with structures or paving shall be kept as lawns or grass, except those portions planted with trees, shrubs, bushes and other plantings. All lawns shall extend to the road right-of-way.

8. PETS, ANIMALS

- 8(a) No animals, birds or reptiles of any kind shall be raised, bred or kept, except that dogs, cats and other normal household pets may be kept provided that they are not kept, bred or maintained for any commercial purposes.
- 8(b) No animal, bird or reptile shall be kept in such a manner as to constitute a nuisance.
- 8(c) It shall be the owners responsibility to clean-up after their pets.
- 8(d) All animals are to be leashed at all times according to the Lee County Ordinances.

9. SIGNS

- 9(a) A discreet and attractive sign stating the name of the resident and the street number in letters and numbers not to exceed four (4) inches in height shall be allowed provided the design and quality or material shall be approved by the ARC.

9(b) "For Sale" signs may be placed on the front and/or rear yards. their size must not exceed eighteen by twenty-four (18x24) inches and the installed height must be thirty-six (36) inches or less. These signs must be removed when the house is sold.

9(c) No vehicles, boats, trailers or other objects may be parked in driveways or lawns with "For Sale" signs displayed.

10. AESTHETIC CONTROL

10(a) All garbage and trash containers, oil tanks and bottled- gas tanks on all lots must be placed underground, or properly landscaped so as not to be visible from the street or adjoining property.

10(b) No weeds, underbrush or other unsightly growths shall be permitted to grow or remain upon any lot and no refuse pile or unsightly objects shall be allowed to be placed or suffered to remain anywhere thereon. In the event that the owner or his lessee shall fail or refuse to keep the demised premises free of weeds, underbrush or refuse piles or other unsightly growths or objects, then the ARC may enter upon the lands and remove the same at the expense of the owner and such entry shall not be deemed a trespass. Unimproved lots are subject to Lee County lot mowing Ordinance #73-1.

10(c) All windows, porches, balconies and exteriors of all buildings on any lot shall at all times be maintained in a neat and orderly manner.

11. SEWAGE AND WATER SUPPLY

The laws of the State of Florida and County of Lee, as well as the rules and regulations of their administrative agencies now or hereafter in effect with regard to sewage disposal, water supply and sanitation are hereby incorporated herein and made a part thereof. Therefore all lot owners shall be required to abide by the governmental regulations in effect at such time.

12. GOLFERS' EASEMENTS

All owners and occupants of any lot adjoining the golf course shall extend to all golfers, lawfully using the golf course, the courtesy of allowing such golfers to retrieve any and all errant golf balls which have taken refuge on any lot in the subdivision, provided such golf balls may be recovered without damaging any flowers, shrubbery or the property in general of the owner of such plot.

13. MINERAL EXPLORATION

The properties shall not be used in any manner to explore for or use commercially any water or other hydrocarbons, minerals of any kind, gravel, earth, soil or any other such substances located in or under the ground.

14. DURATION OF RESTRICTIONS

Hereafter these restrictions shall continue for a period of ten (10) years from the date of recording thereof, and shall automatically be extended every ten (10) years thereafter. A majority of sixty-five percent (65%) or more of the owners of property in BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES shall be necessary to evidence their desire to terminate or change said restrictions in whole or in part by an instrument or instruments in writing executed with the formality of a deed pursuant to the laws of the State of Florida.

15. REMEDIES FOR VIOLATIONS

15(a) Violation or breach of any condition, restriction or covenant herein contained, by any person or by virtue of any judicial proceeding, shall give the Association, in addition to other remedies, the right to proceed at law or in equity to compel a compliance with the terms of said condition, restrictions or covenant and to prevent the violation of any of them. In addition to the foregoing, the Association shall have the right, whenever there shall have been a violation of these restrictions, to enter upon the property where such violation of these restrictions exists and summarily abate or remove the same at the expense of the owner and such entry and abatement or removal shall not be deemed a trespass.

15(b) Notification of violation with the above shall be given to violator with a neighborly telephone call requesting compliance within two (2) weeks. After expiration of said two (2)

DR2665 PG3542

weeks, the violator will be notified with a request letter, sent by certified mail, return receipt, to correct violation within ten (10) days from date of receipt of letter. After such notice and expiration of said ten (10) days period, legal action shall be taken with cost thereof charged to the owner of premise involved.

15(c) The violator of any of these restrictions or covenants shall bear and be liable for any reasonable legal fees, expenses and costs should legal action become necessary to gain compliance. Failure to pay such duly authorized expenses may result in placing of a lien upon the violator's property.

16. HOLD HARMLESS CLAUSE

16(a) Every Director and every Officer of the Association shall be defended, held harmless and indemnified by the Association against all expenses and liability, including attorney's fees, payable when due, reasonably incurred by or imposed upon Directors and Officers in connection with any proceeding to which such Director or Officer may be a party, by reason of being or having been a Director or an Officer at the time such expenses are incurred, except in cases wherein the Director or Officer is adjudged guilty of willful misfeasance or malfeasance in the performance of duties; provided, that in the event of any claim for reimbursement or indemnification thereunder based on a settlement by the Director or Officer seeking such reimbursement or indemnification, the indemnification herein shall apply only if the Board of Directors approves such settlement and reimbursement as being in the interests of the Association.

16(b) The foregoing right of indemnification shall be in addition to and not exclusive of all other rights to which such Director or Officer may be entitled.

17. INVALIDITY CLAUSE

Invalidity of any of these covenants by Court of competent jurisdiction shall in no way effect any of the other covenants which shall remain in full force and effect.

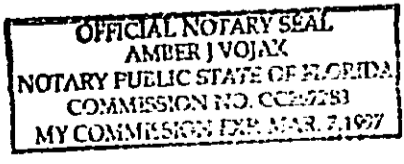
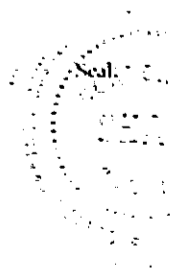
We, Peggy A. Rotunno and Margaret Richmond
the President and Secretary respectively of the Bonita Springs Country Club Civic Association, Inc., which Association includes the subdivisions known as Bonita Springs Golf and Country Club and Fairway Estates, Lee County, Florida, do hereby evidence the desire of a majority of the owners to amend the Deed of Covenants, Conditions and Restrictions herein described attached hereto, and made part of.

In Witness whereof, it's President and Secretary have signed and sealed these presents on the 30th day of November, 1995.

President *Peggy A. Rotunno* Secretary *Margaret Richmond*
Printed name Peggy A. Rotunno Printed name MARGARET RICHMOND

Witness my hand and official seal in this county and state last aforesaid this 30th day of November, 1995.

Notary signature *Amber J. Vojak*
Printed name AMBER J. VOJAK



DR 665 PG 3543

Beverly Banks
Witness signature as to 1st Owner

Grace E. Mikkelsen
Owners name

Beverly Banks
Printed name

GRACE E. MIKKELSEN
Printed name

Gordon Banks
Witness signature as to 1st owner

10406 Wood Iris Ave
Owners Post Office Address

GORDON BANKS
Printed name

Grace Mikkelsen
Owners name

Beverly Banks
Witness signature as to 2nd Owner

H. SCOTT MIKKELSEN
Printed name

Beverly Banks
Printed name

10406 Wood Iris Ave
Owners Post Office Address

Gordon Banks
Witness signature as to 2nd Owner

GORDON BANKS
Printed name

Beverly Banks
Witness signature as to 1st Owner

Glenn M. Neushotz
Owner signature

Beverly Banks
Printed name

Elton Neushotz
Printed name

Glenn M. Neushotz
Witness signature as to 1st Owner

10225 St Patrick Lane
Post Office Address

Glenn M. Neushotz
Printed name

Lawrence Neushotz
Owner Signature

Beverly Banks
Witness signature as to 2nd Owner

LAURENCE NEUSHOTZ
Printed name

Beverly Banks
Printed name

10225 ST PATRICK LANE
Post Office Address

Glenn M. Neushotz
Witness signature as to 2nd Owner

Glenn M. Neushotz
Printed name

STATE OF Florida
COUNTY OF LEE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared known to me to be the person described

in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form of identification of the above named person:

_____ and that an oath (was) (was not) taken.



Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 13 day of July, 1995.

Beverly Banks
Printed name

Beverly Banks
Notary signature

DR: 665 PG3544

Vilma Lukosavich
Witness signature as to 1st Owner

VILMA LUKOSAVICH
Printed name

Beverly Banks
Witness signature as to 1st owner

Beverly Banks
Printed name

Vilma Lukosavich
Witness signature as to 2nd Owner

VILMA LUKOSAVICH
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Judy Schoch
Owners name

Judy Schoch
Printed name

24733 Paradise Rd.
Owners Post Office Address

BR Schoch
Owners name

BR SCHOCH, DPH
Printed name

24733 PARADISE RD.
Owners Post Office Address

Charlene Williams
Witness signature as to 1st Owner

Charlene Williams
Printed name

Amber J. Vojak
Witness signature as to 1st Owner

Amber J. Vojak
Printed name

Charlene Williams
Witness signature as to 2nd Owner

Charlene Williams
Printed name

Amber J. Vojak
Witness signature as to 2nd Owner

Amber J. Vojak
Printed name

David C. Boyce
Owner signature

DAVID C. BOYCE
Printed name

24635 PARADISE RD.
Post Office Address

Cynthia S. Boyce
Owner Signature

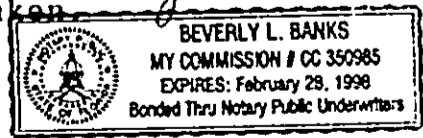
CYNTHIA S. BOYCE
Printed name

24635 Paradise Rd.
Post Office Address

STATE OF Florida
COUNTY OF Lee

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form of identification of the above named persons:

personally known and that an oath ~~(was)~~ (was not) taken.



Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 10th day of June, 1995.

Beverly L. Banks
Printed name

Beverly L. Banks
Notary signature

DR 665 PG3545

Charl Williams
Witness signature as to 1st Owner

Charlene Williams
Printed name

Beverly Banks
Witness signature as to 1st owner

Beverly Banks
Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Richard G. Singer
Owners name

Richard G. Singer
Printed name

24711 CARNOUSTIE CT.
Owners Post Office Address

~~Owners name~~

~~Printed name~~

~~Owners Post Office Address~~

Charl Williams
Witness signature as to 1st Owner

Charlene Williams
Printed name

Peggy A. Rotunno
Witness signature as to 1st Owner

PEGGY A. ROTUNNO
Printed name

Peggy A. Rotunno
Witness signature as to 2nd Owner

PEGGY A. ROTUNNO
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Karl J. Klapka
Owner signature

KARL J. KLAPKA
Printed name

24782 CARNOUSTIE CT.
Post Office Address

Margaret K Klapka
Owner Signature

MARGARET K KLAPKA
Printed name

24783 CARNOUSTIE ST. S.E.
Post Office Address

STATE OF Florida
COUNTY OF LEE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form of identification of the above named persons:

personally known and that an oath (was) (~~was not~~) taken



Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 10th day of JUNE, 1995.

Beverly L. Banks
Printed name

Beverly L. Banks
Notary signature

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

OR 665 PG 3546

I (We) Kenneth D. Favell as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 2nd day of February, 1995.

Yvonne Sellers
Witness signature as to 1st Owner

Kenneth D. Favell
Owner signature

Yvonne Sellers
Printed name

KENNETH D. FAVELL
Printed name

Carolyn Trantow
Witness signature as to 1st Owner

11271761 WHITE OAK CIR # 20
Post Office Address
MILWAUKEE FALLS WI 53051

Carolyn Trantow
Printed name

Witness signature as to 2nd Owner

Owner Signature

Printed name

Printed name

Witness signature as to 2nd Owner

Post Office Address

Printed name

STATE OF Wisconsin
COUNTY OF Milwaukee

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared KENNETH D. FAVELL known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that He executed the same, that I relied upon the following form of identification of the above named person:

Wisconsin Drivers License and that an oath (was) (was not) taken.

Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 2nd day of February, 1995.

Diane Umhoefer
Printed name

Diane Umhoefer
Notary signature

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

DR2665 PG3547

I (We) WILLIAM D. THURSTON as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 24 day of JAN, 1995.

[Signature]
Witness signature as to 1st Owner

William D. Thurston (3615)
Owner signature

Steven Rodriguez
Printed name

WILLIAM D. THURSTON
Printed name

[Signature]
Witness signature as to 1st Owner

9957 ORTEGA LANE
Post Office Address
BONITA SPRINGS, FLA 33920

SANDRA J. SHANNON
Printed name

Witness signature as to 2nd Owner

Owner Signature

Printed name

Printed name

Witness signature as to 2nd Owner

Post Office Address

Printed name

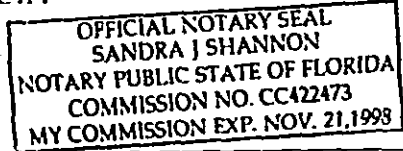
STATE OF FLORIDA
COUNTY OF LEE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared

WILLIAM D. THURSTON
in and who executed the foregoing instrument, who acknowledged before me that HE executed the same, that I relied upon the following form of identification of the above named person:

known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that HE executed the same, that I relied upon the following form of identification of the above named person:

FL D/L # T623 924-20-297-0 and that an oath (was) (was not) taken.



Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 24th day of January, 1995.

SANDRA J. SHANNON
Printed name

[Signature]
Notary signature
SANDRA J. SHANNON

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) Eleanor D. Carney as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 12 day of May, 1995.

Audrey Carollo
Witness signature as to 1st Owner

Eleanor D. Carney
Owner signature

Audrey CAROLLO
Printed name

ELEANOR D. CARNEY
Printed name

[Signature]
Witness signature as to 1st Owner

25400 CARNEY Circle
Post Office Address
BS.

Robert Graettinger
Printed name

Witness signature as to 2nd Owner

Owner Signature

Printed name

Printed name

Witness signature as to 2nd Owner

Post Office Address

Printed name

STATE OF FL.
COUNTY OF Lee

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared

Eleanor D. Carney known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that she executed the same, that I relied upon the following form of identification of the above named person:

Florida Drivers License and that an oath (was) (was not) taken.

[Signature]
Notary Rubber Stamp Seal
ROXANN G. FRANKLIN
MY COMMISSION # CC 347593
EXPIRES: February 10, 1998
Bonded Thru Notary Public Underwriters

Witness my hand and official seal in the county and state last aforesaid this 12th day of May, 1995.

Roxann Franklin
Printed name

[Signature]
Notary signature

DR2665 PG3549

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) Thomas M. & Carol J. Taylor as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 16th day of May, 1995.

Chris Blosser
Witness signature as to 1st Owner

Thomas M. Taylor
Owner signature

Chris Blosser
Printed name

THOMAS M. TAYLOR
Printed name

Peggy Snider
Witness signature as to 1st Owner

627 FARLER DRIVE WES. CH. 43213
Post Office Address

Peggy Snider
Printed name

C10300 ST. PATRICK LANE

Chris Blosser
Witness signature as to 2nd Owner

Carol J. Taylor
Owner Signature

Chris Blosser
Printed name

CAROL J. TAYLOR
Printed name

Peggy Snider
Witness signature as to 2nd Owner

177 FARLER DR WES. CH. 43213
Post Office Address

Peggy Snider
Printed name

DR 7665 PG 3550

STATE OF Ohio
COUNTY OF Franklin

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared

Thomas M Taylor & Carol J. Taylor known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form of identification of the above named person:

License # 7460 170 35565
7460 03330 343

and that an oath (was) (was not) taken.



CHRISTOPHER L. BLOSSER
NOTARY PUBLIC, STATE OF OHIO
MY COMMISSION EXPIRES MARCH 16, 1997

Witness my hand and official seal in the county and state last aforesaid this 16th day of May, 1995.

Christopher L. Blosser
Printed name

Christopher Blosser
Notary signature

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) ROBERT L. & ELAINE C. WILLIAMS as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 10th day of May, 1995.

[Signature]
Witness signature as to 1st Owner

WILLIAM R. WILLIAMS
Printed name

[Signature]
Witness signature as to 1st Owner

DORIS M. WILLIAMS
Printed name

[Signature]
Witness signature as to 2nd Owner

WILLIAM R. WILLIAMS
Printed name

[Signature]
Witness signature as to 2nd Owner

DORIS M. WILLIAMS
Printed name

[Signature]
Owner signature

ROBERT L. WILLIAMS
Printed name

RD#1, Box 159, MCKON, NC
Post Office Address

[Signature]
Owner Signature

ELAINE C. WILLIAMS
Printed name

RD#1, Box 159, MCKON, NC
Post Office Address

STATE OF NOETH CAROLINA
COUNTY OF WARREN WAKE
9⁹⁹

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared known to me to be the person described

in and who executed the foregoing instrument, who acknowledged before me that They executed the same, that I relied upon the following form of identification of the above named person:

ROBERT L. WILLIAMS / ELAINE C. WILLIAMS and that an oath (was) (was not) taken.

Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 10 day of May, 1995.

GAIL P. GROSS
Printed name

[Signature]
Notary signature

DR2665 PG3551

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) LORETTA T. BOVE as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the _____ day of _____, 19____.

Connie Urlich
Witness signature as to 1st Owner

CONNIE URlich
Printed name

Adam Perkowski
Witness signature as to 1st Owner

ADAM PERKOWSKI
Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Loretta T. Bove
Owner signature

LORETTA T. BOVE
Printed name

16 Soundview Dr
Post Office Address

Belle Terre, NY 11777

25021 Paradise BS
10325 Wild Turkey BS
Owner Signature

Printed name

Post Office Address

STATE OF New York
COUNTY OF Suffolk

Lauretta Bove

in and who executed the foregoing instrument, who acknowledged before me that she executed the same, that I relied upon the following form of identification of the above named person:

PERSONALLY KNOWN and that an oath (was) (was not) taken.

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that she executed the same, that I relied upon the following form of identification of the above named person:

LORETTA T. BOVE
Notary Public for the State of New York
Commission Expires 12/31/95

Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 10th day of May, 1995.

LORE M GORDON
Printed name

[Signature]
Notary signature

DR2665 PG3552

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) Deanna J. Emmons as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 2nd day of June, 1995.

X Deanna J. Emmons
 Witness signature as to 1st Owner

Deanna J. Emmons
 Owner signature

X Robert M. Tanchuck
 Printed name

Deanna J. Emmons
 Printed name

X John W. Drady
 Witness signature as to 1st Owner

10339 Le Patrick Lane
 Post Office Address

X JOHN W. DRADY
 Printed name

 Witness signature as to 2nd Owner

 Owner Signature

 Printed name

 Printed name

 Witness signature as to 2nd Owner

 Post Office Address

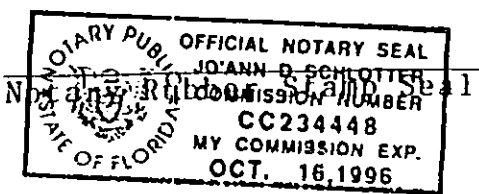
 Printed name

STATE OF Florida
 COUNTY OF Lee

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared Deanna J. Emmons known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that He executed the same, that I relied upon the following form of identification of the above named person: Person's License To Me and that an oath (was) (was not) taken.

Deanna J. Emmons
 in and who executed the foregoing instrument, who acknowledged before me that He executed the same, that I relied upon the following form of identification of the above named person:

Person's License To Me and that an oath (was) (was not) taken.



Witness my hand and official seal in the county and state last aforesaid this 2nd day of June, 1995.

JoAnn D. Schlotter
 Printed name

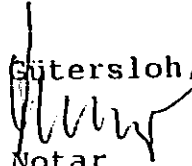
JoAnn D. Schlotter
 Notary signature

DR2665 PG3553

Nummer 39 der Urkundenrolle für 1995

Die vorstehende vor mir vollzogenen Unterschriften des
Herrn Mattias Oles, geb. am 09.04.1949 und seiner Ehefrau
Dorothee Oles, geb. Georgi, geb. am 18.11.1950, beide wohn-
haft Stieglitzweg 19 in 33607 Bielefeld, beide sind der
englischen Sprache mächtig, beglaubige ich.
-beide von Person bekannt-

Gütersloh, den 22.05.1995


Notar

Kostenrechnung

Geschäftswert: DM 5.000,00

Gebühr § 45 (1)

Gebühr §§ 137,152 (2)1


+ 15 % MWST

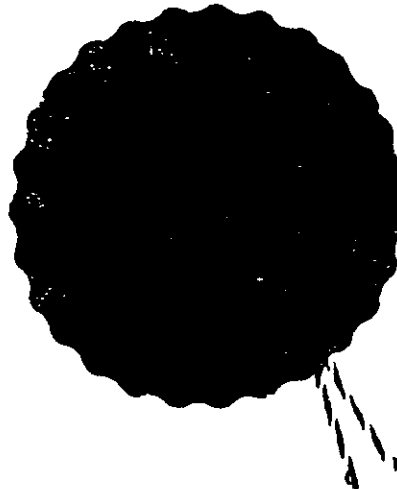
DM 20,00

DM 3,00

DM 3,45

DM 26,45
=====


Notar



DR:665 PG3555

APOSTILLE
(CONVENTION DE LA HAYE DU 5 OCTOBRE 1961)


- 1. Land: Bundesrepublik Deutschland
Diese öffentliche Urkunde
- 2. ist unterschrieben von Herrn Burkhardt Justus
- 3. in seiner Eigenschaft als Notar

- 4. sie ist versehen mit dem Stempel und Siegel des Notars Burkhardt Justus in Gütersloh

BESTÄTIGT

- 5. in Bielefeld
- 6. am 30. Mai 1995
- 7. durch den Vizepräsidenten des Landgerichts Petri
- 8. unter Nr. 245/1995
- 9. Siegel

10. Unterschrift:



Petri

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (~~we~~) NOREEN L. JOHNSON as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 29th day of NOVEMBER, 1995.

Charles Williams
Witness signature as to 1st Owner

Noreen L. Johnson
Owner signature

Charles Williams
Printed name

NOREEN L. JOHNSON
Printed name

Albert H. Williams
Witness signature as to 1st Owner

25441 CARNEY CIRCLE
Post Office Address

ALBERT H. WILLIAMS
Printed name

Witness signature as to 2nd Owner

X
Owner Signature

Printed name

Printed name

Witness signature as to 2nd Owner

Post Office Address

Printed name

STATE OF Florida
COUNTY OF LEE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared Noreen L. Johnson known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that I executed the same, that I relied upon the following form of identification of the above named person:

documented and that an oath (was) (~~was not~~) taken



Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 29th day of November, 1995.

Beverly L. Banks
Printed name

Beverly L. Banks
Notary signature

DR: 665 P63557

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

OR 665 PG 355 G

I (We) ROBERT C & EDNA L. HEMPSTEAD as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 22nd day of FEBRUARY, 1995.

Witness signature as to 1st Owner

Mary J. McElrow
Printed name

Mary J. McElrow
Witness signature as to 1st Owner

Connie Tuttle Conn R Tuttle
Printed name

Mary J. McElrow
Witness signature as to 2nd Owner

Mary J. McElrow
Printed name

Connie R Tuttle
Witness signature as to 2nd Owner

Printed name

Robert C Hempstead
Owner signature

ROBERT C HEMPSTEAD
Printed name
4866 FOREST DR
SPRINGFIELD OH 45506
Post Office Address
10277 Wood 2nd

Edna L. Hempstead
Owner Signature

EDNA L. HEMPSTEAD
Printed name
4866 FOREST DR
SPRINGFIELD OH 45506
Post Office Address

STATE OF OHIO
COUNTY OF CLERMONT

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared

ROBERT C & EDNA L. HEMPSTEAD known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that They executed the same, that I relied upon the following form of identification of the above named person:

Ohio Public R 26766
Ohio Public R 26766 and that an oath (was) (was not) taken.

Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 22 day of Feb, 1995.

Mary J. McElrow
Printed name Notary signature

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) HORST AND FRANCES ABRAMS as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 27th day of May, 1995.

Silvana DeLuca
Witness signature as to 1st Owner

Silvana DeLuca
Printed name

Claudine Goode
Witness signature as to 1st Owner

Claudine Goode
Printed name

Silvana DeLuca
Witness signature as to 2nd Owner

Silvana DeLuca
Printed name

Claudine Goode
Witness signature as to 2nd Owner

Claudine Goode
Printed name

Horst Abrams
Owner signature

HORST ABRAMS
Printed name

Post Office Address

Horst Abrams
Owner Signature

Horst Abrams
Printed name

Post Office Address

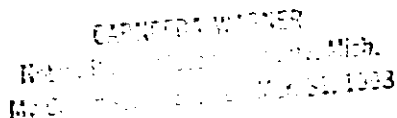
STATE OF Michigan
COUNTY OF Macomb

Horst and Frances Abrams
in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form of identification

Drivers License
taken.

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form of identification of the above named person:

and that an oath (was) ~~(was)~~ taken.



Notary Rubber Stamp Seal

Carneeda Wagner
Printed name

Witness my hand and official seal in the county and state last aforesaid this 27th day of May, 1995.

Carneeda Wagner
Notary signature

DR2655 P63559

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) CHOTA CORP as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 8 day of August, 1995.

CHOTA Corp Tina L Woytowich
Witness signature as to 1st Owner

Shanley - Kevin
Owner signature

Tina L Woytowich
Printed name

KEVIN SHANLEY
Printed name

[Signature]
Witness signature as to 1st Owner

10287 WILD TURKEY
Post Office Address

Tina L Woytowich
Printed name

Witness signature as to 2nd Owner

Owner Signature

Printed name

Printed name

Witness signature as to 2nd Owner

Post Office Address

Printed name

STATE OF NEW JERSEY
COUNTY OF _____

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared Kevin Shanley known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that _____ executed the same, that I relied upon the following form of identification of the above named person: _____ and that an oath (was) (was not) taken.

TINA WOYTOWICH
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires July 15, 1998

Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 8th day of August, 1995.

Tina L Woytowich
Printed name

Tina L Woytowich
Notary signature

OR7665 PG3560

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) JOSEPH & FRANCES ROMANO as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 14 day of MAY, 1995.

Charles Williams
Witness signature as to 1st Owner

Charlene Williams
Printed name

Albert H Williams
Witness signature as to 1st Owner

ALBERT H WILLIAMS
Printed name

Charles Williams
Witness signature as to 2nd Owner

Charlene Williams
Printed name

Albert H Williams
Witness signature as to 2nd Owner

ALBERT H WILLIAMS
Printed name

Joseph Romano
Owner signature

JOSEPH ROMANO
Printed name

28070 KINGSBERRY RD
Post Office Address

CHESTERFIELD, MICH 48047

Frances Romano
Owner Signature

FRANCES ROMANO
Printed name

A BOVE
Post Office Address

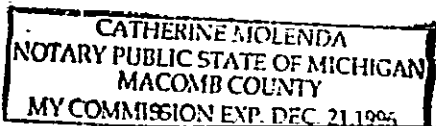
10249 Woodland BS

STATE OF Michigan
COUNTY OF Macomb

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared

Joseph Romano Frances Molenda known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form of identification of the above named person:

Joseph Romano Frances Romano and that an oath (was) (was not) taken.



Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 14th day of May, 1995.

Catherine Molenda
Printed name

Catherine Molenda
Notary signature

DR2665 PG3561

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

X (We) Lynne and Michael Phillips as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 29th day of November, 1995.

Charles Williams
Witness signature as to 1st Owner

Charles Williams
Printed name

Albert H. Williams
Witness signature as to 1st Owner

ROBERT H. WILLIAMS
Printed name

Charles Williams
Witness signature as to 2nd Owner

Charles Williams
Printed name

Albert H. Williams
Witness signature as to 2nd Owner

ROBERT H. WILLIAMS
Printed name

Lynne M. Phillips
Owner signature

Lynne M. Phillips
Printed name

113rd West 1st Ave
Post Office Address

Lynne M. Phillips
Owner Signature

Lynne M. Phillips
Printed name

113rd West 1st Ave
Post Office Address

STATE OF Florida
COUNTY OF Lee

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared

Michael R. & Lynne M. Phillips known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form of identification of the above named persons:

personally known and that an oath (was) (~~was not~~)



Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 29th day of November, 1995.

Beverly L. Banks
Printed name

Beverly L. Banks
Notary signature

OR2665 PG3562

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS
OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) KIRK O SINGER as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 10 day of FEBRUARY, 1995.

Denise McKen
Witness signature as to 1st Owner

[Signature]
Owner signature

Denise McKen
Printed name

KIRK O. SINGER
Printed name

Marilyn C. Estes
Witness signature as to 1st Owner

P.O. BOX 2066
DURANGO, Co. 81302
Post Office Address

Marilyn C. Estes
Printed name

Witness signature as to 2nd Owner

N/A
Owner Signature

Printed name

Printed name

Witness signature as to 2nd Owner

Post Office Address

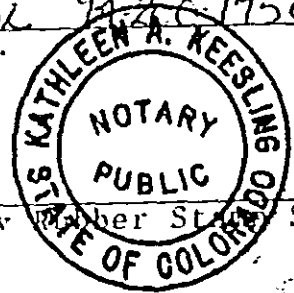
Printed name

STATE OF COLOrado
COUNTY OF LA PLATA

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared Kirk O. Singer known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that He executed the same, that I relied upon the following form of identification of the above named person:

Kirk O. Singer
Co DL #261750
taken.

and that an oath (was) (was not) taken.



Notary _____ Seal

Witness my hand and official seal in the county and state last aforesaid this 10 day of FEBRUARY, 1995.

Kathleen A. Keesling
Printed name

[Signature]
Notary signature

DR 665 PG 3563

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) Keith H. + Debra E. Clark as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

DR2665 PG3564

In witness whereof, the Owner (s) has/have signed and sealed these presents the 13 day of February, 1995.

Michelle Lawley
Witness signature as to 1st Owner

Keith H. Clark
Owner signature

Michelle Lawley
Printed name

Keith H. Clark
Printed name

Rose P. Sherrod
Witness signature as to 1st Owner

655 Iron League Tr., Tallahassee, FL
Post Office Address 32308
24931 Carmichael Ct.

Rose P. Sherrod
Printed name

Michelle Lawley
Witness signature as to 2nd Owner

Debra E. Clark
Owner Signature

Michelle Lawley
Printed name

Debra E. Clark
Printed name

Rose P. Sherrod
Witness signature as to 2nd Owner

655 Iron League Tr., Tallahassee, FL
Post Office Address 32308

Rose P. Sherrod
Printed name

STATE OF Georgia
COUNTY OF Thomas

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared

Keith Clark + Debra Clark known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he executed the same, that I relied upon the following form of identification of the above named person:

drivers license + social sec. card and that an oath (~~was~~) (was not) taken.

Notary, Public, Tallahassee, Florida
My Commission Expires 12/31/95

Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 13th day of February, 1995.

Rose P. Sherrod
Printed name

Rose P. Sherrod
Notary signature

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) MAURY R. HORN as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

DR2665 PG3565

In witness whereof, the Owner (s) has/have signed and sealed these presents the 24 day of February, 1995.

Patti Ingram

Witness signature as to 1st Owner

Patti Ingram

Printed name

Maury R. Horn

Owner signature

MAURY R. HORN

Printed name

Maudie Walker

Witness signature as to 1st Owner

Maudie Walker

Printed name

14341 Pierite Dr.

Post Office Address

Nevada City, CA. 95959

35045 Paradise Blvd

ALL-PURPOSE ACKNOWLEDGEMENT

State of California

County of Nevada

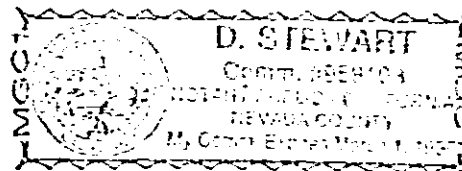
On Feb. 25, 1995 before me, D. Stewart (here insert name and title of the officer),

personally appeared Maury R. Horn, personally

known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature D. Stewart (Seal)



AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) _____ as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 29 day of March, 1995.

Beverly Banks
Witness signature as to 1st Owner

Howard D. Emenhiser
Owner signature

Beverly Banks
Printed name

HOWARD D. Emenhiser
Printed name

Beverly Banks
Witness signature as to 1st Owner

24701 Carnoustie Ct.
Post Office Address

BEVERLY BANKS
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Doris U. Emenhiser
Owner Signature

Beverly Banks
Printed name

DORIS U. Emenhiser
Printed name

Beverly Banks
Witness signature as to 2nd Owner

24701 Carnoustie Ct.
Post Office Address

BEVERLY BANKS
Printed name

STATE OF Florida
COUNTY OF Lee

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared _____ known to me to be the persons described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form of identification of the above named persons:

Beverly Banks and that an oath (~~was~~) (was not) taken.



Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 31st day of March, 1995.

Beverly L. Banks
Printed name

Beverly L. Banks
Notary signature

DR2665 PG3566

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

DR:665 PG3567

I (We) EUGENE W & HARLENE A YOUNG as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 11th day of October, 1995.

Justine M. Rizzolo
Witness signature as to 1st Owner

Eugene W Young
Owner signature

Justine M. Rizzolo
Printed name

EUGENE W. YOUNG
Printed name

Wilma C Galloway
Witness signature as to 1st Owner

270 NAPLES COVE DR #3106
Post Office Address

Wilma C. GALLOWAY
Printed name

NAPLES FL 33463
(10361 Wood Iris)

Justine M. Rizzolo
Witness signature as to 2nd Owner

Harlene A. Young
Owner Signature

Justine M. Rizzolo
Printed name

Harlene A. Young
Printed name

Wilma C Galloway
Witness signature as to 2nd Owner

270 Naples Cove Dr. #3106
Post Office Address

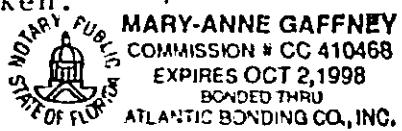
Wilma C Galloway
Printed name

Naples, FL 33963

STATE OF Florida
COUNTY OF Collier

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared Mr & Mrs. E. Young known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form of identification of the above named person :

(personally known) and that an oath (was) (was not) taken.



Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 11th day of October, 1995.

MARY-ANNE GAFFNEY
Printed name

Mary Anne Gaffney
Notary signature

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) LAWRENCE T. & DENISE C. FARLEY as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 12TH day of OCTOBER, 1995.

X [Signature]
Witness signature as to 1st Owner

X [Signature]
Owner signature

SUSAN FERRIACCANTE
Printed name

LAWRENCE T. FARLEY
Printed name

X [Signature]
Witness signature as to 1st Owner

236 Exchange ST. Mills MA
Post Office Address 02054

Stephen Jones
Printed name

(12251 South Lane)

X [Signature]
Witness signature as to 2nd Owner

X [Signature]
Owner Signature

SUSAN FERRIACCANTE
Printed name

DENISE C. FARLEY
Printed name

X [Signature]
Witness signature as to 2nd Owner

236 Exchange ST
Mills MA 02054
Post Office Address

Stephen Jones
Printed name

STATE OF MASSACHUSETTS
COUNTY OF NORFOLK

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared

Lawrence T. & Denise C. Farley known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that THEY executed the same, that I relied upon the following form of identification of the above named person:

PERSONALLY KNOWN and that an oath (was) (was not) taken.

Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 12TH day of OCTOBER, 1995.

ROMA L. CURRAN
Printed name

[Signature]
Notary signature
MY COMMISSION EXPIRES JUNE 21, 1996

OR 665 PG 3569

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, and COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES.

I (We) _____ as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described and attached:

In witness whereof, the Owner (s) has/have signed and sealed these presents the 27 day of October, 1995.

x Deborah A Ebert
Witness signature as to 1st Owner

DEBORAH A. EBERT
Printed name

Carol A Adler
Witness signature as to 1st Owner

Carol A Adler
Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

James L. Walker Trustee
Owner signature

JAMES L. WALKER TRUSTEE
Printed name

720 BANYAN BLVD
NAPLES FL 34104
Post Office Address

Owner Signature

Printed name

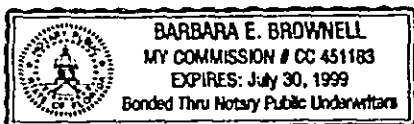
Post Office Address

STATE OF FLORIDA
COUNTY OF COLLIER

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared

JAMES L. WALKER TRUSTEE known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he executed the same, that I relied upon the following form of identification of the above named person:

PERSONALLY KNOWN TO ME and that an oath (was) (was not) taken.



Notary Rubber Stamp Seal

Witness my hand and official seal in the county and state last aforesaid this 27 day of OCTOBER, 1995

BARBARA E BROWNELL
Printed name

Barbara E Brownell
Notary signature

DR2665 PG3571

Salvatore Marotta
Witness signature as to 1st Owner

SALVATORE MAROTTA
Printed name

Janet Marotta
Witness signature as to 1st Owner

JANET MAROTTA
Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Frank A. Williams
Witness signature as to 1st Owner

Frank A. Williams
Printed name

Doris J. Williams
Witness signature as to 1st owner

Doris J. Williams
Printed name

Frank A. Williams
Witness signature as to 2nd Owner

Frank A. Williams
Printed name

Witness signature as to 2nd Owner

Doris J. Williams
Printed name

Richard W. Roberts
Owners name

RICHARD W. ROBERTS
Printed name

10321 Wood Ibis Ave
Owners Post Office Address

Owners name

Printed name

Owners Post Office Address

Richard W. Roberts
Owners name

RICHARD W. ROBERTS
Printed name

10321 Wood Ibis Ave
Owners Post Office Address

B. Odell Roberts
Owners name

B. ODELL ROBERTS
Printed name

10321 Wood Ibis Ave.
Owners Post Office Address

OR2665 PG3573

ADDITIONAL CONTRIBUTORS

Albert H. Williams
Witness signature as to 1st Owner

ALBERT H. WILLIAMS
Printed name

Albert H. Williams
Witness signature as to 1st owner

Albert L. Rotunno
Printed name

Albert H. Williams
Witness signature as to 2nd Owner

ALBERT H. WILLIAMS
Printed name

Albert H. Williams
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

Richard M. Piro
Owners name

RICHARD M. PIRO
Printed name

24731 Carnoustie Ct.
Owners Post Office Address

Mary M. Piro
Owners name

MARY M. PIRO
Printed name

24731 CARNOUSIE CT
Owners Post Office Address

OR 2665 PG3574

Peggy A. Rotundo
Witness signature as to 1st Owner
PEGGY A. ROTUNDO
Printed name

David G. Motes
Owners name
David G. Motes
Printed name

24777 Carnoustie Ct Bonita Springs FL 33923
Owners Post Office Address

Albert L. Rotundo
Witness signature as to 1st owner
Albert L. Rotundo
Printed name

Andrea K. Motes
Owners name
Andrea K. Motes
Printed name

24777 Carnoustie Ct Bonita Springs, FL 33923
Owners Post Office Address

Peggy A. Rotundo
Witness signature as to 2nd Owner
PEGGY A. ROTUNDO
Printed name
Albert L. Rotundo
Witness signature as to 2nd Owner
Albert L. Rotundo
Printed name

Howard P. Sorensen (2)
Owners name
HOWARD P. SORENSEN
Printed name

24710 CARNOUSTIE CT, BONITA SPGS, FL
Owners Post Office Address

Albert H. Williams
Witness signature as to 1st Owner
ALBERT H. WILLIAMS
Printed name
Albert L. Rotundo
Witness signature as to 1st Owner
Albert L. Rotundo
Printed name

Louis J. Sorensen
Owners name
LOUIS J. SORENSEN
Printed name

24710 CARNOUSTIE CT, BONITA SPGS, FL
Owners Post Office Address

Albert H. Williams
Witness signature as to 2nd Owner
ALBERT H. WILLIAMS
Printed name
Albert L. Rotundo
Witness signature as to 2nd Owner
Albert L. Rotundo
Printed name

Peggy A. Rotundo
Witness signature as to 1st Owner
PEGGY ROTUNDO
Printed name

Frank A. Wollam
Owners name
Frank A. Wollam
Printed name

Albert L. Rotundo
Witness signature as to 1st Owner
Albert L. Rotundo
Printed name

10440 Wood Ibis Av
Owners Post Office Address

Peggy A. Rotundo
Witness signature as to 2nd Owner
PEGGY A. ROTUNDO
Printed name
Albert L. Rotundo
Witness signature as to 2nd Owner
Albert L. Rotundo
Printed name

Donis J. Wollam
Owners name
DONIS J. WOLLAM
Printed name
10440 Wood Ibis Av
Owners Post Office Address

OR2655 P63575

Frank A. Wolkm
Witness signature as to 1st Owner

Frank A. Wolkm
Printed name

Doris J. Wolkm
Witness signature as to 1st owner

Doris J. Wolkm
Printed name

Frank A. Wolkm
Witness signature as to 2nd Owner

Frank A. Wolkm
Printed name

Doris J. Wolkm
Witness signature as to 2nd Owner

Doris J. Wolkm
Printed name

Frank A. Wolkm
Witness signature as to 1st Owner

Frank A. Wolkm
Printed name

Doris J. Wolkm
Witness signature as to 1st Owner

Doris J. Wolkm
Printed name

Frank A. Wolkm
Witness signature as to 2nd Owner

Frank A. Wolkm
Printed name

Doris J. Wolkm
Witness signature as to 2nd Owner

Doris J. Wolkm
Printed name

X Anton Muzzarelli
Owners name

ANTON MUZZARELLI
Printed name

10457 Wood Pkys
Owners Post Office Address

X Helen Muzzarelli
Owners name

HELEN MUZZARELLI
Printed name

10457 Wood Pkys
Owners Post Office Address

X Herbert Braun
Owners name

HERBERT BRAUN
Printed name

10469 Wood Pkys
Owners Post Office Address

X Ginny Braun
Owners name

GINNY BRAUN
Printed name

10469 Wood Pkys
Owners Post Office Address

Frank A. Wolkm
Witness signature as to 1st Owner

Frank A. Wolkm
Printed name

Doris Wolkm
Witness signature as to 1st Owner

Doris Wolkm
Printed name

Frank A. Wolkm
Witness signature as to 2nd Owner

Frank A. Wolkm
Printed name

Doris Wolkm
Witness signature as to 2nd Owner

Doris Wolkm
Printed name

X Neal E. TEE
Owners name

Neal E. TEE
Printed name

Owners Post Office Address

X Marlene Eddy
Owners name

Marlene Eddy
Printed name

13374 Wood Pkys
Owners Post Office Address

13400 Wood Pkys

Barbara Moore
Witness signature as to 1st Owner

Lorrie Christopoulos
Owners name

Barbara Moore
Printed name

Lorrie Christopoulos
Printed name

Janet Olivier
Witness signature as to 1st Owner

25504 Carney Circle
Owners Post Office Address

Janet Olivier
Printed name

Michael Christopoulos
Owners name

Robert Thomas
Witness signature as to 2nd Owner

Michael Christopoulos
Printed name

ROBERT THOMAS
Printed name

25504 CARNEY CIRCLE
Owners Post Office Address

Robert Thomas
Witness signature as to 2nd Owner

Robert Thomas
Printed name

[Signature]
Witness signature as to 1st Owner

[Signature]
Printed name

[Signature]
Witness signature as to 1st Owner

Charles Williams
Printed name

[Signature]
Witness signature as to 2nd Owner

[Signature]
Printed name

[Signature]
Witness signature as to 2nd Owner

Charles Williams
Printed name

[Signature]
Witness signature as to 1st Owner

[Signature]
Printed name

[Signature]
Witness signature as to 1st owner

Charles Williams
Printed name

[Signature]
Witness signature as to 2nd Owner

[Signature]
Printed name

[Signature]
Witness signature as to 2nd Owner

Charles Williams
Printed name

[Signature]
Owners name

[Signature]
Printed name

[Signature]
Owners Post Office Address

Barbara Y. Fisher
Owners name

Barbara Y. Fisher
Printed name

10410 Wood 2bis Ave
Owners Post Office Address
Bonite Sp.

[Signature]
Owners name

Andi Stoklan
Printed name

10456 Wood 1bis Ave
Owners Post Office Address

[Signature]
Owners name

Andi Stoklan
Printed name

10456 Wood 1bis Ave
Owners Post Office Address

DR 665 PG3576

DR2665 PG3577

Albert H Williams
Witness signature as to 1st Owner

John A. Brady
Owners name

ALBERT H WILLIAMS
Printed name

JOHN A. BRADY
Printed name

Albert H Williams
Witness signature as to 1st Owner

John A. Brady
Owners Post Office Address

Albert L. Rotunno
Printed name

Owners name

Witness signature as to 2nd Owner

Printed name

Printed name

Witness signature as to 2nd Owner

Owners Post Office Address

Printed name

Peggy A. Rotunno
Witness signature as to 1st Owner

Richard Krapflich
Owners name

Peggy A. Rotunno
Printed name

RICHARD KRAPFLICH
Printed name

Albert H Williams
Witness signature as to 1st Owner

25567 Fenner Cir
Owners Post Office Address

Albert L. Rotunno
Printed name

Peggy A. Rotunno
Witness signature as to 2nd Owner

Richard Krapflich
Owners name

Peggy A. Rotunno
Printed name

Richard Krapflich
Printed name

Albert H Williams
Witness signature as to 2nd Owner

25567 Fenner Cir
Owners Post Office Address

Albert L. Rotunno
Printed name

Peggy A. Rotunno
Witness signature as to 1st Owner

James F. Brady
Owners name

Peggy A. Rotunno
Printed name

JAMES F. BRADY
Printed name

James Rotunno
Witness signature as to 1st Owner

10440 Wild Turkey Ave
Bonita Springs FL 33923
Owners Post Office Address

James Rotunno
Printed name

Peggy A. Rotunno
Witness signature as to 2nd Owner

PATRICIA A. BRADY
Owners name

Peggy A. Rotunno
Printed name

Patricia A. Brady
Printed name

James Rotunno
Witness signature as to 2nd Owner

10440 Wild Turkey Ave
Owners Post Office Address

James Rotunno
Printed name

Amendment continued

DR 665 PG3578

[Signature]
Witness signature as to 1st Owner

Albert L. Rotundo
Printed name

[Signature]
Witness signature as to 1st owner

Peggy A. Rotundo
Printed name

[Signature]
Witness signature as to 2nd Owner

Albert L. Rotundo
Printed name

[Signature]
Witness signature as to 2nd Owner

Peggy A. Rotundo
Printed name

[Signature]
Witness signature as to 1st Owner

Peggy A. Rotundo
Printed name

[Signature]
Witness signature as to 1st Owner

Albert L. Rotundo
Printed name

[Signature]
Witness signature as to 2nd Owner

Peggy A. Rotundo
Printed name

[Signature]
Witness signature as to 2nd Owner

Albert L. Rotundo
Printed name

Reynold L. Balsizer
Owners name

REYNOLD L. BALSIZER
Printed name

24867 Paradise Rd.
Owners Post Office Address

Donna M. Balsizer
Owners name

DONNA M. BALSIZER
Printed name

24867 PARADISE RD.
Owners Post Office Address

[Signature]
Owners name

[Signature]
Printed name

[Signature]
Owners Post Office Address

[Signature]
Owners name

[Signature]
Printed name

[Signature]
Owners Post Office Address

Donald C. Farrell
Witness signature as to 1st Owner

Donald C. Farrell
Printed name

Madeline M. Farrell
Witness signature as to 1st owner

Madeline M. Farrell
Printed name

Donald C. Farrell
Witness signature as to 2nd Owner

Donald C. Farrell
Printed name

Madeline M. Farrell
Witness signature as to 2nd Owner

Madeline M. Farrell
Printed name

Tommy A. Williams
Witness signature as to 1st Owner

Tommy A. Williams
Printed name

Charles Williams
Witness signature as to 1st Owner

Charles Williams
Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Teggy A. Romano
Witness signature as to 1st Owner

Teggy A. Romano
Printed name

Charles Williams
Witness signature as to 1st Owner

Charlotte Williams
Printed name

Teggy A. Romano
Witness signature as to 2nd Owner

Teggy A. Romano
Printed name

Charles Williams
Witness signature as to 2nd Owner

Charlotte Williams
Printed name

Paul A. Edington
Owners name

Paul A. Edington
Printed name

10340 St. Patrick Lane
Owners Post Office Address

Owners name

Ellen L. Edington
Owners name

Ellen L. Edington
Printed name

10340 St. Patrick Lane
Owners Post Office Address

Florida Springs, FL 33433

Beatrice A. Barber
Owners name

BEATRICE A. BARBER
Printed name

10325 St. Patrick Lane
Owners Post Office Address

Owners name

Printed name

Owners Post Office Address

Mary Murphy
Owners name

MARY MURPHY
Printed name

10251 St. Patrick's Ln
Owners Post Office Address

Owners name

Dennis Murphy
Owners name

DENNIS MURPHY
Printed name

10251 St. Patrick's Ln
Owners Post Office Address

DR 665 PG3579

DR 665 PG3580

Peggy A. Rotunno
Witness signature as to 1st Owner

Theresa Guarnieri
Owners name

Peggy A. Rotunno
Printed name

Theresa Guarnieri
Printed name

Albert L. Rotunno
Witness signature as to 1st owner

24801 Carnoustie Ct.
Owners Post Office Address

Albert L. Rotunno
Printed name

Bonita Springs

Peggy A. Rotunno
Witness signature as to 2nd Owner

John Guarnieri
Owners name

Peggy A. Rotunno
Printed name

John Guarnieri
Printed name

Albert L. Rotunno
Witness signature as to 2nd Owner

24801 Carnoustie Ct.
Owners Post Office Address

Albert L. Rotunno
Printed name

Bonita Spgs.

Peggy A. Rotunno
Witness signature as to 1st Owner

Eva M. Paige
Owners name

PEGGY A. ROTUNNO
Printed name

EVA M. PAIGE
Printed name

Albert L. Rotunno
Witness signature as to 1st Owner

24801 Paradise Rd.
Owners Post Office Address

Albert L. Rotunno
Printed name

Kenneth R. Paige
Owners name

Peggy A. Rotunno
Witness signature as to 2nd Owner

Kenneth R. Paige
Printed name

Peggy A. Rotunno
Printed name

24801 Paradise Rd.
Owners Post Office Address

Albert L. Rotunno
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

Carmela Capaldi
Witness signature as to 1st Owner

Albert L. Rotunno
Owners name

CARMELA CAPALDI
Printed name

Albert L. Rotunno
Printed name

Charlene Williams
Witness signature as to 1st Owner

24800 Carnoustie Ct. Bonita Springs
Owners Post Office Address

Charlene Williams
Printed name

Carmela Capaldi
Witness signature as to 2nd Owner

Peggy Ann Rotunno
Owners name

CARMELA CAPALDI
Printed name

Peggy Ann Rotunno
Printed name

Charlene Williams
Witness signature as to 2nd Owner

24800 Carnoustie Ct Bonita Springs
Owners Post Office Address

Charlene Williams
Printed name

OR2665 PG3581

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Charles Williams
Witness signature as to 1st owner

Charles Williams
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Charles Williams
Witness signature as to 2nd Owner

Charles Williams
Printed name

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Charles Williams
Witness signature as to 1st Owner

Charles Williams
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Charles Williams
Witness signature as to 2nd Owner

Charles Williams
Printed name

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Charles Williams
Witness signature as to 1st Owner

Charles Williams
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Charles Williams
Witness signature as to 2nd Owner

Charles Williams
Printed name

Joseph R. Catlin
Owners name

Joseph R. Catlin
Printed name

24815 - Justice Rd
Owners Post Office Address

Joseph Catlin
Owners name

Joseph Catlin
Printed name

24815 - Justice Rd
Owners Post Office Address

Sandy Kraft
Owners name

SANDY KRAFT
Printed name

10264 BOB WILD TURKEY AVE
Owners Post Office Address

Leonard S. Kraft
Owners name

LEONARD S. KRAFT
Printed name

Owners Post Office Address

Norma J. Houpe
Owners name

NORMA J. HOUBE
Printed name

25564 Fenner Circle
Owners Post Office Address

Vincent P. Parenti
Owners name

VINCENT PARENTI
Printed name

25564 Fenner Circle
Owners Post Office Address

OR2665 PG3582

Julia Michaels
Witness signature as to 1st Owner

Amber J. Uojala atty-in-fact for
Owners name Cyril J. Uojala

JULIA MICHAELS
Printed name

CYRIL J. UOJALA
Printed name

Beverly Banks
Witness signature as to 1st owner

24896 Carnoustie Ct.
Owners Post Office Address

Beverly Banks
Printed name

Amber J. Uojala
Owners name

Julia Michaels
Witness signature as to 2nd Owner

AMBER J. UOJALA
Printed name

JULIA MICHAELS
Printed name

24896 Carnoustie Ct.
Owners Post Office Address

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Beverly Banks
Witness signature as to 1st Owner

Andrew Oberstar
Owners name

Beverly Banks
Printed name

ANDREW OBERSTAR
Printed name

Charles Hill
Witness signature as to 1st Owner

35375 CARNVOUSTIE CT
Owners Post Office Address

Charlene Williams
Printed name

425341

Beverly Banks
Witness signature as to 2nd Owner

Marie Oberstar
Owners name

Beverly Banks
Printed name

MARIE OBERSTAR
Printed name

Charles Hill
Witness signature as to 2nd Owner

25375 CARNVOUSTIE CT
BENITA SPRINGS, FL
Owners Post Office Address

Charlene Williams
Printed name

Beverly Banks
Witness signature as to 1st Owner

Charles J. Dunbar
Owners name

Beverly Banks
Printed name

Charles J. Dunbar
Printed name

Charles Hill
Witness signature as to 1st Owner

10426 Wild Turkey Ave
Owners Post Office Address

Charlene Williams
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Hanna J. Dunbar
Owners name

Beverly Banks
Printed name

Hanna J. Dunbar
Printed name

Charles Hill
Witness signature as to 2nd Owner

10426 Wild Turkey Ave
Owners Post Office Address

Charlene Williams
Printed name

DR 665 PG3583

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Charles Will
Witness signature as to 1st owner

Charlene Williams
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Charles Will
Witness signature as to 2nd Owner

Charlene Williams
Printed name

James W Stewart
Owners name

JAMES W STEWART
Printed name

P.O. Box 293 Banta Spring FL 33959
Owners Post Office Address

Mal Stewart
Owners name

NOVA STEWART
Printed name

P.O. Box 293 Banta Spring FL 33959
Owners Post Office Address

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Charles Will
Witness signature as to 1st Owner

Charlene Williams
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Charles Will
Witness signature as to 2nd Owner

Charlene Williams
Printed name

Shirley Stewart
Owners name

Shirley Stewart
Printed name

25505 CARNEY Circle
Owners Post Office Address

Melvin M. Stewart
Owners name

MELVIN M. STEWART
Printed name

25505 CARNEY CIRCLE
Owners Post Office Address

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Charles Will
Witness signature as to 1st Owner

Charlene Williams
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Charles Will
Witness signature as to 2nd Owner

Charlene Williams
Printed name

Charles M Bartlett
Owners name

CHARLES M BARTLETT
Printed name

24945 CARNOUSTIE CT
Owners Post Office Address

Doris W. Bartlett
Owners name

DORIS W. BARTLETT
Printed name

24945 CARNOUSTIE CT
Owners Post Office Address

OR2665 PG3584

Peggy A. Rotunno
Witness signature as to 1st Owner

Peggy A. Rotunno
Printed name

Charles Williams
Witness signature as to 1st owner

Charles Williams
Printed name

Peggy A. Rotunno
Witness signature as to 2nd Owner

Peggy A. Rotunno
Printed name

Charles Williams
Witness signature as to 2nd Owner

Charles Williams
Printed name

Peggy A. Rotunno
Witness signature as to 1st Owner

Peggy A. Rotunno
Printed name

Charles Williams
Witness signature as to 1st Owner

Charles Williams
Printed name

Peggy A. Rotunno
Witness signature as to 2nd Owner

Peggy A. Rotunno
Printed name

Charles Williams
Witness signature as to 2nd Owner

Charles Williams
Printed name

Peggy A. Rotunno
Witness signature as to 1st Owner

Peggy A. Rotunno
Printed name

Charles Williams
Witness signature as to 1st Owner

Charles Williams
Printed name

Peggy A. Rotunno
Witness signature as to 2nd Owner

Peggy A. Rotunno
Printed name

Charles Williams
Witness signature as to 2nd Owner

Charles Williams
Printed name

William E. Nichols
Owners name

WILLIAM E. NICHOLS
Printed name

2476 CARMONA CT.
Owners Post Office Address

William E. Nichols
Owners name

William E. Nichols
Printed name

2476 CARMONA CT.
Owners Post Office Address

William E. Nichols
Owners name

William E. Nichols
Printed name

Andrew Somers
Owners name

ANDREW SOMERS
Printed name

25448 Cooney Circle
Brenta Springs F. 33923
Owners Post Office Address

Harold Somers
Owners name

Harold Somers
Printed name

25448 Cooney Circle
Owners Post Office/Address

Betty K. Schulte
Owners name

Betty K. Schulte
Printed name

24768 Carmona Ct
Owners Post Office Address

Harold M. Schulte
Owners name

Harold M. Schulte
Printed name

24768 Carmona Ct
Owners Post Office Address

Harold M. Schulte
Owners name

Harold M. Schulte
Printed name

24768 Carmona Ct
Owners Post Office Address

OR2665 PG3585

Alice Barr
Witness signature as to 1st Owner

ALICE BARR
Printed name

[Signature]
Witness signature as to 1st owner

ALFRED F BARR
Printed name

Alice Barr
Witness signature as to 2nd Owner

ALICE BARR
Printed name

[Signature]
Witness signature as to 2nd Owner

ALFRED F BARR
Printed name

Alice Barr
Witness signature as to 1st Owner

ALICE BARR
Printed name

[Signature]
Witness signature as to 1st Owner

ALFRED F. BARR
Printed name

~~Witness signature as to 2nd Owner~~

~~Printed name~~

~~Witness signature as to 2nd Owner~~

~~Printed name~~

Charles Williams
Witness signature as to 1st Owner

CHARLES WILLIAMS
Printed name

[Signature]
Witness signature as to 1st Owner

ROBERT H WILLIAMS
Printed name

Charles Williams
Witness signature as to 2nd Owner

CHARLES WILLIAMS
Printed name

[Signature]
Witness signature as to 2nd Owner

ROBERT H WILLIAMS
Printed name

J Herbert
Owners name

JOHN HERBERT
Printed name

25480 CARNEY CIRCLE
Owners Post Office Address

Denise Herbert
Owners name

DENISE HERBERT
Printed name

25480 CARNEY
Owners Post Office Address

J Herbert
Owners name

JOHN HERBERT
Printed name

25575 Fennell
Owners Post Office Address

~~Owners name~~

~~Printed name~~

~~Owners Post Office Address~~

Gordon Banks
Owners name

GORDON BANKS
Printed name

24781 CHEROKEE CT.
Owners Post Office Address

Amber J. Voyak
Owners name

Beverly Banks
Printed name

24781 CHEROKEE CT.
Owners Post Office Address

Amber J. Voyak
Owners name

Amber J. Voyak
Printed name

OFFICIAL NOTARY SEAL
AMBER J VOYAK
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC25253
MY COMMISSION EXPIRES MAR. 7, 1997

OFFICIAL NOTARY SEAL
AMBER J VOYAK
NOTARY PUBLIC STATE OF FLORIDA
COMMISSION NO. CC25253
MY COMMISSION EXPIRES MAR. 7, 1997

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, AND COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB AND FAIRWAY ESTATES

OR 2665 PG 3586

I (WE) _____ as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described as attached:

In witness whereof, the Owners (s) has/have signed and sealed these presents the 15th day of NOVEMBER, 1994.

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Amber J. Uojak
Witness signature as to 1st owner

AMBER J. UOJAK
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Amber J. Uojak
Witness signature as to 2nd Owner

AMBER J. UOJAK
Printed name

Charlene Williams
Witness signature as to 1st Owner

Charlene Williams
Printed name

Amber J. Uojak
Witness signature as to 1st Owner

Amber J. Uojak
Printed name

Charlene Williams
Witness signature as to 2nd Owner

Charlene Williams
Printed name

Amber J. Uojak
Witness signature as to 2nd Owner

Amber J. Uojak
Printed name

Nicklos Andronikos
Owners name

NICKLOS ANDRONIKOS
Printed name

24849 Carnoustie Ct. SE
Owners Post Office Address

Elizabeth Andronikos
Owners name

Elizabeth Andronikos
Printed name

24849 Carnoustie Ct. S.E.
Owners Post Office Address

William E Grant
Owners name

William E. GRANT
Printed name

24701 Paradise Rd
Owners Post Office Address

Margaret S Grant
Owners name

MARGARET S. GRANT
Printed name

24701 Paradise Rd
Owners Post Office Address

DR2665 PG3587

[Signature]
Witness signature as to 1st Owner

10347 Wild Turkey
Printed name

[Signature]
Witness signature as to 1st owner

[Signature]
Printed name

[Signature]
Witness signature as to 2nd Owner

Peggy A. Romano
Printed name

[Signature]
Witness signature as to 2nd Owner

[Signature]
Printed name

Larry McPhis
Owners name

LARRY McPhis
Printed name

10347 Wild Turkey
Owners Post Office Address

[Signature]
Owners name

Diane McPhis
Printed name

[Signature]
Owners Post Office Address

[Signature]
Witness signature as to 1st Owner

Peggy A. Romano
Printed name

[Signature]
Witness signature as to 1st Owner

DIANNA PRESSLER
Printed name

[Signature]
Witness signature as to 2nd Owner

Peggy A. Romano
Printed name

[Signature]
Witness signature as to 2nd Owner

[Signature]
Printed name

Virginia Pressler
Owners name

Pat & Virginia Pressler
Printed name

10300 W. H. Turkey Ave.
Owners Post Office Address

[Signature]
Owners name

Raul Pressler
Printed name

10300 W. H. Turkey
Owners Post Office Address

[Signature]
Witness signature as to 1st Owner

[Signature]
Printed name

[Signature]
Witness signature as to 1st Owner

Peggy A. Romano
Printed name

[Signature]
Witness signature as to 2nd Owner

[Signature]
Printed name

[Signature]
Witness signature as to 2nd Owner

Peggy A. Romano
Printed name

Mary M. Lynch
Owners name

Mary M Lynch
Printed name

10324 Wild Turkey
Owners Post Office Address

[Signature]
Owners name

Jane M. Lynch
Printed name

10324 Wild Turkey
Owners Post Office Address

OR 2665 PG 3588

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Gordon Banks
Witness signature as to 1st owner

GORDON BANKS
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Gordon Banks
Witness signature as to 2nd Owner

GORDON BANKS
Printed name

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Gordon Banks
Witness signature as to 1st Owner

Gordon L. Banks
Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Gordon Banks
Witness signature as to 1st Owner

GORDON BANKS
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Gordon Banks
Witness signature as to 2nd Owner

GORDON BANKS
Printed name

Ann Grant
Owners name

Ann Grant
Printed name

1000 9th St. N.E.
Owners Post Office Address

Charmaine Grant
Owners name

Charmaine Grant
Printed name

2400 9th St. N.E.
Owners Post Office Address

Charmaine Grant
Owners name

Charmaine Grant
Printed name

2400 9th St. N.E.
Owners Post Office Address

43415

Owners name

Printed name

Owners Post Office Address

Robert S Leathers
Owners name

Robert S Leathers
Printed name

10295 St Patrick Ln BOWEN SPRINGS 33923
Owners Post Office Address

Marcia Leathers
Owners name

MARCIA LEATHERS
Printed name

10295 ST PATRICK LN, BO. 33923
Owners Post Office Address

Peggy A. Rotunno
Witness signature as to 1st Owner

PEGGY A. ROTUNNO
Printed name

[Signature]
Witness signature as to 1st owner

Albert L. Rotunno
Printed name

Peggy A. Rotunno
Witness signature as to 2nd Owner

PEGGY A. ROTUNNO
Printed name

[Signature]
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

Thomas R. Kennedy
Owners name

Thomas R. Kennedy
Printed name

25197 Golf Lake Circle
Owners Post Office Address
ADDRESS OF LOT - 10398 WILD TURKEY AVE

Margaret A. Kennedy
Owners name

Margaret A. Kennedy
Printed name

25197 Golf Lake Circle
Owners Post Office Address
ADDRESS OF LOT - 10398 WILD TURKEY AVE

William E. Grant
Witness signature as to 1st Owner

WILLIAM E. GRANT
Printed name

Margaret S. Grant
Witness signature as to 1st Owner

MARGARET S. GRANT
Printed name

William E. Grant
Witness signature as to 2nd Owner

WILLIAM E. GRANT
Printed name

Margaret S. Grant
Witness signature as to 2nd Owner

MARGARET S. GRANT
Printed name

Carol Bradford
Owners name

CAROL BRADFORD
Printed name

30077 Paradise Rd.
Owners Post Office Address

Carol Bradford
Owners name

CAROL BRADFORD
Printed name

30077 Paradise Rd.
Owners Post Office Address

Witness signature as to 1st Owner

Owners name

Printed name

Printed name

Witness signature as to 1st Owner

Owners Post Office Address

Printed name

Witness signature as to 2nd Owner

Owners name

Printed name

Printed name

Witness signature as to 2nd Owner

Owners Post Office Address

Printed name

DR2665 PG3589

Albert A. Romano
Witness signature as to 1st Owner

Albert A. Romano
Printed name

Beverly Banks
Witness signature as to 1st owner

Beverly Banks
Printed name

[Signature]
Witness signature as to 2nd Owner

[Signature]
Printed name

[Signature]
Witness signature as to 2nd Owner

[Signature]
Printed name

Albert A. Romano
Witness signature as to 1st Owner

Albert A. Romano
Printed name

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Albert A. Romano
Witness signature as to 2nd Owner

Albert A. Romano
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Albert A. Romano
Witness signature as to 1st Owner

Albert A. Romano
Printed name

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Albert A. Romano
Witness signature as to 2nd Owner

Albert A. Romano
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Kevin R. Smith
Owners name

KEVIN R. SMITH
Printed name

34595 CARNOUSTIE CT.
Owners Post Office Address

[Signature]
Owners name

DOUGLAS R. HUBBES
Printed name

25456 CARNEY CIRCLE
Owners Post Office Address

[Signature]
Owners name

DOUGLAS R. HUBBES
Printed name

25456 CARNEY CIRCLE
Printed name

Owners Post Office Address

[Signature]
Owners name

25456 CARNEY CIRCLE
Printed name

Owners Post Office Address

[Signature]
Owners name

25456 CARNEY CIRCLE
Printed name

Owners Post Office Address

[Signature]
Owners name

25456 CARNEY CIRCLE
Printed name

Owners Post Office Address

[Signature]
Owners name

25456 CARNEY CIRCLE
Printed name

Owners Post Office Address

OR 665 PG3590

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, AND COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB AND FAIRWAY ESTATES

DR 665 PG3591

I (WE) _____ as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described as attached:

In witness whereof, the Owners (s) has/have signed and sealed these presents the _____ day of _____, 19____.

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Charles G. Rotunno
Witness signature as to 1st owner

Peggy A. Rotunno
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Charles G. Rotunno
Witness signature as to 2nd Owner

Peggy A. Rotunno
Printed name

Barbara LaPorta
Owners name

BARBARA LA PORTA
Printed name

24961 CARNOUSTIE CT
Owners Post Office Address

Carlo LaPorta
Owners name

CARLO LA PORTA
Printed name

24961 CARNOUSTIE CT
Owners Post Office Address

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Charles G. Rotunno
Witness signature as to 1st Owner

Peggy A. Rotunno
Printed name

Charles G. Rotunno
Witness signature as to 2nd Owner

Peggy A. Rotunno
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Gail Miller
Owners name

Gail A. Miller
Printed name

24961 Carnoustie
Owners Post Office Address

Mary M. Miller
Owners name

Mary M. Miller
Printed name

24961 Carnoustie Ct
Owners Post Office Address

William E Grant
Witness signature as to 1st Owner

William E Grant
Printed name

Margaret S Grant
Witness signature as to 1st owner

MARGARET S GRANT
Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

William E Grant
Witness signature as to 1st Owner

William E Grant
Printed name

Margaret S Grant
Witness signature as to 1st Owner

MARGARET S GRANT
Printed name

William E Grant
Witness signature as to 2nd Owner

William E Grant
Printed name

Margaret S Grant
Witness signature as to 2nd Owner

MARGARET S GRANT
Printed name

Raymond A. Paterson
Witness signature as to 1st Owner

Raymond A. Paterson
Printed name

Reverly Banks
Witness signature as to 1st Owner

Reverly Banks
Printed name

Raymond A. Paterson
Witness signature as to 2nd Owner

Raymond A. Paterson
Printed name

Reverly Banks
Witness signature as to 2nd Owner

Reverly Banks
Printed name

Douglas B. Foster
Owners name

Douglas B. Foster
Printed name

25069 PARADISE RD BONITA SPRS
Owners Post Office Address FL 33923

Owners name

Printed name

Owners Post Office Address

Ricky L. Hale
Owners name

RICKY L. HALE
Printed name

24881 PARADISE RD
Owners Post Office Address

Bonita Spgs.
FL 33923

Sharon L. Hale
Owners name

SHARON L. HALE
Printed name

24881 PARADISE RD BONITA SPRS
Owners Post Office Address

FL 33923

Edward L. Bell
Owners name

Edward L. Bell
Printed name

Box 59 CHR 419 HI AE 09058
Owners Post Office Address

25416 Calmar, Calmar

Leonard R. O'Brien
Owners name

LEONARD R. O'Brien
Printed name

CHR 419, BOX 1591, APO AE 09102
Owners Post Office Address

DR 665 PG 3592

Tom Dalton

Witness signature as to 1st Owner

Printed name

Kenneth S. Gatchell
Witness signature as to 1st owner

KENNETH S. GATCHELL
Printed name

Witness signature as to 2nd Owner

Printed name

Kenneth S. Gatchell
Witness signature as to 2nd Owner

KENNETH S. GATCHELL
Printed name

Witness signature as to 1st Owner

Printed name

Witness signature as to 1st Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 1st Owner

Printed name

Witness signature as to 1st Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Owners name

Printed name

Owners Post Office Address

Owners name

Printed name

Owners Post Office Address

Owners name

Printed name

Owners Post Office Address

Owners name

Printed name

Owners Post Office Address

Owners name

Printed name

Owners Post Office Address

Owners name

Printed name

Owners Post Office Address

DR-665 PG3593

DR 665 PG 3594

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Beverly Banks
Witness signature as to 1st owner

BEVERLY BANKS
Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Beverly Banks
Witness signature as to 1st Owner

BEVERLY BANKS
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Beverly Banks
Witness signature as to 2nd Owner

BEVERLY BANKS
Printed name

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Beverly Banks
Witness signature as to 1st Owner

BEVERLY BANKS
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Beverly Banks
Witness signature as to 2nd Owner

BEVERLY BANKS
Printed name

Marilyn Otto
Owners name

MARYLYN OTTO
Printed name

10301 Wild Turkey
Owners Post Office Address

Owners name

Printed name

Owners Post Office Address

Royal P Taylor
Owners name

ROYAL P. TAYLOR
Printed name

10335 ST. PATRICK LANE
Owners Post Office Address

Marilyn C. Taylor
Owners name

MARILYN C. TAYLOR
Printed name

10335 ST. PATRICK LANE
Owners Post Office Address

George Syring
Owners name

GEORGE J. SYRING
Printed name

10278 WILD TURKEY AV.
Owners Post Office Address

Elizabeth Syring
Owners name

ELIZABETH SYRING
Printed name

10278 WILD TURKEY AV.
Owners Post Office Address

Witness signature as to 1st Owner
Printed name

Witness signature as to 1st owner
Printed name

Witness signature as to 2nd Owner
Printed name

Witness signature as to 2nd Owner
Printed name

Witness signature as to 1st Owner
Printed name

Witness signature as to 1st Owner
Printed name

Witness signature as to 2nd Owner
Printed name

Witness signature as to 2nd Owner
Printed name

Witness signature as to 1st Owner
Printed name

Witness signature as to 1st Owner
Printed name

Witness signature as to 2nd Owner
Printed name

Witness signature as to 2nd Owner
Printed name

Sheila Barela
Owners name
Printed name

25571 Fenner Circle, Bonita Springs
Owners Post Office Address

Michael Sierts
Owners name
Printed name

25571 Fenner Circle Bonita Springs
Owners Post Office Address

Owners name
Printed name

10338 WILD TURKEY
Owners Post Office Address

Carmelle Martel
Owners name
Printed name

10338 WILD TURKEY
Owners Post Office Address

Owners name
Printed name

10312 ST. PATRICK LANE
Owners Post Office Address

Christine A. Kutz
Owners name
Printed name

10312 ST. PATRICK LANE
Owners Post Office Address

DR 2665 P63595

OR 665 PG3597

George A. Rotunno
Witness signature as to 1st Owner

George A. Rotunno
Printed name

Albert L. Rotunno
Witness signature as to 1st owner

Albert L. Rotunno
Printed name

George A. Rotunno
Witness signature as to 2nd Owner

George A. Rotunno
Printed name

Albert L. Rotunno
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

George A. Rotunno
Witness signature as to 1st Owner

George A. Rotunno
Printed name

Albert L. Rotunno
Witness signature as to 1st Owner

Albert L. Rotunno
Printed name

George A. Rotunno
Witness signature as to 2nd Owner

George A. Rotunno
Printed name

Albert L. Rotunno
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

George A. Rotunno
Witness signature as to 1st Owner

George A. Rotunno
Printed name

Albert L. Rotunno
Witness signature as to 1st Owner

Albert L. Rotunno
Printed name

George A. Rotunno
Witness signature as to 2nd Owner

George A. Rotunno
Printed name

Albert L. Rotunno
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

Douglas G. Hempstead
Owners name

Douglas G. Hempstead
Printed name

24783 Paradise Rd.
Owners Post Office Address

Mary M. Hempstead
Owners name

MARY M. Hempstead
Printed name

24783 Paradise Rd.
Owners Post Office Address

Robert Macker
Owners name

ROBERT MACKER
Printed name

24769 PARADISE RD
Owners Post Office Address

Mary Macker
Owners name

MARY MACKER
Printed name

24769 PARADISE RD.
Owners Post Office Address

Richard F. Herbst
Owners name

Richard F. Herbst
Printed name

10301 St Patrick Lane
Owners Post Office Address

Agnes M. Herbst
Owners name

Agnes M. Herbst
Printed name

10301 St Patrick Lane
Owners Post Office Address

Peggy A. Rotunno
Witness signature as to 1st Owner

PEGGY A. ROTUNNO
Printed name

[Signature]
Witness signature as to 1st owner

[Signature]
Printed name

Peggy A. Rotunno
Witness signature as to 2nd Owner

PEGGY A. ROTUNNO
Printed name

[Signature]
Witness signature as to 2nd Owner

[Signature]
Printed name

Peggy A. Rotunno
Witness signature as to 1st Owner

PEGGY A. ROTUNNO
Printed name

[Signature]
Witness signature as to 1st Owner

ALBERT L. ROTUNNO
Printed name

Peggy A. Rotunno
Witness signature as to 2nd Owner

PEGGY A. ROTUNNO
Printed name

[Signature]
Witness signature as to 2nd Owner

ALBERT L. ROTUNNO
Printed name

Peggy A. Rotunno
Witness signature as to 1st Owner

PEGGY A. ROTUNNO
Printed name

[Signature]
Witness signature as to 1st Owner

ALBERT L. ROTUNNO
Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Lawrence Marentette
Owners name

LAWRENCE MARENTETTE
Printed name

24979 PARADISE RD
Owners Post Office Address

Owners name

KAE L. MARENTETTE
Owners name

KAE L. MARENTETTE
Printed name

24979 PARADISE RD.
Owners Post Office Address

Owners name

Anthony Ferlazzo
Owners name

ANTHONY FERLAZZO
Printed name

25579 FENNER CR.
Owners Post Office Address

Owners name

MaryAnn Ferlazzo
Owners name

MARYANN FERLAZZO
Printed name

25579 Fenner Circle
Owners Post Office Address

Owners name

Beverly G. Duggan
Owners name

BEVERLY A. DUGGAN
Printed name

25583 FENNER CIRCLE
Owners Post Office Address

Owners name

Printed name

Owners Post Office Address

OR 665 PG3598

[Signature]
Witness signature as to 1st Owner

[Signature]
Printed name

[Signature]
Witness signature as to 1st owner

[Signature]
Printed name

[Signature]
Witness signature as to 2nd Owner

[Signature]
Printed name

[Signature]
Witness signature as to 2nd Owner

[Signature]
Printed name

[Signature]
Witness signature as to 1st Owner

FLOYD FETSCH
Printed name

[Signature]
Witness signature as to 1st Owner

ORIELDA FETSCH
Printed name

[Signature]
Witness signature as to 2nd Owner

FLOYD FETSCH
Printed name

[Signature]
Witness signature as to 2nd Owner

ORIELDA FETSCH
Printed name

[Signature]
Witness signature as to 1st Owner

[Signature]
Printed name

[Signature]
Witness signature as to 1st Owner

[Signature]
Printed name

[Signature]
Witness signature as to 2nd Owner

[Signature]
Printed name

[Signature]
Witness signature as to 2nd Owner

[Signature]
Printed name

[Signature]
Owners name

R. STEPHEN FETSCH
Printed name

1025 EMOCH LANE
Owners Post Office Address

[Signature]
Owners name

MARY E. FETSCH
Printed name

1025 EMOCH LANE
Owners Post Office Address

[Signature]
Owners name

Thomas L. Kirk
Printed name

12347 ENOK LANE
Owners Post Office Address

[Signature]
Owners name

Pamela S Kirk
Printed name

10247 ENOK LN.
Owners Post Office Address

[Signature]
Owners name

[Signature]
Printed name

[Signature]
Owners Post Office Address

[Signature]
Owners name

[Signature]
Printed name

[Signature]
Owners Post Office Address

DR 665 PG3599

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, AND COVENANTS
OF BONITA SPRINGS GOLF AND COUNTRY CLUB AND FAIRWAY ESTATES

I (WE) _____ as owners of
real property in the subdivisions known as BONITA SPRINGS GOLF AND
COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby
evidence our desire to change the Deed of Restrictions, Reserva-
tions, and Covenants herein described as attached:

In witness whereof, the Owners (s) has/have signed and sealed these
presents the _____ day of _____, 19_____.

DR 665 PG3600

Gregory A. Rotunno
Witness signature as to 1st Owner

PEGGY A. ROTUNNO
Printed name

[Signature]
Witness signature as to 1st owner

Albert L. Rotunno
Printed name

Gregory A. Rotunno
Witness signature as to 2nd Owner

PEGGY A. ROTUNNO
Printed name

[Signature]
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

Floyd E. Fettsch
~~FLOYD E. FETTSCH~~
Owners name

FLOYD E. FETTSCH
Printed name

10248 EPOCH LAKE
Owners Post Office Address

Orielda M. Fettsch
Owners name

ORIELDA M. FETTSCH
Printed name

10248 EPOCH LN.
Owners Post Office Address

[Signature]
Witness signature as to 1st Owner

FLOYD FETTSCH
Printed name

[Signature]
Witness signature as to 1st Owner

ORIELDA FETTSCH
Printed name

[Signature]
Witness signature as to 2nd Owner

FLOYD FETTSCH
Printed name

[Signature]
Witness signature as to 2nd Owner

ORIELDA FETTSCH
Printed name

Thomas E. Teetmeyer
Owners name

THOMAS E. TEETMEYER
Printed name

10280 EPOCH LN
Owners Post Office Address

[Signature]
Owners name

Susette L. Teetmeyer
Printed name

10280 EPOCH LAKE
Owners Post Office Address

Peggy A. Rotunno
Witness signature as to 1st Owner

PEGGY A. ROTUNNO
Printed name

Albert L. Rotunno
Witness signature as to 1st owner

Albert L. Rotunno
Printed name

Peggy A. Rotunno
Witness signature as to 2nd Owner

PEGGY A. ROTUNNO
Printed name

Albert L. Rotunno
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

Albert L. Rotunno
Witness signature as to 1st Owner

Albert L. Rotunno
Printed name

Peggy A. Rotunno
Witness signature as to 1st Owner

PEGGY A. ROTUNNO
Printed name

Albert L. Rotunno
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

Peggy A. Rotunno
Witness signature as to 2nd Owner

PEGGY A. ROTUNNO
Printed name

Peggy A. Rotunno
Witness signature as to 1st Owner

PEGGY A. ROTUNNO
Printed name

Albert L. Rotunno
Witness signature as to 1st Owner

Albert L. Rotunno
Printed name

Peggy A. Rotunno
Witness signature as to 2nd Owner

PEGGY A. ROTUNNO
Printed name

Albert L. Rotunno
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

Peter Dutko
Owners name

PETER DUTKO
Printed name

1368 Wild Turkey Ave
Owners Post Office Address

Janet E. Dutko
Owners name

JANET E. DUTKO
Printed name

10368 Wild Turkey Ave.
Owners Post Office Address

Virginia Post
Owners name

VIRGINIA POST
Printed name

10312 St. Patrick Ln.
Owners Post Office Address

Juane Post
Owners name

JUANE POST
Printed name

10312 St. Patrick Ln.
Owners Post Office Address

Juane Post
Owners name

JUANE POST
Printed name

10312 St. Patrick Ln.
Owners Post Office Address

John F. Shea
Owners name

John F. Shea
Printed name

25205 Carmichael Ct
Owners Post Office Address

Elizabeth J. Shea
Owners name

ELIZABETH J. SHEA
Printed name

25205 Carmichael Ct.
Owners Post Office Address

Elizabeth J. Shea
Owners name

ELIZABETH J. SHEA
Printed name

25205 Carmichael Ct.
Owners Post Office Address

DR2665 PG3601

Peggy G. Rotunno
Witness signature as to 1st Owner

PEGGY A. ROTUNNO
Printed name

Albert L. Rotunno
Witness signature as to 1st owner

Albert L. Rotunno
Printed name

Peggy G. Rotunno
Witness signature as to 2nd Owner

PEGGY A. ROTUNNO
Printed name

Albert L. Rotunno
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

Peggy G. Rotunno
Witness signature as to 1st Owner

PEGGY A. ROTUNNO
Printed name

Albert L. Rotunno
Witness signature as to 1st Owner

Albert L. Rotunno
Printed name

Peggy G. Rotunno
Witness signature as to 2nd Owner

PEGGY A. ROTUNNO
Printed name

Albert L. Rotunno
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

Peggy G. Rotunno
Witness signature as to 1st Owner

PEGGY A. ROTUNNO
Printed name

Albert L. Rotunno
Witness signature as to 1st Owner

Albert L. Rotunno
Printed name

Peggy G. Rotunno
Witness signature as to 2nd Owner

PEGGY A. ROTUNNO
Printed name

Albert L. Rotunno
Witness signature as to 2nd Owner

Albert L. Rotunno
Printed name

James R Hepokosti
Owners name

JAMES R Hepokosti
Printed name

25401 CARNEY Circle
Owners Post Office Address

Jean E Hepokosti
Owners name

Jean E Hepokosti
Printed name

25401 Carney Circle
Owners Post Office Address

Mary A. Derbick
Owners name

MARY A. DERBICK
Printed name

25556 FENNER CR.
Owners Post Office Address

Richard L. Derbick
Owners name

RICHARD L. DERBICK
Printed name

25556 FENNER CR.
Owners Post Office Address

David A Bukowski
Owners name

David A Bukowski
Printed name

25563 Fenner Circle Bonita Sp. 33923
Owners Post Office Address

Shelly Bukowski
Owners name

Shelly Bukowski
Printed name

25563 Fenner Circle Bonita Springs 33923
Owners Post Office Address

DR2665 PG3602

DR 665 PG3603

Sally K Kelly
Witness signature as to 1st Owner

SALLY K KELLY
Printed name

Eugene J Kelly Jr
Witness signature as to 1st owner

EUGENE J. Kelly Jr
Printed name

Sally K Kelly
Witness signature as to 2nd Owner

SALLY K. KELLY
Printed name

Eugene J Kelly Jr
Witness signature as to 2nd Owner

EUGENE J Kelly Jr
Printed name

Joseph H Mondry
Owners name

JOSEPH H MONDRY
Printed name

8951 Bonita Beach Rd Ste 525
Owners Post Office Address
(25163 PARADISE RD)

Kathryn M Mondry
Owners name

KATHRYN M. MONDRY
Printed name

8951 BONITA BEACH RD. #525
Owners Post Office Address
(25163 PARADISE RD)

Joseph H Mondry
Witness signature as to 1st Owner

JOSEPH H MONDRY
Printed name

Kathryn M Mondry
Witness signature as to 1st Owner

KATHRYN M. MONDRY
Printed name

Joseph H Mondry
Witness signature as to 2nd Owner

JOSEPH H MONDRY
Printed name

Kathryn M Mondry
Witness signature as to 2nd Owner

KATHRYN M. MONDRY
Printed name

Sally K Kelly
Owners name

SALLY K KELLY
Printed name

25067 CARNEGIE CT
Owners Post Office Address

Eugene J Kelly Jr
Owners name

EUGENE J. Kelly Jr
Printed name

25067 CARNEGIE CT
Owners Post Office Address

Donald C. Ferrell
Witness signature as to 1st Owner

DONALD C. FERRELL
Printed name

Madelaine M. Ferrell
Witness signature as to 1st Owner

Madelaine M. Ferrell
Printed name

Donald C. Ferrell
Witness signature as to 2nd Owner

DONALD C. FERRELL
Printed name

Madelaine M. Ferrell
Witness signature as to 2nd Owner

Madelaine M. Ferrell
Printed name

Victoria M. Howis
Owners name

VICTORIA M. HOWIS
Printed name

10317 ST PATRICK LANE
Owners Post Office Address

Victoria M. Howis
Owners name

Victoria M. Howis
Printed name

10317 ST PATRICK LANE
Owners Post Office Address

Curtis B Hill
Witness signature as to 1st Owner

CURTIS B. HILL
Printed name

Beverly Banks
Witness signature as to 1st owner

Beverly Banks
Printed name

Constance Hill
Witness signature as to 2nd Owner

Constance Hill
Printed name

Gordon Banks
Witness signature as to 2nd Owner

GORDON BANKS
Printed name

Janice E. Nixon
Witness signature as to 1st Owner

JANICE E. NIXON
Printed name

George V. Nixon Jr
Witness signature as to 1st Owner

George V. Nixon Jr
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Gordon Banks
Witness signature as to 2nd Owner

GORDON BANKS
Printed name

Fred G. Kimball
Witness signature as to 1st Owner

FRED G. KIMBALL
Printed name

Raymond R Bishop
Witness signature as to 1st Owner

RAYMOND R. Bishop
Printed name

Theresa M. Bishop
Witness signature as to 2nd Owner

THERESA M. Bishop
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Robert E Connolly
Owners name

ROBERT E CONNOLLY
Printed name

25464 CARNEY CIRCLE
Owners Post Office Address

BONITA SPRINGS, FL 33923

Carol J Connolly
Owners name

Carol J. Connolly
Printed name

25464 Carney Cir
Owners Post Office Address

Bonita Spgs, FL 33923

CURTIS B & CONSTANCE HILL
Owners name

Curtis B Hill
Printed name

10288 WILD TURKEY AVE
Owners Post Office Address

BONITA SPRINGS, FL 33923

Constance Hill
Owners name

CONSTANCE Y. HILL
Printed name

10288 WILD TURKEY AVE
Owners Post Office Address

BONITA SPRINGS, FL 33923

George V. Nixon Jr
Owners name

George V. Nixon Jr.
Printed name

10350 St. PATRICKS LN
Owners Post Office Address

Bonita Springs FL 33923

Janice E. Nixon
Owners name

JANICE E. NIXON
Printed name

10350 St. PATRICKS LN
Owners Post Office Address

DR2665 PG3604

OR2665 PG3605

Beverly Banks
Witness signature as to 1st Owner

Robert H. Williams
Owners name

Beverly Banks
Printed name

Robert H. Williams
Printed name

Judy Schoch
Witness signature as to 1st owner

24865 Cornwell Trl Ct
Owners Post Office Address

Judy Schoch
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Evelyn R. Williams
Owners name

Beverly Banks
Printed name

EVELYN R. WILLIAMS
Printed name

Gordon Banks
Witness signature as to 2nd Owner

24865 Cornwell - Ct.
Owners Post Office Address

GORDON BANKS
Printed name

Beverly Banks
Witness signature as to 1st Owner

Donald C. Ferrell
Owners name

Beverly Banks
Printed name

DONALD C. FERRELL
Printed name

Gordon Banks
Witness signature as to 1st Owner

10348 ST. PATRICKS LN.
Owners Post Office Address

GORDON BANKS
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Madeline M. Ferrell
Owners name

Beverly Banks
Printed name

Madeline M. Ferrell
Printed name

Gordon Banks
Witness signature as to 2nd Owner

10348 St. Patrick Lane
Owners Post Office Address

GORDON BANKS
Printed name

Beverly Banks
Witness signature as to 1st Owner

Audrey J. Beatty
Owners name

Beverly Banks
Printed name

AUDREY J. BEATTY
Printed name

Gordon Banks
Witness signature as to 1st Owner

25141 PARADISE RD
Owners Post Office Address

GORDON BANKS
Printed name

~~Witness signature as to 2nd Owner~~

~~Owners name~~

~~Printed name~~

~~Printed name~~

~~Witness signature as to 2nd Owner~~

~~Owners Post Office Address~~

~~Printed name~~

J. Herber
Witness signature as to 1st Owner

JOHN HERBERY
Printed name

James W. Yingling
Witness signature as to 1st owner

JAMES W. YINGLING
Printed name

J. Herber
Witness signature as to 2nd Owner

JOHN HERBERY
Printed name

James W. Yingling
Witness signature as to 2nd Owner

JAMES W. YINGLING
Printed name

ALFRED F. BARR
Owners name

Alfred F. Barr
Printed name

25488 CARNEY CIRCLE S.E.
Owners Post Office Address
BRITA SP. FL 33923

ALICE BARR
Owners name

Alice Barr
Printed name

SAME AS ABOVE
Owners Post Office Address

Jean S. McCall
Witness signature as to 1st Owner

JEAN S. MCCALL
Printed name

Brandon W. Callery
Witness signature as to 1st Owner

BRANDON W. CALLERY
Printed name

Jean S. McCall
Witness signature as to 2nd Owner

JEAN S. MCCALL
Printed name

Brandon W. Callery
Witness signature as to 2nd Owner

BRANDON W. CALLERY
Printed name

Brandon W. Callery
Owners name

BRANDON W. CALLERY
Printed name

25432 Carney Circle
Owners Post Office Address
Brita Springs, FL 33925

Brandon W. Callery
Owners name

Brandon W. Callery
Printed name

25432 Carney Circle
Owners Post Office Address
Brita Springs, FL 33925

Vilma Lukosavich
Witness signature as to 1st Owner

VILMA LUKOSAVICH
Printed name

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Ella N. Grant
Owners name

ELLA N. GRANT
Printed name

24981 Carsonville Ct.
Owners Post Office Address

~~_____
Owners name~~

~~_____
Printed name~~

~~_____
Owners Post Office Address~~

OR2665 PG3606

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, AND COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB AND FAIRWAY ESTATES

DR2665 PG3607

I (WE) _____ as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described as attached:

In witness whereof, the Owners (s) has/have signed and sealed these presents the _____ day of _____, 19_____.

Charlene Williams
Witness signature as to 1st Owner

Charlene Williams
Printed name

Amber J. Vojak
Witness signature as to 1st owner

Amber J. Vojak
Printed name

Charlene Williams
Witness signature as to 2nd Owner

Charlene Williams
Printed name

Amber J. Vojak
Witness signature as to 2nd Owner

Amber J. Vojak
Printed name

William O Largent
Owners name

WILLIAM O. LARGEN
Printed name

2517 Paradise Rd
Owners Post Office Address

Edith D. Largent
Owners name

Edith D. Largent
Printed name

2517 Paradise Rd.
Owners Post Office Address

Charlene Williams
Witness signature as to 1st Owner

Charlene Williams
Printed name

Amber J. Vojak
Witness signature as to 1st Owner

Amber J. Vojak
Printed name

~~Witness signature as to 2nd Owner~~

~~Printed name~~

~~Witness signature as to 2nd Owner~~

~~Printed name~~

Irene G. Nielsen
Owners name

Irene G. Nielsen
Printed name

10425 Wood Ave. Apt.
Owners Post Office Address

also own 10468 Wood Ave

~~Owners name~~

~~Printed name~~

~~Owners Post Office Address~~

OR2665 PG3608

Charles Williams
Witness signature as to 1st Owner

Charles Williams
Printed name

Amber J. Vojak
Witness signature as to 1st owner

Amber J. Vojak
Printed name

Charles Williams
Witness signature as to 2nd Owner

Char Williams
Printed name

Amber J. Vojak
Witness signature as to 2nd Owner

Amber J. Vojak
Printed name

Amber J. Vojak
Witness signature as to 1st Owner

Amber J. Vojak
Printed name

Charles Williams
Witness signature as to 1st Owner

Charlene Williams
Printed name

~~Witness signature as to 2nd Owner~~

~~Printed name~~

~~Witness signature as to 2nd Owner~~

~~Printed name~~

Charles Williams
Witness signature as to 1st Owner

Charlene Williams
Printed name

Amber J. Vojak
Witness signature as to 1st Owner

Amber J. Vojak
Printed name

Charles Williams
Witness signature as to 2nd Owner

Charlene Williams
Printed name

Amber J. Vojak
Witness signature as to 2nd Owner

Amber J. Vojak
Printed name

Lynne Cady
Owners name

Lynne Cady
Printed name

10277 Wild Turkey
Owners Post Office Address

Doris M. Cady
Owners name

Doris M. Cady
Printed name

10277 Wild Turkey
Owners Post Office Address

Edith K. Willette
Owners name

Edith Willette
Printed name

24651 Paradise Rd.
Owners Post Office Address

~~Owners name~~

~~Printed name~~

~~Owners Post Office Address~~

Marylee Putman
Owners name

Marylee Putman
Printed name

24700 Carnoustie Ct
Owners Post Office Address

Ken Putman
Owners name

Ken Putman
Printed name

24700 Carnoustie Ct
Owners Post Office Address

DR2665 PG3609

Charles Williams
Witness signature as to 1st Owner

Charlene Williams
Printed name

Amber J. Vojak
Witness signature as to 1st owner

Amber J. Vojak
Printed name

Charles Williams
Witness signature as to 2nd Owner

Charlene Williams
Printed name

Amber J. Vojak
Witness signature as to 2nd Owner

Amber J. Vojak
Printed name

m. J. Hamilton
Owners name

LEWIS Hamilton
Printed name

24915 Carnoustie Ct.
Owners Post Office Address

Phyllis M. Hamilton
Owners name

Phyllis M. Hamilton
Printed name

24915 Carnoustie Ct.
Owners Post Office Address

Jeanette L. Singer
Witness signature as to 1st Owner

Jeanette L. Singer
Printed name

Amber J. Vojak
Witness signature as to 1st Owner

Amber J. Vojak
Printed name

Jeanette L. Singer
Witness signature as to 2nd Owner

Jeanette L. Singer
Printed name

Amber J. Vojak
Witness signature as to 2nd Owner

Amber J. Vojak
Printed name

Albert H. Williams
Owners name

Albert H. Williams
Printed name

24734 Carnoustie
Owners Post Office Address

Charles Williams
Owners name

Charlene Williams
Printed name

24734 Carnoustie Ct.
Owners Post Office Address

Amber J. Vojak
Witness signature as to 1st Owner

Amber J. Vojak
Printed name

Charles Williams
Witness signature as to 1st Owner

Charlene Williams
Printed name

Charles Williams
Witness signature as to 2nd Owner

Charlene Williams
Printed name

Amber J. Vojak
Witness signature as to 2nd Owner

Amber J. Vojak
Printed name

LaVon A. Thinner
Owners name

LaVon A. Thinner
Printed name

25496 CARNEY CIRCLE
Owners Post Office Address

Robert Thinner
Owners name

Robert Thinner
Printed name

25496 Carney Circle
Owners Post Office Address

Katy Jorgensen
Witness signature as to 1st Owner
KATY JORGENSEN
Printed name

Van Jorgensen
Witness signature as to 1st owner
DAN JORGENSEN
Printed name

Katy Jorgensen
Witness signature as to 2nd Owner
KATY JORGENSEN
Printed name

Van Jorgensen
Witness signature as to 2nd Owner
DAN JORGENSEN
Printed name

Jack L. White
Owners name
JACK L WHITE
Printed name
24707 CARNOUSTIE CT
Owners Post Office Address
BONITA SPRINGS FLA

MARY C. WHITE
Owners name
MARY C. White
Printed name
24707 CARNOUSTIE CT.
Owners Post Office Address

OR2665 PG3610

Mary C. White
Witness signature as to 1st Owner
MARY C. WHITE
Printed name

Jack L. White
Witness signature as to 1st Owner
JACK L. WHITE
Printed name

Mary C. White
Witness signature as to 2nd Owner
MARY C. WHITE
Printed name

Jack L. White
Witness signature as to 2nd Owner
JACK L WHITE
Printed name

Van Jorgensen
Owners name
DAN JORGENSEN
Printed name
24999 CARNOUSTIE
Owners Post Office Address

Katy Jorgensen
Owners name
KATY JORGENSEN
Printed name
24999 CARNOUSTIE
Owners Post Office Address
also 25000 Carnoustie

Eugene Kelly Jr.
Witness signature as to 1st Owner
EUGENE J. Kelly Jr.
Printed name

Beverly Banks
Witness signature as to 1st Owner
Beverly Banks
Printed name

Witness signature as to 2nd Owner
Printed name

Witness signature as to 2nd Owner
Printed name

R. Avoelle Shaw
Owners name
R. Avoelle SHAW
Printed name
10276 ST. PATRICK LN.
Owners Post Office Address

Owners name

Printed name
Owners Post Office Address

AMENDMENT TO THE DEED OF RESTRICTIONS, RESERVATIONS, AND COVENANTS OF BONITA SPRINGS GOLF AND COUNTRY CLUB AND FAIRWAY ESTATES

OR2665 PG36111

I (WE) _____ as owners of real property in the subdivisions known as BONITA SPRINGS GOLF AND COUNTRY CLUB and FAIRWAY ESTATES, Lee County, Florida, do hereby evidence our desire to change the Deed of Restrictions, Reservations, and Covenants herein described as attached:

In witness whereof, the Owners (s) has/have signed and sealed these presents the _____ day of _____, 19_____.

[Signature]
Witness signature as to 1st Owner
JAMES W. YOUNGBLOND
Printed name

[Signature]
Owners name
GRAYDON M'COLLEY
Printed name

[Signature]
Witness signature as to 1st owner
MARY T. YOUNGBLOND
Printed name

25408 CARMET CIRCLE
Owners Post Office Address

[Signature]
Witness signature as to 2nd Owner
JAMES W. YOUNGBLOND
Printed name

[Signature]
Owners name
JEAN S. Mc Colley
Printed name

[Signature]
Witness signature as to 2nd Owner
MARY T. YOUNGBLOND
Printed name

25408 Carmet Circle
Owners Post Office Address

[Signature]
Witness signature as to 1st Owner
GRAYDON M'COLLEY
Printed name

[Signature]
Owners name
JAMES W. YOUNGBLOND
Printed name

[Signature]
Witness signature as to 1st Owner
JEAN S. Mc Colley
Printed name

25424 CARMET CIR
Owners Post Office Address

[Signature]
Witness signature as to 2nd Owner
GRAYDON M'COLLEY
Printed name

[Signature]
Owners name
MARY T. YOUNGBLOND
Printed name

[Signature]
Witness signature as to 2nd Owner
JEAN S. Mc Colley
Printed name

25424 Carmet Cir
Owners Post Office Address

DR2665 PG3612

Joseph A Carter
Witness signature as to 1st Owner

DOROTHY D. CARTER
Printed name

Ralph W. Carter
Witness signature as to 1st owner

RALPH W. CARTER
Printed name

Jean M. Fortier
Witness signature as to 2nd Owner

JEAN M. FORTIER
Printed name

Witness signature as to 2nd Owner

Printed name

Joseph A Carter
Witness signature as to 1st Owner

DOROTHY D. CARTER
Printed name

Ralph W. Carter
Witness signature as to 1st Owner

RALPH W. CARTER
Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Jean M. Fortier
Witness signature as to 1st Owner

JEAN M. FORTIER
Printed name

Louis A. Capaldi
Witness signature as to 1st Owner

LOUIS A. CAPALDI
Printed name

Jean M. Fortier
Witness signature as to 2nd Owner

JEAN M. FORTIER
Printed name

Louis A. Capaldi
Witness signature as to 2nd Owner

LOUIS A. CAPALDI
Printed name

Jean M. Fortier
Owners name

JEAN M. FORTIER
Printed name

24880 CARNOUSTIE CT
Owners Post Office Address

Ralph W. Carter
Witness signature

Joseph A Carter
Owners name

RALPH W. CARTER
DOROTHY D. CARTER
Printed name

24850 CARNOUSTIE CT. B.S. 7233923
Owners Post Office Address

Printed name

Jean M. Fortier
Owners name

JEAN M. FORTIER
Printed name

24880 CARNOUSTIE CT
Owners Post Office Address

Owners name

Printed name

Owners Post Office Address

Printed name

Ralph W. Carter
Owners name

RALPH W. CARTER
Printed name

24850 CARNOUSTIE CT
Owners Post Office Address

Owners name

Joseph A Carter
Owners name

DOROTHY D. CARTER
Printed name

24850 CARNOUSTIE CT
Owners Post Office Address

Printed name

OR 665 PG 36 13

James W. Yingling
Witness signature as to 1st Owner
JAMES W. YINGLING
Printed name

Janet Marotta
Owners name
JANET MAROTTA
Printed name

Roger D. Wheeler
Witness signature as to 1st owner

25461 CARNEY CIR
Owners Post Office Address

ROGER D. WHEELER
Printed name

Salvatore Marotta
Owners name

Robert E. Connolly
Witness signature as to 2nd Owner

SALVATORE MAROTTA
Printed name

ROBERT E. CONNOLLY
Printed name

25461 CARNEY CIR
Owners Post Office Address

Mary J. Yingling
Witness signature as to 2nd Owner

MARY J. YINGLING
Printed name

Salvatore Marotta
Witness signature as to 1st Owner

Roger D. Wheeler
Owners name

SALVATORE MAROTTA
Printed name

ROGER D. WHEELER
Printed name

Carol J. Connolly
Witness signature as to 1st Owner

25472 CARNEY CIR
Owners Post Office Address

CAROL J. CONNOLLY
Printed name

Robert E. Connolly
Witness signature as to 2nd Owner

Audrey E. Wheeler
Owners name

ROBERT CONNOLLY
Printed name

Audrey E. Wheeler
Printed name

Mary J. Yingling
Witness signature as to 2nd Owner

25472 Carney Cir
Owners Post Office Address

MARY J. YINGLING
Printed name

Beverly Banks
Witness signature as to 1st Owner

Raymond R. Bishop
Owners name

BEVERLY BANKS
Printed name

Raymond R. Bishop
Printed name

James E. Nixon
Witness signature as to 1st Owner

10311 St. Patrick Ln
Owners Post Office Address

JAMES E. NIXON
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Theresa M. Bishop
Owners name

BEVERLY BANKS
Printed name

THERESA M. BISHOP
Printed name

James E. Nixon
Witness signature as to 2nd Owner

10311 St. Patrick Ln
Owners Post Office Address

JAMES E. NIXON
Printed name

OR2665 PG3614

Witness signature as to 1st Owner

Printed name

Witness signature as to 1st owner

Printed name

Witness signature as to 2nd Owner

Printed name

Witness signature as to 2nd Owner

Printed name

Louis A. Capaldi
Owners name

LOUIS A CAPALDI
Printed name

24816 CARNOUSTIE CT
Owners Post Office Address
BONITA SPRINGS

BENJAMIN DE LAURA
Owners name

Benjamin De Laura
Printed name

25137 CARNOUSTIE CT
Owners Post Office Address
Bonita Springs

B. Joseph De Laura
Witness signature as to 1st Owner

B. JOSEPH DE LAURA
Printed name

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

BENJAMIN DE LAURA
Witness signature as to 2nd Owner

BENJAMIN DE LAURA
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

Louis A. Capaldi
Owners name

LOUIS A CAPALDI
Printed name

24816 CARNOUSTIE CT
Owners Post Office Address

Carmela Capaldi
Owners name

CARMELA CAPALDI
Printed name

24816 CARNOUSTIE CT
Owners Post Office Address

Louis A. Capaldi
Witness signature as to 1st Owner

LOUIS A CAPALDI
Printed name

Beverly Banks
Witness signature as to 1st Owner

Beverly Banks
Printed name

Louis A. Capaldi
Witness signature as to 2nd Owner

LOUIS A CAPALDI
Printed name

Beverly Banks
Witness signature as to 2nd Owner

Beverly Banks
Printed name

BENJAMIN DE LAURA
Owners name

Benjamin De Laura
Printed name

25137 COURNOUSTIC CT.
Owners Post Office Address

Juan O. De Laura
Owners name

JUAN O. DE LAURA
Printed name

25137 COURNOUSTIC ct.
Owners Post Office Address
BONITA SPRINGS

FAM

[Signature]
Witness signature as to 1st Owner
Gordon Banks
Printed name

[Signature]
Witness signature as to 1st owner
William E Grant
Printed name

[Signature]
Witness signature as to 2nd Owner
Gordon Banks
Printed name

[Signature]
Witness signature as to 2nd Owner
William E Grant
Printed name

[Signature]
Witness signature as to 1st Owner
[Signature]
Printed name

[Signature]
Witness signature as to 1st Owner
James F Sell
Printed name

~~Witness signature as to 2nd Owner~~
~~Printed name~~

~~Witness signature as to 2nd Owner~~
~~Printed name~~

[Signature]
Witness signature as to 1st Owner
VILMA LUKOSAVICH
Printed name

[Signature]
Witness signature as to 1st Owner
Dorothy Banks
Printed name

[Signature]
Witness signature as to 2nd Owner
VILMA LUKOSAVICH
Printed name

[Signature]
Witness signature as to 2nd Owner
Dorothy Banks
Printed name

[Signature]
Owners name

Robert E Stratton
Printed name

25093 Paces of Lake
Owners Post Office Address
Bonita Springs FL 33472

[Signature]
Owners name

Betty E Stratton
Printed name

25093 Paces of Lake
Owners Post Office Address
Bonita Springs FL 33472

[Signature]
Owners name

VILMA LUKOSAVICH
Printed name

24916 CARNOUSTIE CT
Owners Post Office Address

~~Owners name~~

~~Printed name~~

~~Owners Post Office Address~~

[Signature]
Owners name

James F Sell
Printed name

24916 CARNOUSTIE CT
Owners Post Office Address
Bonita Springs FL 33472

[Signature]
Owners name

VILMA I. SELL
Printed name

24916 CARNOUSTIE CT
Owners Post Office Address
BONITA SPRINGS, FL 33472

OR2665 PG3615

EXHIBIT "A"

GRACE E. MIKKELSEN
ERLEEN NEUSHOTZ
JUDY SCHOCH
DAVID C. BOYCE
RICHARD G. SINGER
MARGARET K. KLAPKA
MATHILDA VAN GORDEN
B. ODELL ROBERTS
MARY M. PIRRO
ANDREA K. MOTES
LOIS J. SORENSEN
DORIS J. WOLLAM
HELEN MUZZARELLI
GINNY BRAUN
MARLENE EDDY
MICHAEL CHRISTOPOULOS
BARBARA Y. FISHER
ANTJE STREHLAN
RICHARD KILPATRICK
JAMES F. BRADY
REYNOLD L. BALSIZER
W. VERNON WHITELEY
PAUL N. EDGINGTON
BEATRICE A. BARBERO
DENNIS MURPHY
JOHN GUARNIERI
KENNETH R. PAIGE
PEGGY ANN ROTUNNO
JOSEPH CATLIN
LEONARD S. KRAFT
VINCENT PARENTI
AMBER J. VOJAK
MARIE OBERSTAR
NORMA J. DUNBAR
NOLA STEWART
MELVIN STEWART
DORIS W. BARTLETT
ALICE E. NICHOLS
HAZEL SOMERS
HAROLD M. SCHULTE
DENISE HERBERT
ELIZABETH ANDRONIKOS
MARGARET S. GRANT
DARLENE MORPHIS
PAUL PRESSELER
JAMES M. LYNCH
CHARLENE GOORSKY
ROBERT S. LEATHERS
THOMAS R. KENNEDY
CAROL ANTFELD
KEVIN R. SMITH

K. SCOTT MIKKELSEN
LAWRENCE NEUSHOTZ
R. R. SCHOCH
CYNTHIA S. BOYCE
KARL J. KLAPKA
WILLIAM VAN GORDEN
RICHARD W. ROBERTS
RICHARD W. PIRRO
DAVID G. MOTES
HOWARD P. SORENSEN
FRANK A. WOLLAM
ANTON MUZZARELLI
HERBERT BRAUN
NEAL R. EDDY
LORRIE CHRISTOPOULOS
JAMES R. FISHER
GERD STREHLAN
MARY A. CRAIG
SHIRLEY KILPATRICK
PATRICIA A. BRADY
DONNA M. BALSIZER
MARY G. WHITELEY
ELLEN L. EDGINGTON
MARY MURPHY
THERESA GUARNIERI
EVA M. PAIGE
ALBERT L. ROTUNNO
JOAN R. CATLIN
SANDY KRAFT
NORMA J. HOUBE
CYRIL J. VOJAK
ANDREW OBERSTAR
CHARLES T. DUNBAR
JAMES W. STEWART
SHIRLEY STEWART
CHARLES M. BARTLETT
WAYNE C. NICHOLS
ANDREW SOMERS
BETTY K. SCHULTE
JOHN HERBERT
NICKLOS ANDRONIKOS
WILLIAM E. GRANT
LARRY MORPHIS
VIRGINIA PRESSELER
MARY M. LYNCH
BRUCE GOORSKY
CHARLENE GOORSKY
MARCIA LEATHERS
MARGARET A. KENNEDY
HENRY ANTFELD
DOUGLAS R. HUGHES

DR2665 PG3617

KAREN HUGHES
MITCH VANPAGE
CARLO LAPORTA
MARY M. MILLER
RICHY L. HALE
EDWARD L. BELL
THOMAS J. DALTON
MARYLYN OTTO
MARILYN C. TAYLOR
ELIZABETH SYRING
MICHAEL SIERTS
CARMELLE MARTEL
CHRISTINE A. KUTZ
CAROL M. GATCHELL
MARY DOUGHERTY
DOUGLAS G. HEMPSTEAD
ROBERT MACKER
RICHARD E. HERBST
LAWRENCE E. MARENTETTE
ANTHONY FERLAZZO
BEVERLY A. DUGGAN
MARY E. FETSCH
PAMELA J. KIRK
MARY DOUGHERTY
ORIELDA M. FETSCH
SUSETTE L. TEGTMEYER
JANET E. DUTKO
DUANE POST
EILEEN J. SHEA
JEAN E. HEPOKOSKI
RICHARD L. DERRICK
SHELLY BUKOWSKI
KATHRYN M. MONDRY
EUGENE J. KELLY, JR.
ROBERT A. HOLLIS
CAROL J. CONNOLLY
CONSTANCE Y. HILL
JANICE E. NIXON
EVELYN R. WILLIAMS
MEDALINE M. FERRELL
ALFRED F. BARR
GEOFFREY H. LORD
ELLA N. GRANT
EDITH D. LARGEN
LYNN CADY
EDITH WILLETTE
KEN PUTMAN
PHYLLIS M. HAMILTON
CHARLENE WILLIAMS
ROBERT THINNES
MARY C. WHITE
KATY JORGENSEN
GRAYDON MCCULLEY
JAMES W. YINGLING

GINGER VANPAGE
BARBARA LAPORTA
GAIL A. MILLER
DOUGLAS B. FOSTER
SHARON L. HALE
LEONARD R. O'BRIEN
MARY OLIVE DALTON
ROYAL P. TAYLOR
GEORGE J. SYRING
SHEILA BARELA
JEAN MARTEL
ROBERT D. KUTZ
KENNETH S. GATCHELL
GEORGE J. DOUGHERTY
MARGARET RICHMOND
MARY M. HEMPSTEAD
MARY MACKER
AGNES M. HERBST
KAE L. MARENTETTE
MARYANN FERLAZZO
R. STEPHEN FETSCH
THOMAS L. KIRK
GEORGE DOUGHERTY
FLOYD E. FETSCH
THOMAS E. TEGTMEYER
PETER DUTKO
VIRGINIA POST
JOHN F. SHEA
JAMES R. HEPOKOSKI
MARY A. DERRICK
DAVID A. BUKOWSKI
JOSEPH H. MONDRY
SALLY K. KELLY
VIRGINIA M. HOLLIS
ROBERT E. CONNOLLY
CURTIS B. HILL
GEORGE V. NIXON, JR.
ROBERT H. WILLIAMS
DONALD C. FERRELL
AUDREY J. BEATTY
ALICE BARR
HELEN G. LORD
WILLIAM O. LARGEN
IRENE G. NIELSEN
DORIS M. CADY
MARY LEE PUTMAN
LEWIS HAMILTON
ALBERT H. WILLIAMS
LAVON A. THINNES
JACK L. WHITE
DAN JORGENSEN
R. AVONELLE SHAW
JEAN S. MCCULLY
MARY J. YINGLING

OR2665 PG3618

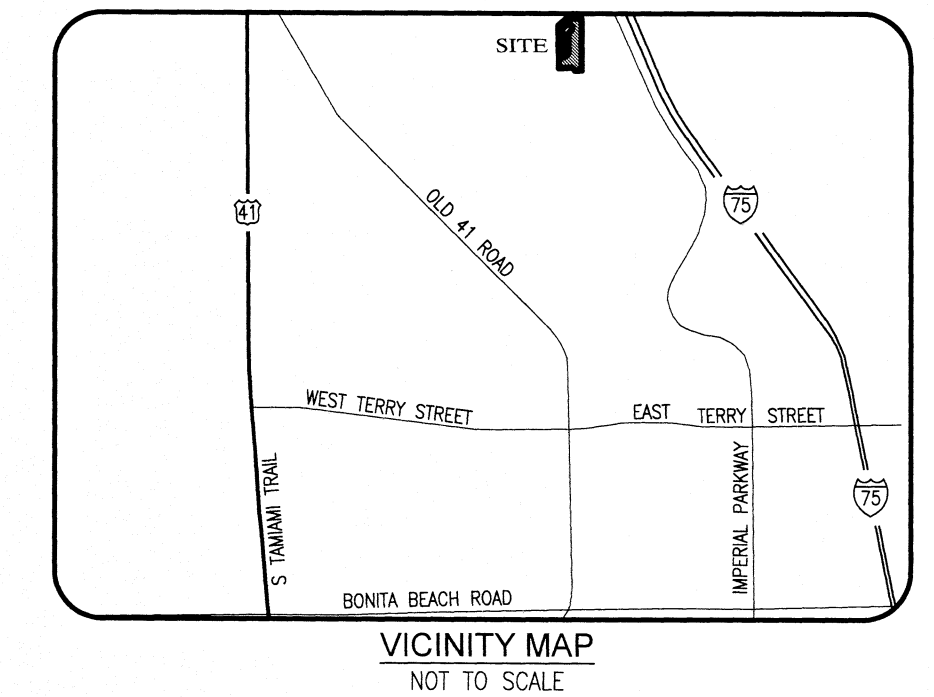
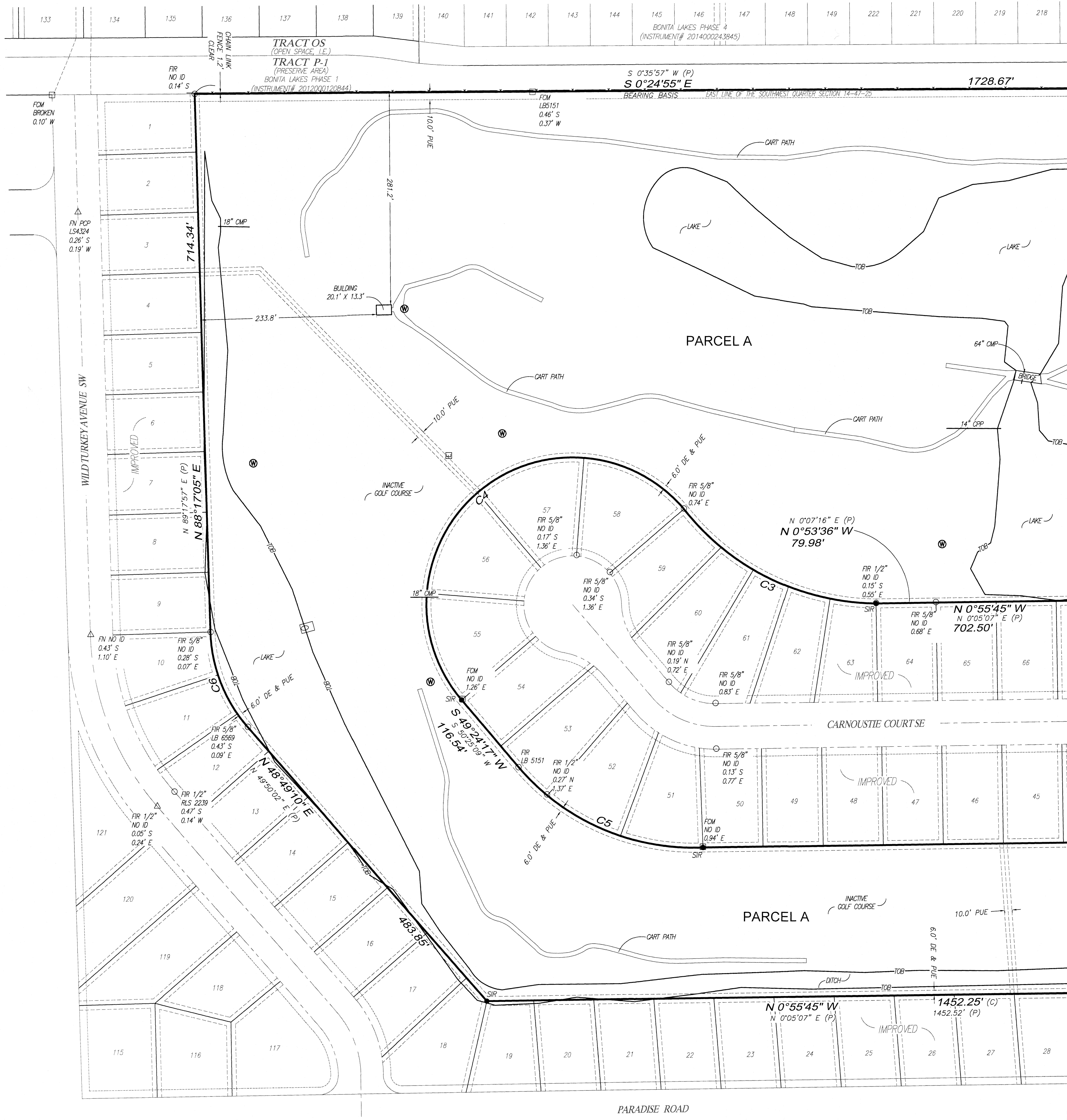
JEAN M. FORTIER
DOROTHY D. CARTER
SALVATORE MAROTTA
AUDREY E. WHEELER
THERESA M. BISHOP
CARMELA CAPALDI
JOAN O. DELAURA
BETTY E. STRATTON
JAMES F. SELL
FRED HARVEY
MARION JONES

RALPH W. CARTER
JANET MAROTTA
ROGER D. WHEELER
RAYMOND R. BISHOP
LOUIS A. CAPALDI
BENJAMIN DELAURA
ROBERT E. STRATTON
VILMA LUKOSAVICH
WILMA I. SELL
ADELAIDE HARVEY
C. C. JONES

OR2665 PG3619

CHARLIE GREEN LTD CITY FI
96 JAN -8 AM 11:05

C:\WP51\BONITA.EXA



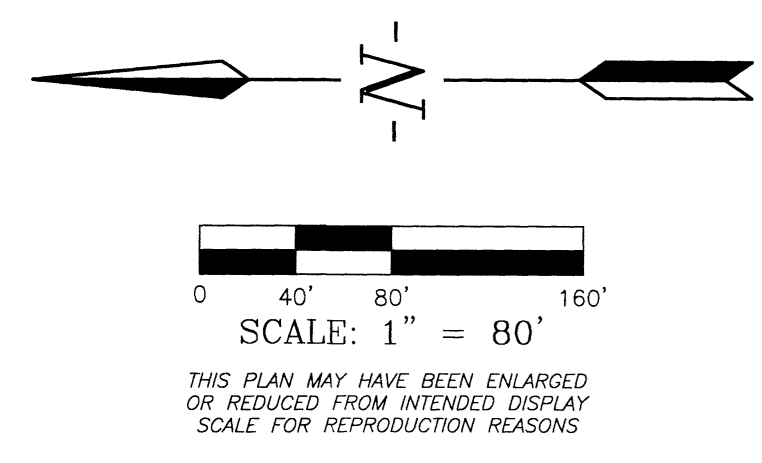
CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	260.00'	347.82'	76°38'55"	N 56°17'52" W	322.46'
(P)	260.00'	347.82'	76°38'55"	N 55°17'05" W	322.46'
C2	320.00'	482.02'	86°18'20"	N 42°13'25" E	437.73'
(P)	320.00'	482.02'	86°18'20"	N 43°14'12" E	437.73'
C3	330.00'	294.03'	51°03'01"	N 26°01'31" E	284.40'
(P)	330.00'	294.03'	51°03'01"	N 27°02'23" E	284.40'
C4	195.00'	612.61'	180°00'00"	N 40°35'45" W	390.00'
(P)	195.00'	612.61'	180°00'00"	N 39°34'53" W	390.00'
C5	305.00'	277.02'	52°02'23"	S 23°24'55" W	267.60'
(P)	305.00'	277.02'	52°02'23"	S 24°25'42" W	267.60'
C6	200.00'	137.76'	39°27'35"	N 68°33'18" E	135.05'
(P)	200.00'	137.76'	39°27'55"	N 69°33'59" E	135.05'

PROPERTY DESCRIPTION
(PER PROVIDED TITLE COMMITMENT)
PARCEL 3

PARCEL A, BONITA SPRINGS COUNTRY CLUB, UNIT 1, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 81 THROUGH 84, PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

NOTES:

- BEARINGS SHOWN HEREON REFER TO THE STATE PLANE COORDINATE SYSTEM ESTABLISHED BY THE NATIONAL GEODETIC SURVEY FOR FLORIDA WEST ZONE, 1983 DATUM WITH 1990 ADJUSTMENT OBTAINED USING RTK GPS OBSERVATIONS ON THE FOOT NETWORK AND ARE BASED ON THE EAST LINE OF PARCEL "A", BONITA SPRINGS COUNTRY CLUB, UNIT 1, PLAT BOOK 30, PAGES 81 THROUGH 84, PUBLIC RECORDS OF LEE COUNTY, FLORIDA, AS BEING S 0°24'55" E.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF ABSTRACT OF TITLE AND MAY BE SUBJECT TO EASEMENTS, RESERVATIONS AND/OR RESTRICTIONS OF RECORD. ALL MATTERS OF TITLE SHOULD BE REFERRED TO AN ATTORNEY AT LAW.
- THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE X, HAVING NO BASE FLOOD ELEVATION, PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS # 12071C 0593 G, 12071C 0594 G, DATED 7 DECEMBER 2018 AND 12071C 0656 F, AND 12071C 0657 F, DATED 28 AUGUST 2008.
- CERTAIN FEATURES REPRESENTED BY SYMBOLS MAY NOT BE SHOWN AT THEIR TRUE LOCATION AND/OR SCALE IN ORDER TO BE ABLE TO DEPICT THEM ON THIS MAP.
- DIMENSIONS SHOWN HEREON ARE IN U.S. SURVEY FEET AND DECIMALS THEREOF.
- THIS SURVEY DOES NOT ADDRESS ANY ENVIRONMENTAL CONCERNS, ENDANGERED WILDLIFE OR JURISDICTIONAL WETLANDS, IF ANY, EXCEPT AS SHOWN ON THIS SURVEY.
- THIS CERTIFICATION IS ONLY FOR THE LANDS DESCRIBED HEREON. IT IS NOT A CERTIFICATION OF TITLE, ZONING, SETBACKS, OR FREEDOM OF ENCUMBRANCES.
- THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR THE DIGITAL SIGNATURE AND DIGITAL SEAL OF A LICENSED FLORIDA SURVEYOR AND MAPPER. NO ADDITIONS OR DELETIONS TO THIS SURVEY MAP ARE PERMITTED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE SIGNING PARTY.
- UNLESS OTHERWISE NOTED, BELOW GROUND UTILITIES AND FOUNDATIONS WERE NOT LOCATED FOR THE PURPOSES OF THIS SURVEY.
- BY SIGNING BELOW I CERTIFY THAT THIS SURVEY WAS MADE UNDER MY DIRECTION AND THAT IT MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051, F.A.C., PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.
- PARCEL A AS SHOWN ON THE RECORDED PLAT DOES NOT CLOSE MATHEMATICALLY. THE MIS-CLOSURE HAS BEEN ACCOUNTED FOR BY THE CALCULATED DISTANCES SHOWN HEREON.
- DATE OF LAST FIELD WORK: 11 SEPTEMBER 2020.



LEGEND

POC	POINT OF COMMENCEMENT	(P)	PLAT	TG	TOP OF GRADE ELEVATION	MHD	MANHOLE	SV	SEWER VALVE
POB	POINT OF BEGINNING	(M)	MEASURED	RM	RIGHT-OF-WAY ELEVATION	EB	ELECTRIC MANHOLE	TSN	TELEPHONE SIGN ON POLE
FIP	FOUND IRON PIPE	(C)	CALCULATED	INV	INVERT ELEVATION	EB	ELECTRIC BOX/RISER/METER	TL	TELEPHONE BOX/RISER
FIR	FOUND 5/8" IRON ROD	(D)	DEED	ELEV	ELEVATION	TR	TRAFFIC LIGHT	TL	TRAFFIC LIGHT
SRI	SET 5/8" IRON ROD W/O.P. LB. #5151	A/C	AIR CONDITIONING UNIT	TR	TRANSFORMER	TL	UNDERGROUND	UPW	UTILITY POLE - WOOD
FOM	FOUND 4"x4" CONCRETE MONUMENT	BFP	BLOCK FLOW PREVENTOR	GSM	GAS SERVICE/METER	UP	UTILITY POLE - CONCRETE	UPW	UTILITY POLE - WOOD
SCM	SET CONG. MONUMENT w/ALUMINUM DISK, L.B.# 5151	PC	PLAT BOOK	IV	IRIGATION VALVE	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
FFK	FOUND PARKER KALON NAIL	OR	OFFICIAL RECORDS BOOK	CB	CABLE TV. BOX/RISER	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
SPK	SET PARKER KALON NAIL w/BRASS DISK, L.B.# 5151	R.O.W.	RIGHT-OF-WAY	CO	CATCH BASIN/INLET	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
FDH	FOUND DRILL HOLE	EDP	EDGE OF PAVEMENT	CONC.	CONCRETE	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
SDH	SET DRILL HOLE	PUE	PUBLIC UTILITY EASEMENT	CHW	CORRUGATED HEAD WALL	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
FMN	FOUND METAL NAIL	LB	LICENSED BUSINESS	CMP	CORRUGATED METAL PIPE	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
FND	FOUND	PSM	PROFESSIONAL SURVEYOR AND MAPPER	CPP	CORRUGATED PLASTIC PIPE	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
		SFC	STATE PLANE COORDINATES	UE	UTILITY EASEMENT	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD

(P)	PLAT	TG	TOP OF GRADE ELEVATION	MHD	MANHOLE	SV	SEWER VALVE
(M)	MEASURED	RM	RIGHT-OF-WAY ELEVATION	EB	ELECTRIC MANHOLE	TSN	TELEPHONE SIGN ON POLE
(C)	CALCULATED	INV	INVERT ELEVATION	EB	ELECTRIC BOX/RISER/METER	TL	TELEPHONE BOX/RISER
(D)	DEED	ELEV	ELEVATION	TR	TRAFFIC LIGHT	TL	TRAFFIC LIGHT
A/C	AIR CONDITIONING UNIT	TR	TRANSFORMER	TL	UNDERGROUND	UPW	UTILITY POLE - WOOD
BFP	BLOCK FLOW PREVENTOR	UP	UTILITY POLE - CONCRETE	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
PC	PLAT BOOK	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
OR	OFFICIAL RECORDS BOOK	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
R.O.W.	RIGHT-OF-WAY	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
EDP	EDGE OF PAVEMENT	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
PUE	PUBLIC UTILITY EASEMENT	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
LB	LICENSED BUSINESS	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
PSM	PROFESSIONAL SURVEYOR AND MAPPER	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD
SFC	STATE PLANE COORDINATES	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD	UPW	UTILITY POLE - WOOD

REVISION: UPDATED BOUNDARY SURVEY 9-19-2020.

NOT COMPLETE WITHOUT SHEETS 1-2 OF 2



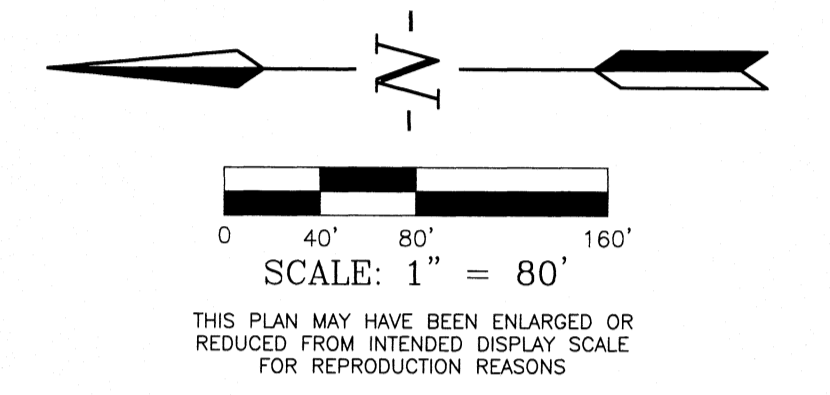
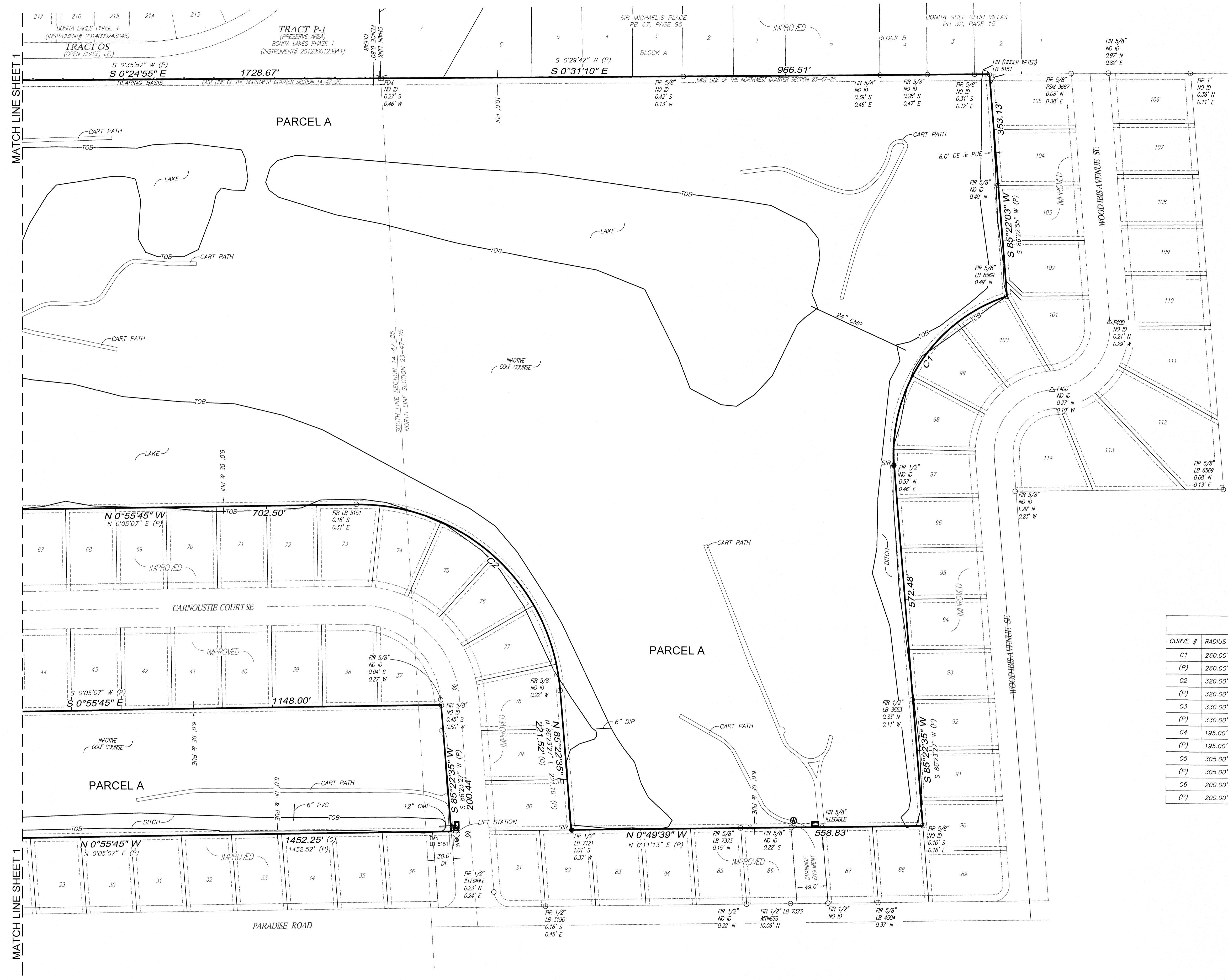
O. Grady Minor and Associates, P.A.
3800 Via Del Rey
Bonita Springs, Florida 34134

Civil Engineers • Land Surveyors • Planners • Landscape Architects
Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151
Business LC 26000266
Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.690.4380

DRAWN BY:	KJG
CHECKED BY:	DLS
JOB CODE:	BSGC
SCALE:	1" = 80'
DATE:	21 MAY 2018
FILE:	20-144-BS NORTH.DWG
SHEET:	1 of 2

BOUNDARY SURVEY
BONITA SPRINGS COUNTRY CLUB, UNIT 1
PARCEL A
PLAT BOOK 30, PAGES 81 THROUGH 84
LYING IN
SECTIONS 14 AND 23, TOWNSHIP 47 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

DATE SIGNED: 11/1/21
DONALD L. SAINTENY III, P.S.M.
FL LICENSE #6761
FOR THE FIRM



CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	260.00'	347.82'	76°38'55"	N 56°17'57" W	322.46'
(P)	260.00'	347.82'	76°38'55"	N 55°17'05" W	322.46'
C2	320.00'	482.02'	86°18'20"	N 42°13'25" E	437.73'
(P)	320.00'	482.02'	86°18'20"	N 43°14'17" E	437.73'
C3	330.00'	294.03'	51°03'01"	N 26°01'31" E	284.40'
(P)	330.00'	294.03'	51°03'01"	N 27°02'23" E	284.40'
C4	195.00'	612.61'	180°00'00"	N 40°35'45" W	390.00'
(P)	195.00'	612.61'	180°00'00"	N 39°34'53" W	390.00'
C5	305.00'	277.02'	52°02'23"	S 23°24'55" W	267.60'
(P)	305.00'	277.02'	52°02'23"	S 24°25'47" W	267.60'
C6	200.00'	137.76'	39°27'35"	N 68°33'18" E	135.05'
(P)	200.00'	137.76'	39°27'35"	N 69°33'59" E	135.05'

LEGEND POC POINT OF COMMENCEMENT PSB POINT OF BEGINNING FIP FOUND IRON PIPE FIR FOUND 5/8" IRON ROD SIR SET 5/8" IRON ROD w/CAP, L.B. #5151 FCM FOUND 4"x4" CONCRETE MONUMENT SCM SET CONC. MONUMENT w/ALUMINUM DISK, L.B.# 5151 FPK FOUND PARKER KALON NAIL SPK SET PARKER KALON NAIL w/BRASS DISK, L.B.# 5151 FDH FOUND DRILL HOLE SDH SET DRILL HOLE FMN FOUND MAG NAIL FND FOUND (P) PLAT MEASURED (M) CALCULATED (C) PER DEED BDL CONCRETE BOLLARD CTI GREASE TRAP FBT PLAT BOOK PAGE CB OR OFFICIAL RECORDS BOOK R.O.W. RIGHT-OF-WAY EDI EDGE OF DRIVEWAY PUE PUBLIC UTILITY EASEMENT LBS LICENSED BUSINESS PROFESSIONAL SURVEYOR AND MAPPER PSM STATE PLANE COORDINATES TO TOP OF GRADE ELEVATION RW RIGHT OF WAY INV INVERT ELEVATION ELEV ELEVATION A/C AIR CONDITIONING UNIT BFP BACKFLOW PREVENTER CBI CABLE T.V. BOX/RISER CBN CATCH BASIN/INLET CO CLEAN OUT CC CONCRETE CIP CONCRETE IN PLACE CWH CONCRETE HEAD WALL EDI EDGE OF DRIVEWAY CEN CENTERLINE CMP CORRUGATED METAL PIPE CIP CORRUGATED PLASTIC PIPE RCP REINFORCED CONCRETE PIPE MHS NATIONAL HORIZONTAL DATUM OF 1983 NAVD 83 NORTH AMERICAN VERTICAL DATUM OF 1988 MHD DRAINAGE MANHOLE EM ELECTRIC MANHOLE EB ELECTRIC BOX/RISER/METER FH FIRE HYDRANT ET ELECTRIC TRANSFORMER OSM GAS SERVICE/METER OY GUY ANCHOR IV IRRIGATION VALVE IVC IRRIGATION CONTROL VALVE LP LIGHT POLE CH WATER END MHS NATIONAL HORIZONTAL DATUM OF 1983 NAVD 83 NORTH AMERICAN VERTICAL DATUM OF 1988 SV SEWER VALVE SGN SIGN ON POLE TRS TELEPHONE MANHOLE TL TRAFFIC LIGHT TL UNDERGROUND UPW UTILITY POLE - WOOD UPC UTILITY POLE - CONCRETE WM WATER METER WV WATER VALVE WT WOOD TRUNK * OAK TREE * PALM TREE * PINE TREE * WELL DIP DUCTILE IRON PIPE	(P) PLAT MEASURED (M) CALCULATED (C) PER DEED BDL CONCRETE BOLLARD CTI GREASE TRAP FBT PLAT BOOK PAGE CB OR OFFICIAL RECORDS BOOK R.O.W. RIGHT-OF-WAY EDI EDGE OF DRIVEWAY PUE PUBLIC UTILITY EASEMENT LBS LICENSED BUSINESS PROFESSIONAL SURVEYOR AND MAPPER PSM STATE PLANE COORDINATES TO TOP OF GRADE ELEVATION RW RIGHT OF WAY INV INVERT ELEVATION ELEV ELEVATION A/C AIR CONDITIONING UNIT BFP BACKFLOW PREVENTER CBI CABLE T.V. BOX/RISER CBN CATCH BASIN/INLET CO CLEAN OUT CC CONCRETE CIP CONCRETE IN PLACE CWH CONCRETE HEAD WALL EDI EDGE OF DRIVEWAY CEN CENTERLINE CMP CORRUGATED METAL PIPE CIP CORRUGATED PLASTIC PIPE RCP REINFORCED CONCRETE PIPE MHS NATIONAL HORIZONTAL DATUM OF 1983 NAVD 83 NORTH AMERICAN VERTICAL DATUM OF 1988 MHD DRAINAGE MANHOLE EM ELECTRIC MANHOLE EB ELECTRIC BOX/RISER/METER FH FIRE HYDRANT ET ELECTRIC TRANSFORMER OSM GAS SERVICE/METER OY GUY ANCHOR IV IRRIGATION VALVE IVC IRRIGATION CONTROL VALVE LP LIGHT POLE CH WATER END MHS NATIONAL HORIZONTAL DATUM OF 1983 NAVD 83 NORTH AMERICAN VERTICAL DATUM OF 1988 SV SEWER VALVE SGN SIGN ON POLE TRS TELEPHONE MANHOLE TL TRAFFIC LIGHT TL UNDERGROUND UPW UTILITY POLE - WOOD UPC UTILITY POLE - CONCRETE WM WATER METER WV WATER VALVE WT WOOD TRUNK * OAK TREE * PALM TREE * PINE TREE * WELL DIP DUCTILE IRON PIPE
---	---

GradyMinor

Civil Engineers • Land Surveyors • Planners • Landscape Architects

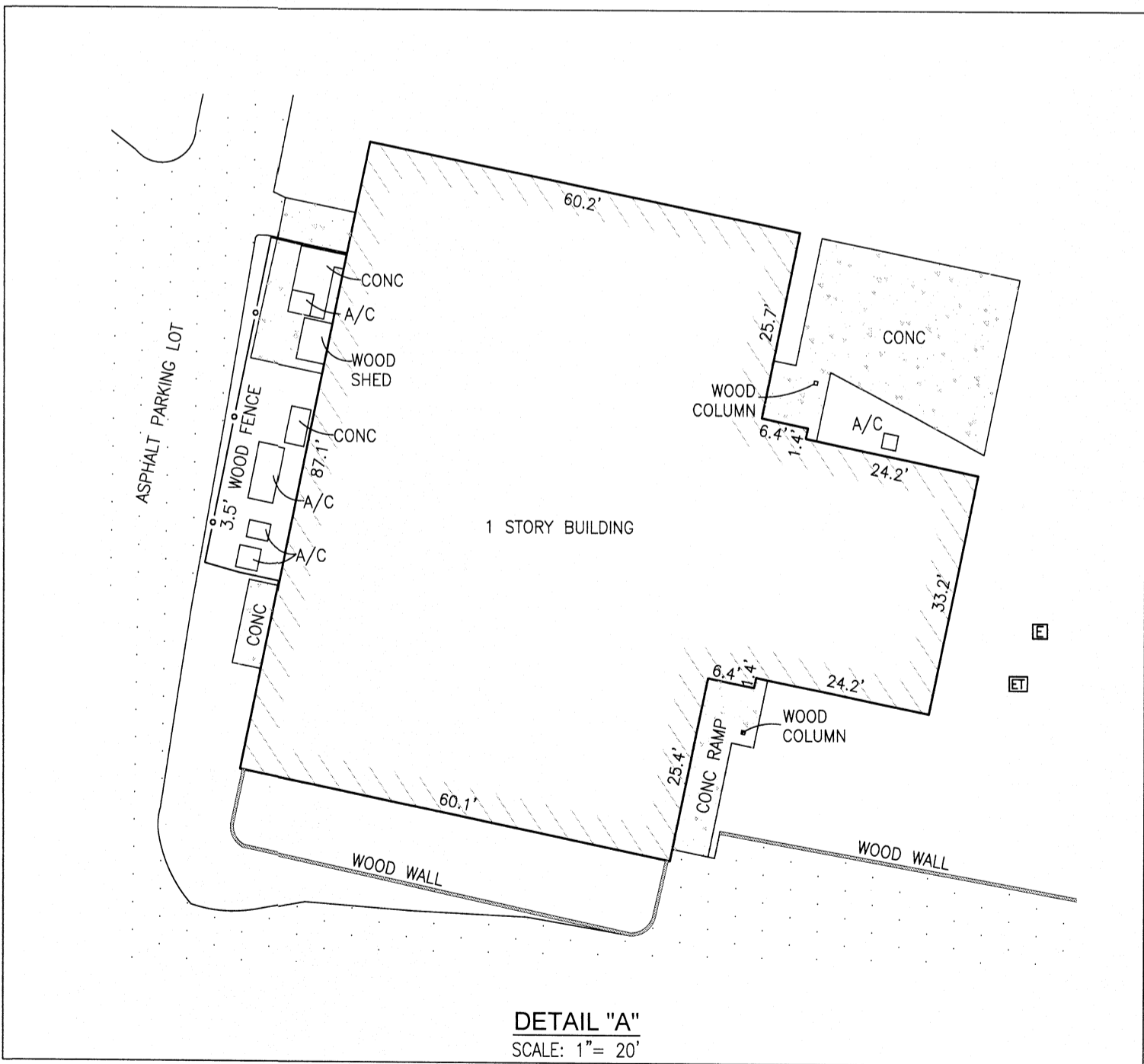
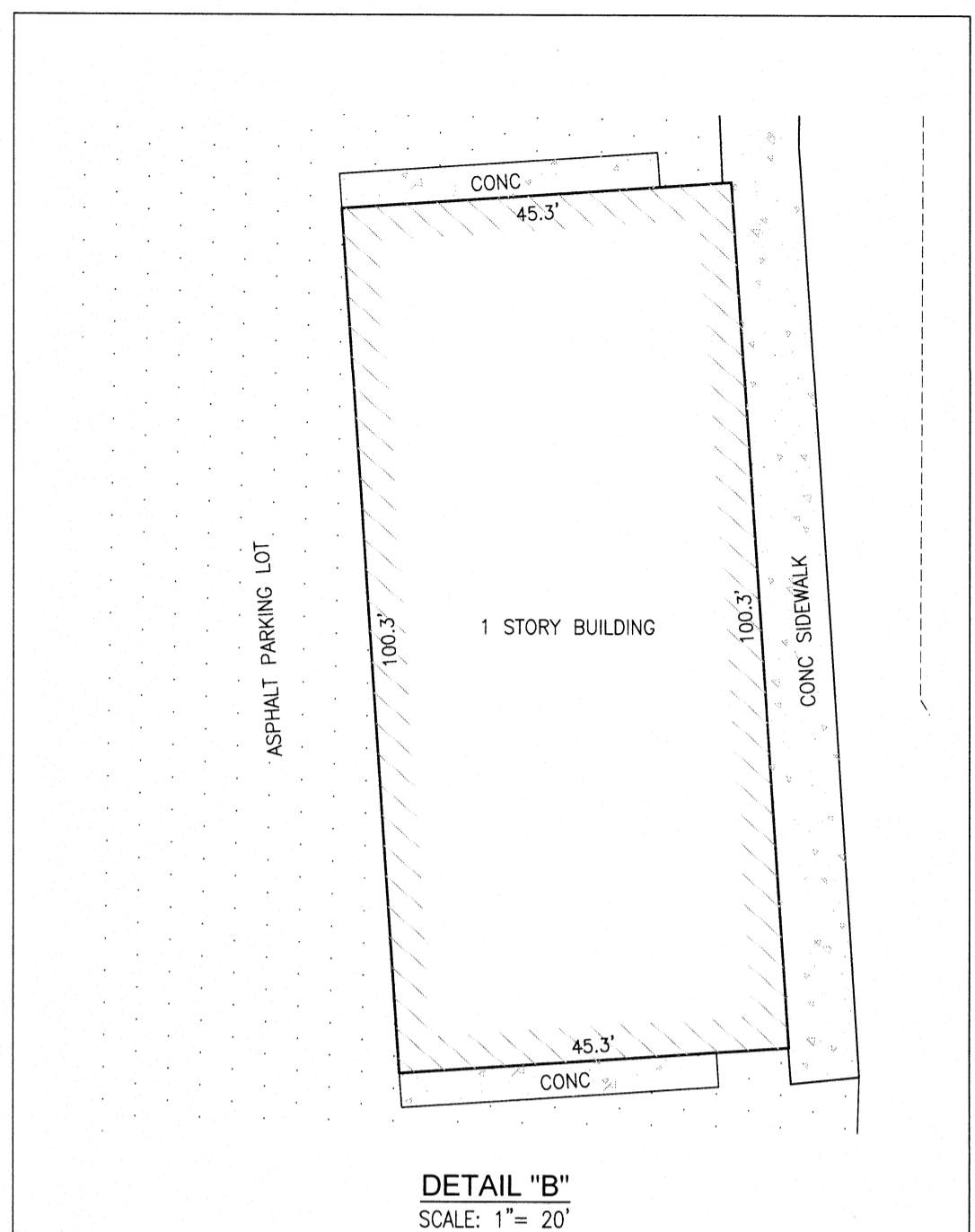
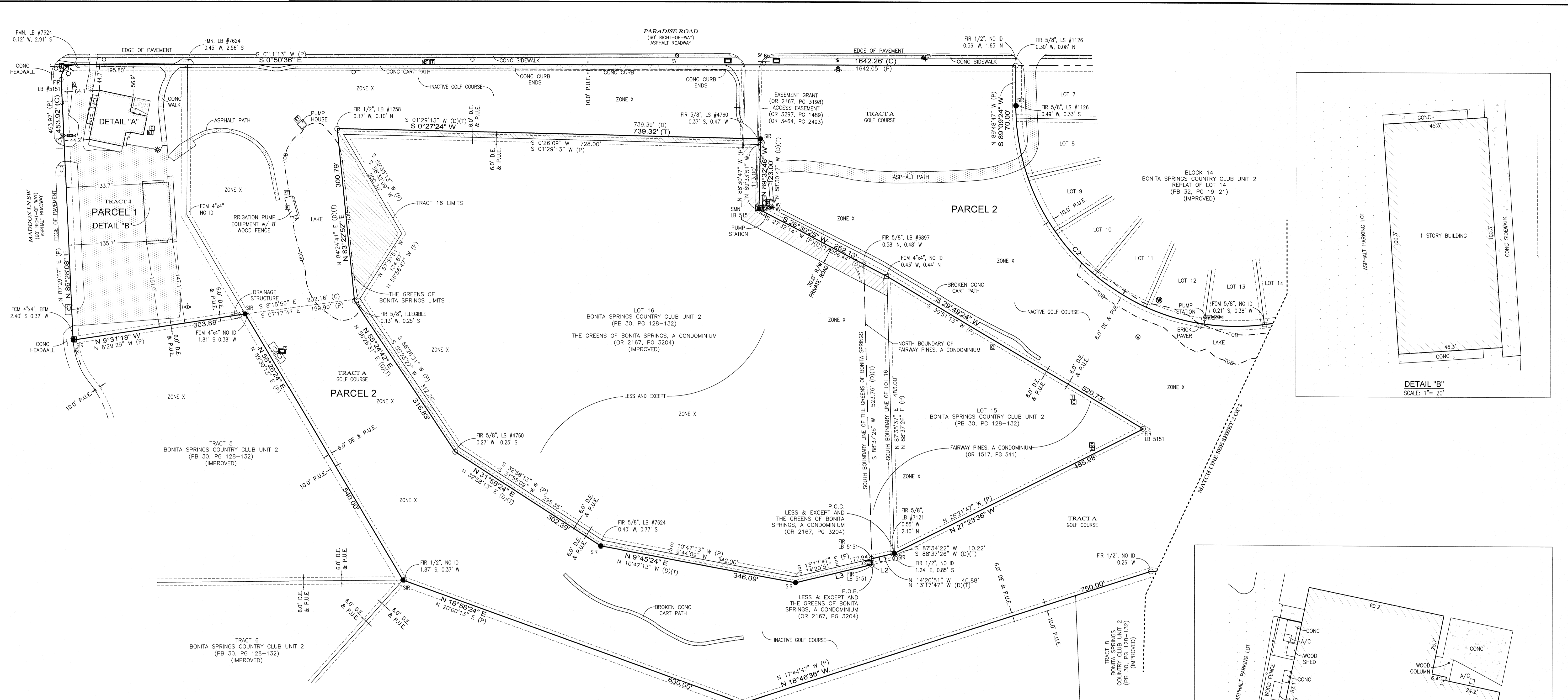
Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151

Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.699.4380

DRAWN BY: KJG	BOUNDARY SURVEY	
CHECKED BY: DLS	BONITA SPRINGS COUNTRY CLUB, UNIT 1	
JOB CODE: BSGC	PARCEL A	
SCALE: 1" = 80'	PLAT BOOK 30, PAGES 81 THROUGH 84	
DATE: 21 MAY 2018	LYING IN	
FILE# 20-144-BS NORTH.DWG	SECTIONS 14 AND 23, TOWNSHIP 47 SOUTH, RANGE 25 EAST	
SHEET: 2 of 2	LEE COUNTY, FLORIDA	

NOT COMPLETE WITHOUT SHEETS 1-2 OF 2

G:\SURVEY\PROJECT SURVEY 2020\144 - BONITA GOLF COURSE SURVEY\20-144-BS NORTH.DWG



PROPERTY DESCRIPTION
(PER PROVIDED TITLE COMMITMENT)

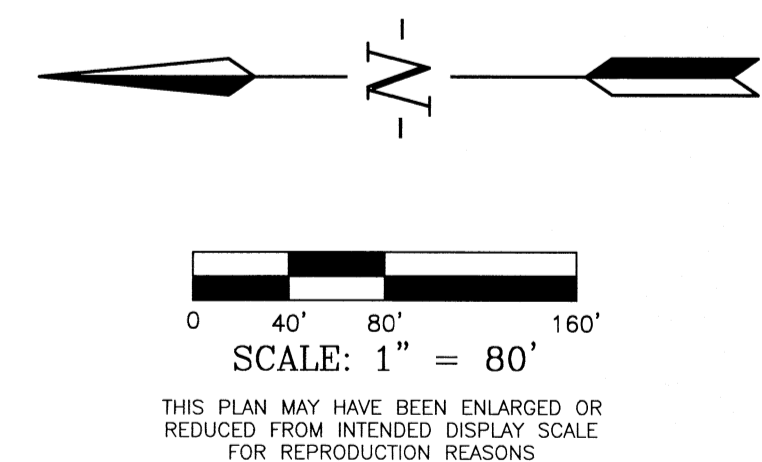
PARCEL 1
TRACT 4, BONITA SPRINGS COUNTRY CLUB UNIT 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

PARCEL 2
TRACT A, BONITA SPRINGS COUNTRY CLUB UNIT 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING DESCRIBED LANDS: A LOT OR PARCEL OF LAND LOCATED IN THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF TRACT 15, BONITA SPRINGS COUNTRY CLUB UNIT 2, AS RECORDED IN PLAT BOOK 30, PAGE 132, IN THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, RUN SOUTH 88°37'26" WEST FOR 10.22 FEET; THENCE RUN NORTH 1°31'47" WEST FOR 40.88 FEET TO THE POINT OF BEGINNING OF THE LANDS HEREIN DESCRIBED;

THENCE CONTINUE NORTH 1°31'47" WEST FOR 137.08 FEET; THENCE RUN NORTH 10°47'13" EAST FOR 346.09 FEET; THENCE RUN NORTH 32°58'13" EAST FOR 302.39 FEET; THENCE RUN NORTH 56°26'31" EAST FOR 316.83 FEET; THENCE RUN NORTH 84°24'41" EAST FOR 300.79 FEET; THENCE RUN SOUTH 01°29'13" WEST FOR 739.32 FEET TO AN INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY OF A 30 FOOT WIDE PRIVATE ROAD EXTENDING SOUTH 88°30'47" EAST; THENCE RUN NORTH 88°30'47" WEST FOR 123.00 FEET; THENCE RUN SOUTH 27°32'14" WEST FOR 208.44 FEET; THENCE RUN SOUTH 88°37'26" WEST FOR 323.76 FEET TO THE POINT OF BEGINNING.

PARCEL 6
TRACT 10, BONITA SPRINGS COUNTRY CLUB UNIT 2, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, PUBLIC RECORDS OF LEE COUNTY, FLORIDA.



CURVE TABLE

CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	25.00'	40.44'	92°41'16"	S 47°11'14" E	36.17'
C1 (P)	25.00'	40.44'	92°41'16"	S 48°09'25" E	36.17'
C2	383.00'	653.75'	97°48'00"	S 40°15'26" W	577.23'
C2 (P)	383.00'	653.75'	97°48'00"	S 41°17'13" W	577.23'

LINE TABLE

LINE #	BEARING	DISTANCE
L1	N 14°19'36" W	40.88'
L2	S 87°35'37" W	10.22'
L3	N 14°19'36" W	137.09'
L3 (T)	N 13°17'47" W	137.08'
L3 (D)	N 13°17'47" W	137.80'

- LEGEND**
- POC POINT OF COMMENCEMENT
 - POB POINT OF BEGINNING
 - FRP FOUND IRON PIPE
 - FR FOUND 5/8" IRON ROD
 - FRS SET 5/8" IRON ROD W/4" LB. #5151
 - FCM FOUND 4"x4" CONCRETE MONUMENT
 - FCM SET CONC. MONUMENT W/ALUMINUM DISK, LB.# 5151
 - FRK FOUND PARKER KALON NAIL
 - SMN SET MAG NAIL W/BASS DISK, LB.# 5151
 - FOH FOUND DRILL HOLE
 - SDH SET DRILL HOLE
 - FMM FOUND MAG NAIL
 - FMD FOUND
 - SMN SET MAG NAIL W/BASS DISK, LB.# 5151
 - (P) PER PLAT
 - (M) MEASURED
 - (C) CALCULATED
 - (D) PER DEED
 - (EA) TEMPORARY EASEMENT AGREEMENT
 - (C) CONCRETE BOLLARD
 - (C) PER TITLE COMMITMENT
 - (C) PLAT BOOK
 - PC OFFICIAL RECORDS BOOK
 - SR RIGHT-OF-WAY
 - EDP EDGE OF PAVEMENT
 - U.E. UTILITY EASEMENT
 - LB LICENSED BUSINESS
 - PSM PROFESSIONAL SURVEYOR AND MAPPER
 - SFC STATE PLANE COORDINATES
 - CLF CHAIN LINK FENCE
 - TO TOP OF GRADE ELEVATION
 - RM RM ELEVATION
 - INV INVERT ELEVATION
 - ELEV ELEVATION
 - A/C AIR CONDITIONING UNIT
 - CFM BACKFLOW PREVENTOR
 - CABLE T.V. BOY/RISER
 - CO CLEAN OUT
 - CONC. CONCRETE
 - CHW CONCRETE HEAD WALL
 - CENTR. CENTERLINE
 - CMP CORRUGATED METAL PIPE
 - CPP CORRUGATED PLASTIC PIPE
 - FLP FLORIDA POWER & LIGHT
 - FPL WELL/MONITORING WELL
 - NAV NAV 88 NORTH MERIDIAN VERTICAL CURVE OF 1988
 - SV SEWER VALVE
 - SP SON ON POLE
 - TM TELEPHONE MANHOLE
 - TL TRAFFIC LIGHT
 - UL UNDERGROUND
 - WV UTILITY POLE - WOOD
 - UP UTILITY POLE - CONCRETE
 - WM WATER METER
 - WD WARD DRINK
 - WR WATER RELEASE VALVE
 - EDW EDGE OF WATER
 - TOS TOP OF BANK
 - TOE TOE OF SLOPE
 - CS CONTROL STRUCTURE
 - CONC. CONCRETE
 - ASPH. ASPHALT
 - BRICK PAVR BRICK PAVEMENT
 - THE GREENS CONDO OVERLAPS TRACT A

GradyMinor
Civil Engineers • Land Surveyors • Planners • Landscape Architects
Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151
Business LC 26000266
Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.690.4380

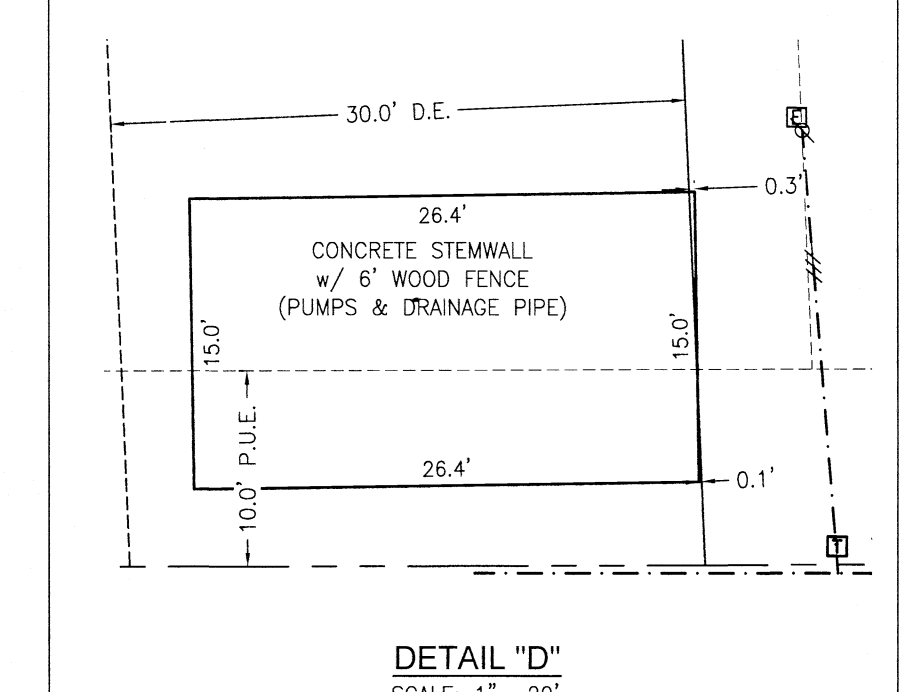
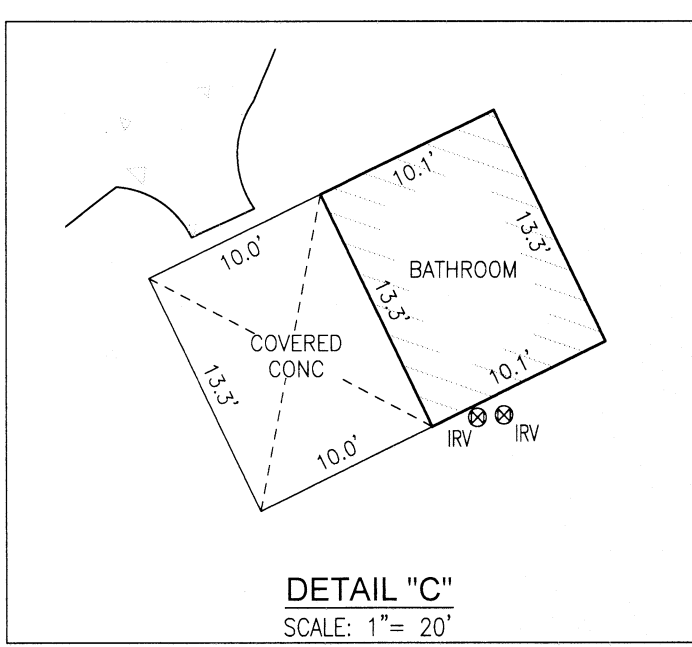
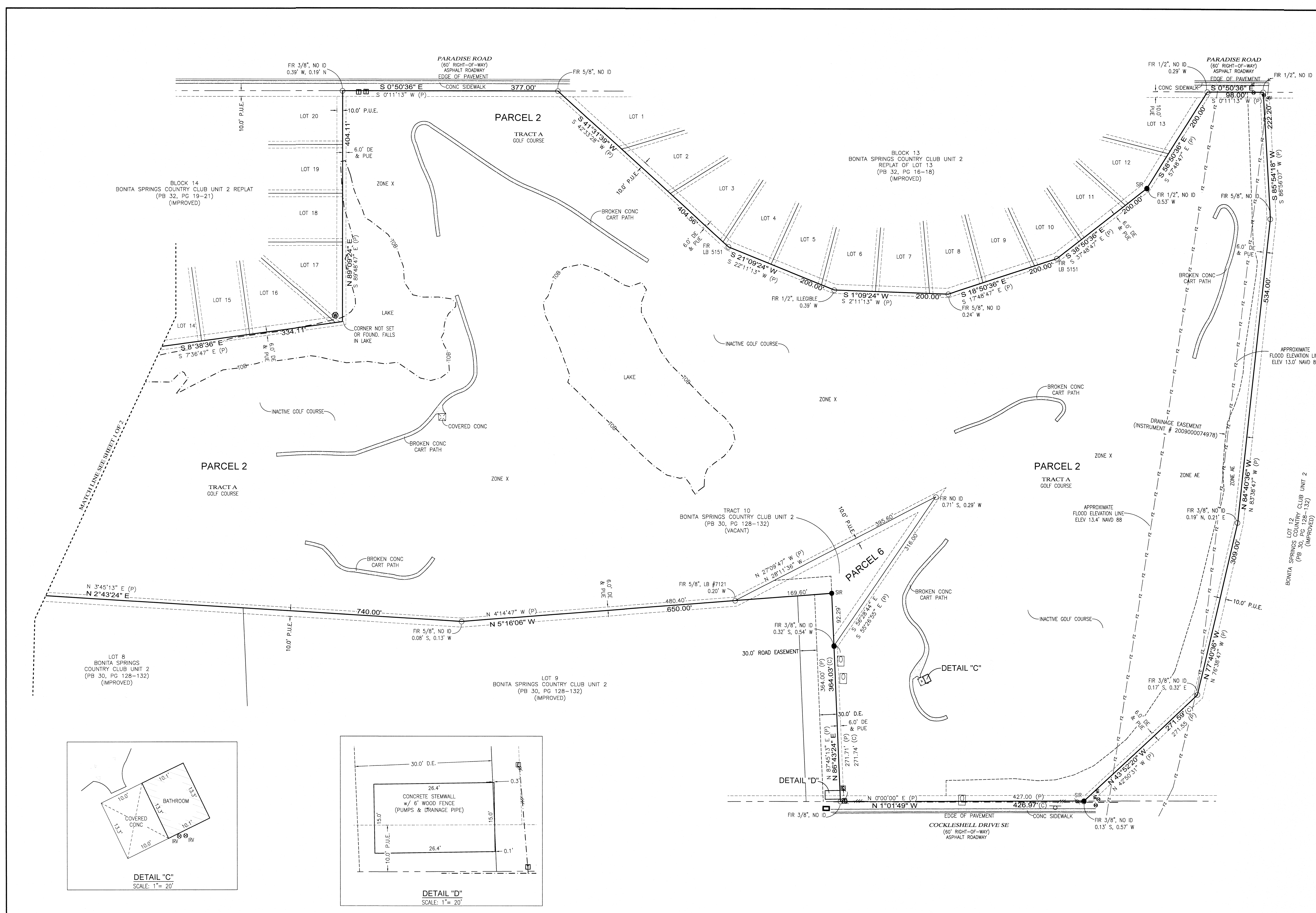
REVISION: UPDATED BOUNDARY SURVEY 9-15-2020.

BOUNDARY SURVEY
TRACT A AND TRACT 4 AND TRACT 10
BONITA SPRINGS COUNTRY CLUB UNIT 2
PLAT BOOK 30, PAGES 128-132
LYING IN
SECTION 23, TOWNSHIP 47 SOUTH, RANGE 25 EAST
LEE COUNTY, FLORIDA

DRAWN BY: AH
CHECKED BY: DLS
JOB CODE: BSCCBS
SCALE: 1" = 80'
DATE: 21 MAY 2018
FILE: 20-144-BS SOUTH.DWG
SHEET: 1 of 2

11/18/21
DATE SIGNED
DONALD L. SAINTENY III, P.S.M.
FL LICENSE #6761
FOR THE FIRM

- NOTES:**
- BEARINGS SHOWN HEREON REFER TO THE STATE PLANE COORDINATE SYSTEM ESTABLISHED BY THE NATIONAL GEODETIC SURVEY FOR FLORIDA WEST ZONE, 1983 DATUM WITH 1990 ADJUSTMENT OBTAINED USING RTK GPS OBSERVATIONS ON THE FDOT NETWORK AND ARE BASED ON THE EAST LINE OF TRACT A, BONITA SPRINGS COUNTRY CLUB, UNIT 2, AS RECORDED IN PLAT BOOK 30, PAGES 128-132, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA AS BEING S 0°50'36" E.
 - THIS SURVEY WAS PREPARED WITH THE A TITLE COMMITMENT PER OLD PUBLIC NATIONAL TITLE INSURANCE COMPANY, WITH A FILE NUMBER 18012483 KP, HAVING AN EFFECTIVE DATE OF AUGUST 25, 2020 AT 8:00 AM, (REVISED 9-14-20), AND MAY BE SUBJECT TO EASEMENTS, RESERVATIONS AND/OR RESTRICTIONS OF RECORD. ALL MATTERS OF TITLE SHOULD BE REFERRED TO AN ATTORNEY AT LAW.
 - THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE X, HAVING NO BASE FLOOD ELEVATION, AND FLOOD ZONE AE HAVING A BASE FLOOD ELEVATION OF 13.0' AND 13.4' (NAVD 88), PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP # 12071C 0656 F, DATED 8/28/2008. FLOOD LINES SHOWN HEREON WERE OBTAINED FROM A LEE COUNTY GIS FILE AND ARE ASSUMED TO BE APPROXIMATE.
 - CERTAIN FEATURES REPRESENTED BY SYMBOLS MAY NOT BE SHOWN AT THEIR TRUE LOCATION AND/OR SCALE IN ORDER TO BE ABLE TO DEPICT THEM ON THIS MAP.
 - DIMENSIONS SHOWN HEREON ARE IN U.S. SURVEY FEET AND DECIMALS THEREOF.
 - THIS SURVEY DOES NOT ADDRESS ANY ENVIRONMENTAL CONCERNS, ENDANGERED WILDLIFE OR JURISDICTIONAL WETLANDS, IF ANY, EXCEPT AS SHOWN ON THIS SURVEY.
 - THIS CERTIFICATION IS ONLY FOR THE LANDS DESCRIBED HEREON. IT IS NOT A CERTIFICATION OF TITLE, ZONING, SETBACKS, OR FREEDOM OF ENCUMBRANCES.
 - THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR THE DIGITAL SIGNATURE AND DIGITAL SEAL OF A LICENSED FLORIDA SURVEYOR AND MAPPER. NO ADDITIONS OR DELETIONS TO THIS SURVEY MAP ARE PERMITTED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE SIGNING PARTY.
 - UNLESS OTHERWISE NOTED, BELOW GROUND UTILITIES AND FOUNDATIONS WERE NOT LOCATED FOR THE PURPOSES OF THIS SURVEY.
 - BY SIGNING BELOW I CERTIFY THAT THIS SURVEY WAS MADE UNDER MY DIRECTION AND THAT IT MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051, F.A.C. PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.
 - DATE OF LAST FIELD WORK: 2/15/2020.
 - THERE APPEARS TO BE AN OVERLAP BETWEEN THE GREENS OF BONITA SPRINGS CONDOMINIUM, AS RECORDED IN OFFICIAL RECORDS BOOK 2167, PAGE 3204, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA AND TRACT A OF BONITA SPRINGS COUNTRY CLUB UNIT 2, AS RECORDED IN PLAT BOOK 30, PAGES 128 THROUGH 132, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA. SAID OVERLAP IS SHOWN HEREON.
 - THE 30 FOOT PRIVATE ROAD RIGHT-OF-WAY SHOWN ON THE RECORDED PLAT IS NOT SHOWN HEREON, THAT PORTION WITHIN TRACT "A" WAS VACATED BY RESOLUTION 88-7-21, THAT PORTION WITHIN BLOCK 14 WAS REMOVED AT THE REQUEST OF THE ATTORNEY.



LEGEND

POB	POINT OF BEGINNING	(P)	PER PLAT	TO	TOP OF GRADE ELEVATION
FIP	FOUND IRON PIPE	(M)	MEASURED	RM	RM ELEVATION
FIR	FOUND 5/8" IRON ROD	(C)	CALCULATED	INV	INVERT ELEVATION
SIR	SET 5/8" IRON ROD W/2" LB. #5151	(D)	PER DEED	ELEV	ELEVATION
FCM	FOUND 4" x 4" CONCRETE MONUMENT	(EA)	TEMPORARY EASEMENT AGREEMENT	A/C	AIR CONDITIONING UNIT
SCM	SET CONCRETE MONUMENT W/ALUMINUM DISK, L.B.# 5151	(T)	PER TITLE COMMITMENT	PL	PLUMBING
FKK	FOUND PARKER KALON NAIL	(R)	RIGHT-OF-WAY	CB	CONCRETE
SMN	SET MAG NAIL W/BRASS DISK, L.B.# 5151	(R.O.W.)	RIGHT-OF-WAY	CHW	CONCRETE HEAD WALL
FDH	FOUND DRILL HOLE	(EOP)	EDGE OF PAVEMENT	C	CENTRALINE
SDH	SET DRILL HOLE	(U.E.)	UTILITY EASEMENT	CMP	CORRUGATED METAL PIPE
FMN	FOUND MAG NAIL	(L.B.)	LOCKED BUSINESS PROFESSIONAL SURVEYOR AND MAPPER	CPP	CORRUGATED PLASTIC PIPE
FND	FOUND	(P.S.M.)	PROFESSIONAL SURVEYOR AND MAPPER	FPL	FLUOROK POLYMER & LIGHT
SMN	SET MAG NAIL W/BRASS DISK, L.B.# 5151	(S.P.C.)	STATE PLANE COORDINATES	FW	FLUOROK POLYMER & LIGHT
		(C.F.)	CHAIN LINK FENCE	W	WELL

GradyMinor
Civil Engineers • Land Surveyors • Planners • Landscape Architects
Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151
Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.690.4380

DRAWN BY:	AH	BOUNDARY SURVEY	
CHECKED BY:	DLS		
JOB CODE:	BSSG	TRACT A, TRACT 4 AND TRACT 10 BONITA SPRINGS COUNTRY CLUB UNIT 2 PLAT BOOK 30, PAGES 128-132	
SCALE:	1" = 80'		
DATE:	21 MAY 2018	LYING IN SECTION 23, TOWNSHIP 47 SOUTH, RANGE 25 EAST LEE COUNTY, FLORIDA	
FILE:	20-144-BS.SOUTH.DWG		
SHEET:	2 of 2	NOT COMPLETE WITHOUT SHEETS 1-2 OF 2	

G:\SURVEY\PROJECT SURVEY 2020\144 - BONITA GOLF COURSE\SURVEY\20-144-BS SOUTH.DWG

Bonita Springs Golf Course RPD Rezone

Exhibit II-B-3 Plat Book 30 Page 128 - 132

BONITA SPRINGS COUNTRY CLUB UNIT 2

Plat Book 30 Page 128

Sheet 1 of 5

REPLAT OF HELFENSTEIN ESTATES LOTS 28, 29, 30, 31, 32, 33 & 34 PLAT BOOK 8 P. 40 & PART OF SECTION 14 & 22

A SUBDIVISION IN SECTION 14, 22 & 23

TOWNSHIP 47 S, RANGE 25 E
LEE COUNTY, FLORIDA.

ENGINEER
D.C. BARBOT & ASSOC.
FORT MYERS, FLORIDA

NOVEMBER, 1977

LEGAL DESCRIPTION

A TRACT OR PARCEL OF LAND LYING IN SECTIONS 14, 22 & 23, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING LOTS 28 THROUGH 34 OF HELFENSTEIN ESTATES PLAT BOOK 8, PAGE 40 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA AND CONTIGUOUS UNPLATTED PARCELS IN SECTIONS 14 & 22;

MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE SOUTHEAST CORNER OF SECTION 22, TOWNSHIP 47 SOUTH, RANGE 25 EAST, RUN NORTH 0° 00' 00" EAST ALONG THE EAST LINE OF SAID SECTION 22, FOR 638.46 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 0° 00' 00" EAST ALONG THE EAST LINE OF SAID SECTION 22 FOR 243.55 FEET; THENCE RUN SOUTH 45° 32' 45" WEST FOR 757.56 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF US 41; THENCE RUN NORTH 44° 27' 15" WEST ALONG SAID RIGHT-OF-WAY LINE FOR 380.00 FEET; THENCE RUN NORTH 45° 32' 45" EAST PERPENDICULAR TO SAID RIGHT-OF-WAY FOR 1130.39 FEET TO THE EASTERLY LINE OF SECTION 22, ALSO BEING THE WESTERLY LINE OF SECTION 23; THENCE RUN NORTH 00° 00' 00" EAST ALONG SAID SECTION LINE FOR 1232.51 FEET; THENCE RUN NORTH 0° 17' 50" WEST FOR 2671.94 FEET TO THE NORTHWEST CORNER OF SECTION 23 AND ALSO BEING THE SOUTHWEST CORNER OF SECTION 14, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN NORTH 0° 47' 57" EAST ALONG THE WESTERLY LINE OF SECTION 14 FOR 666.54 FEET; THENCE RUN NORTH 88° 03' 31" EAST FOR 674.93 FEET; THENCE RUN SOUTH 0° 44' 16" WEST FOR 659.91 FEET TO THE SOUTH LINE OF SECTION 14 ALSO BEING THE NORTH LINE OF SECTION 23 TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE RUN NORTH 87° 29' 57" EAST ALONG THE NORTH LINE OF SECTION 23 FOR 651.45 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF PARADISE ROAD; THENCE RUN SOUTH 0° 11' 13" WEST ALONG THE WESTERLY LINE OF SAID RIGHT-OF-WAY FOR 4594.71 FEET; THENCE RUN SOUTH 83° 41' 05" WEST FOR 1305.11 FEET TO THE WESTERLY LINE OF SECTION 23 AND THE POINT OF BEGINNING, CONTAINING 154.78 ACRES MORE OR LESS.

1070043

CERTIFICATE OF CLERK:

I HEREBY CERTIFY THAT THE ATTACHED PLAT OF BONITA SPRINGS COUNTRY CLUB UNIT 2 HAS BEEN EXAMINED BY ME AND FROM MY EXAMINATION I FIND THAT SAID PLAT COMPLIES IN FORM WITH THE REQUIREMENTS OF CHAPTER 177, LAWS OF FLORIDA. I FURTHER CERTIFY THAT THIS PLAT WAS FILED FOR RECORD AT 4:53 P.M. THIS 14th DAY OF February A.D. 1978 AND DULY RECORDED IN PLAT BOOK 30 AT PAGES 127-128 PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

Sal Geraci
CLERK OF THE CIRCUIT COURT IN
AND FOR LEE COUNTY FLORIDA.

EASEMENT DEDICATIONS:

THE OWNERS OF THIS PLAT DO HEREBY DEDICATE EASEMENTS ALONG EACH BOUNDARY OF EACH LOT FOR COUNTY DRAINAGE PURPOSES AND PUBLIC UTILITIES. SAID EASEMENTS TO BE 6.0 FEET EACH SIDE OF SAID BOUNDARY UNLESS OTHERWISE SHOWN.

APPROVALS:

THIS PLAT ACCEPTED THIS 8th DAY OF February A.D. 1978 IN OPEN MEETING OF THE BOARD OF COUNTY COMMISSIONERS OF LEE COUNTY, FLORIDA.

Robert A. ...
APPROVED: CHAIRMAN

Sal Geraci
ATTEST: CLERK

Robert A. ...
APPROVED: COUNTY ENGINEER

James Yaeger
APPROVED: COUNTY ATTORNEY

SURVEYORS NOTES:

- (R) DENOTES RADIAL LINES
 - DENOTES P.R.M. (PERMANENT REFERENCE MONUMENT)
 - DENOTES P.C.P. (PERMANENT CONTROL POINT)
 - DENOTES CONCRETE MONUMENT
- BEARINGS SHOWN ARE PLANE COORDINATE FOR FLORIDA WEST ZONE

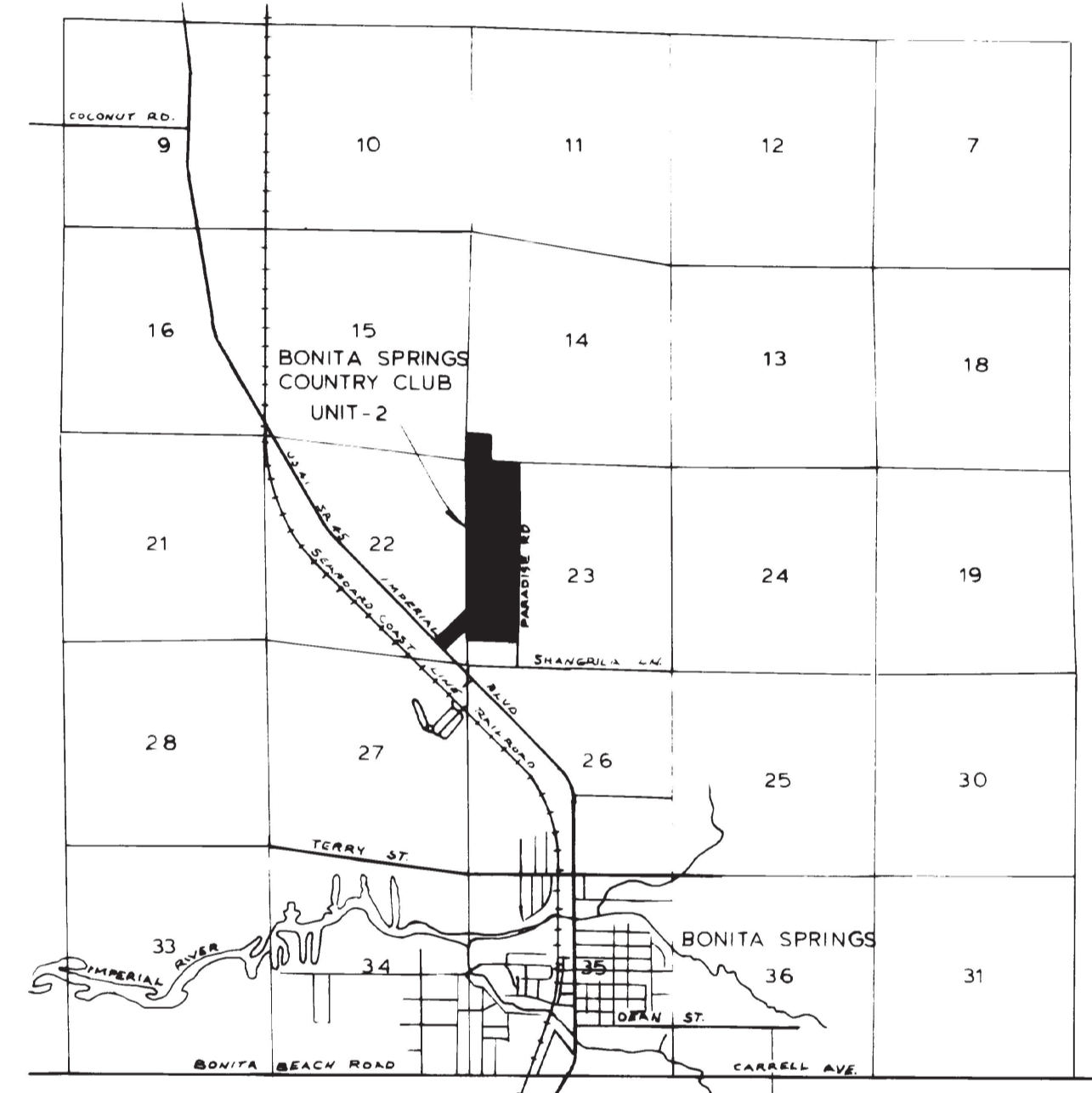
SURVEYORS CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED PLAT OF BONITA SPRINGS COUNTRY CLUB UNIT 2 IS A TRUE AND CORRECT REPRESENTATION OF THE HEREIN DESCRIBED LAND ACCORDING TO A RECENT SURVEY MADE AND PLATTED UNDER MY DIRECTION AND SUPERVISION AND THAT THE SURVEY DATA COMPLIES WITH ALL REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES.

(SEAL)



William R. Allen
REGISTERED LAND SURVEYOR
CERTIFICATION NUMBER 1258



LOCATION MAP
1" = 4000'-0"



Petition to Vacate
Petition No: 93-15
Description: 12ft drainage & public utility easements. See CCMB
Date of Approval: 06/30/93
Resolution No: 93-06-43
CCMB: 1993R Page: 498
Recorded on: 7/20/93 OR Book: 2407
Page: 3000-3002

**BONITA SPRINGS COUNTRY CLUB
UNIT 2**

**REPLAT OF HELFENSTEIN ESTATES
LOTS 28, 29, 30, 31, 32, 33 & 34 PLAT BOOK 8 P. 40 & PART OF SECTION 14 & 22**

A SUBDIVISION IN SECTION 14, 22 & 23

**TOWNSHIP 47 S, RANGE 25 E
LEE COUNTY, FLORIDA.**

ENGINEER
D.C. BARBOT & ASSOC.
FORT MYERS, FLORIDA

NOVEMBER, 1977

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT HENRY MINSTER MORTGAGEE OF THE HEREON DESCRIBED LAND, DOES HEREBY JOIN AND CAUSE THIS PLAT OF BONITA SPRINGS COUNTRY CLUB UNIT 2 TO BE MADE AND HEREBY DEDICATE TO THE PERPETUAL USE OF THE PUBLIC ALL STREETS, RIGHTS OF WAY AND DRAINAGE EASEMENTS SHOWN, HEREBY REVOKING, VACATING AND ABROGATING ANY PLAT OR PLATS OF ANY SAID LANDS HERETOFORE MADE. PUBLIC RECORDS OF LEE COUNTY, FLORIDA, IN OFFICIAL RECORD BOOK 1072, PAGE 1965, JANUARY 3, 1975.

H. Stewart
WITNESS

BY *Henry Minster*
HENRY MINSTER

William P. Collins
WITNESS

ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF LEE

I HEREBY CERTIFY THAT ON THIS DAY BEFORE ME, AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGMENTS, PERSONALLY APPEARED HENRY MINSTER TO ME KNOWN TO BE THE PERSON EXECUTED THE FOREGOING DEDICATION AS MORTGAGEE OF BONITA SPRINGS COUNTRY CLUB UNIT 2 FOR THE PURPOSES THEREIN SET FORTH. WITNESS MY HAND AND OFFICIAL SEAL AT FORT MYERS, SAID COUNTY AND STATE, THIS 23 DAY OF Nov, A.D., 1977.

(SEAL)

Gloria J. Welch
NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES March 14, 1977

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT BONITA SPRINGS GOLF AND COUNTRY CLUB, A LIMITED PARTNERSHIP AND MORTGAGOR OF THE HEREON DESCRIBED LAND, DOES HEREBY JOIN AND CAUSE THIS PLAT OF BONITA SPRINGS COUNTRY CLUB UNIT 2 TO BE MADE AND HEREBY DEDICATE TO THE PERPETUAL USE OF THE PUBLIC ALL STREETS, RIGHTS OF WAY AND DRAINAGE EASEMENTS SHOWN, HEREBY REVOKING VACATING AND ABROGATING ANY PLAT OR PLATS OF ANY SAID LANDS HERETOFORE MADE.

H. Stewart
WITNESS

BY *William Maddox*
WILLIAM MADDOX

Sophie Andreassen
WITNESS

ACKNOWLEDGMENT

STATE OF FLORIDA
COUNTY OF LEE

I HEREBY CERTIFY THAT ON THIS DAY BEFORE ME AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGMENTS PERSONALLY APPEARED WILLIAM MADDOX, TO ME KNOWN TO BE THE PERSON EXECUTED THE FOREGOING DEDICATION AS PARTNER AND MORTGAGEE OF BONITA SPRINGS COUNTRY CLUB UNIT 2 FOR THE PURPOSES THEREIN SET FORTH. WITNESS MY HAND AND OFFICIAL SEAL AT FORT MYERS, SAID COUNTY AND STATE, THIS 21 DAY OF Nov, A.D., 1977.

(SEAL)

Sophie Andreassen
NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES SEP 18, 1981

NOTICE

"LANDS DESCRIBED IN THIS PLAT ARE SUBDIVIDED BY THE DEVELOPER WITHOUT THE ROADS, DRAINAGE AND SEWAGE FACILITIES BEING SPECIFICALLY APPROVED OR ACCEPTED BY LEE COUNTY. ANY PURCHASER OF A LOT IN THIS SUBDIVISION IS ADVISED THAT HE MAY BE SUBJECT TO ASSESSMENT OR CALLED UPON TO BEAR A PORTION OF OR ALL OF THE EXPENSE OF CONSTRUCTION, MAINTENANCE OR IMPROVEMENT OF ROADS, DRAINAGE AND SEWAGE FACILITIES WITHIN THE SUBDIVISION."

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT FIRST NATIONAL BANK OF BONITA SPRINGS FLORIDA MORTGAGEE OF THE HEREON DESCRIBED LAND DOES HEREBY JOIN AND CAUSE THIS PLAT OF BONITA SPRINGS COUNTRY CLUB UNIT 2 TO BE MADE AND HEREBY DEDICATE TO THE PERPETUAL USE OF THE PUBLIC ALL STREETS, RIGHTS OF WAY AND DRAINAGE EASEMENTS SHOWN, HEREBY REVOKING VACATING AND ABROGATING ANY PLAT OR PLATS OF ANY SAID LANDS HERETOFORE MADE. PUBLIC RECORD OF LEE COUNTY, FLORIDA, IN OFFICIAL RECORD BOOK 1204, PAGE 883, JUNE 9, 1977.

Sophie Andreassen
WITNESS

BY: *John L. Raney*
JOHN L. RANEY

H. Stewart
WITNESS

ACKNOWLEDGMENT

STATE OF FLORIDA
COUNTY OF LEE

I HEREBY CERTIFY THAT ON THIS DAY BEFORE ME AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGMENTS PERSONALLY APPEARED JOHN L. RANEY TO ME KNOWN TO BE THE PERSON EXECUTED THE FOREGOING DEDICATION AS MORTGAGEE OF BONITA SPRINGS COUNTRY CLUB UNIT 2 FOR THE PURPOSES THEREIN SET FORTH. WITNESS MY HAND AND OFFICIAL SEAL AT FORT MYERS SAID COUNTY AND STATE, THIS 21 DAY OF Nov, A.D., 1977.

(SEAL)

Sophie Andreassen
NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES SEP 18, 1981

**BONITA SPRINGS COUNTRY CLUB
UNIT 2**

**REPLAT OF HELFENSTEIN ESTATES
LOTS 28, 29, 30, 31, 32, 33 & 34 PLAT BOOK 8 P. 40 & PART OF SECTION 14 & 22**

A SUBDIVISION IN SECTION 14, 22 & 23

**TOWNSHIP 47 S, RANGE 25 E
LEE COUNTY, FLORIDA.**

ENGINEER
D.C. BARBOT & ASSOC.
FORT MYERS, FLORIDA

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT HENRY M MINSTER MORTGAGEE OF THE HEREON DESCRIBED LAND, DOES HEREBY JOIN AND CAUSE THIS PLAT OF BONITA SPRINGS COUNTRY CLUB UNIT 2 TO BE MADE AND HEREBY DEDICATE TO THE PERPETUAL USE OF THE PUBLIC ALL STREETS, RIGHTS OF WAY AND DRAINAGE EASEMENTS SHOWN HEREBY REVOKING, VACATING AND ABROGATING ANY PLAT OR PLATS OF ANY SAID LANDS HERETOFORE MADE. PUBLIC RECORDS OF LEE COUNTY FLORIDA IN OFFICAL RECORD BOOK 1210, PAGE 864, JULY 12, 1977.

K. Stewart
WITNESS

BY: *Henry M. Minster*
HENRY MINSTER

William P. McCallan
WITNESS

ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF LEE

I HEREBY CERTIFY THAT ON THIS DAY BEFORE ME, AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGMENTS PERSONALLY APPEARED HENRY MINSTER TO ME KNOWN TO BE THE PERSON EXECUTED THE FOREGOING DEDICATION AS MORTGAGEE OF BONITA SPRINGS COUNTRY CLUB UNIT 2 FOR THE PURPOSES THEREIN SET FORTH WITNESS MY HAND AND OFFICIAL SEAL AT FORT MYERS SAID COUNTY AND STATE THIS 21 DAY OF February, A.D., 1978.

Gloria J. Welch
NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES Mar. 16, 1979



DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT ROY W EVANS MORTGEE OF THE HEREON DESCRIBED LAND, DOES HEREBY JOIN AND CAUSE THIS PLAT OF BONITA SPRINGS COUNTRY CLUB UNIT 2 TO BE MADE AND HEREBY DEDICATE TO THE PERPETUAL USE OF THE PUBLIC ALL STREETS, RIGHTS OF WAY AND DRAINAGE EASEMENTS SHOWN, HEREBY REVOKING, VACATING AND ABROGATING ANY PLAT OR PLATS OF ANY SAID LANDS HERETOFORE MADE. PUBLIC RECORDS OF LEE COUNTY, FLORIDA IN OFFICAL RECORD BOOK 1225, PAGE 1602, SEPTEMBER 20, 1977.

Robert J. Smith
WITNESS

BY: *Roy W. Evans*
ROY W. EVANS

William P. McCallan
WITNESS

ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OF LEE

I HEREBY CERTIFY THAT ON THIS DAY BEFORE ME, AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGMENTS PERSONALLY APPEARED ROY W EVANS TO ME KNOWN TO BE THE PERSON EXECUTED THE FOREGOING DEDICATION AS MORTGAGEE OF BONITA SPRINGS COUNTRY CLUB UNIT 2 FOR THE PURPOSES THEREIN SET FORTH WITNESS MY HAND AND OFFICIAL SEAL AT FORT MYERS, SAID COUNTY AND STATE, THIS 7th DAY OF February, A.D., 1978.

Gloria J. Welch
NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES Mar. 16, 1979



BONITA SPRINGS COUNTRY CLUB UNIT 2

Plat Book 30 Page 131

Sheet 4 of 5

REPLAT OF HELFENSTEIN ESTATES LOTS 28, 29, 30, 31, 32, 33 & 34 PLAT BOOK 8 P. 40 & PART OF SECTION 14 & 22

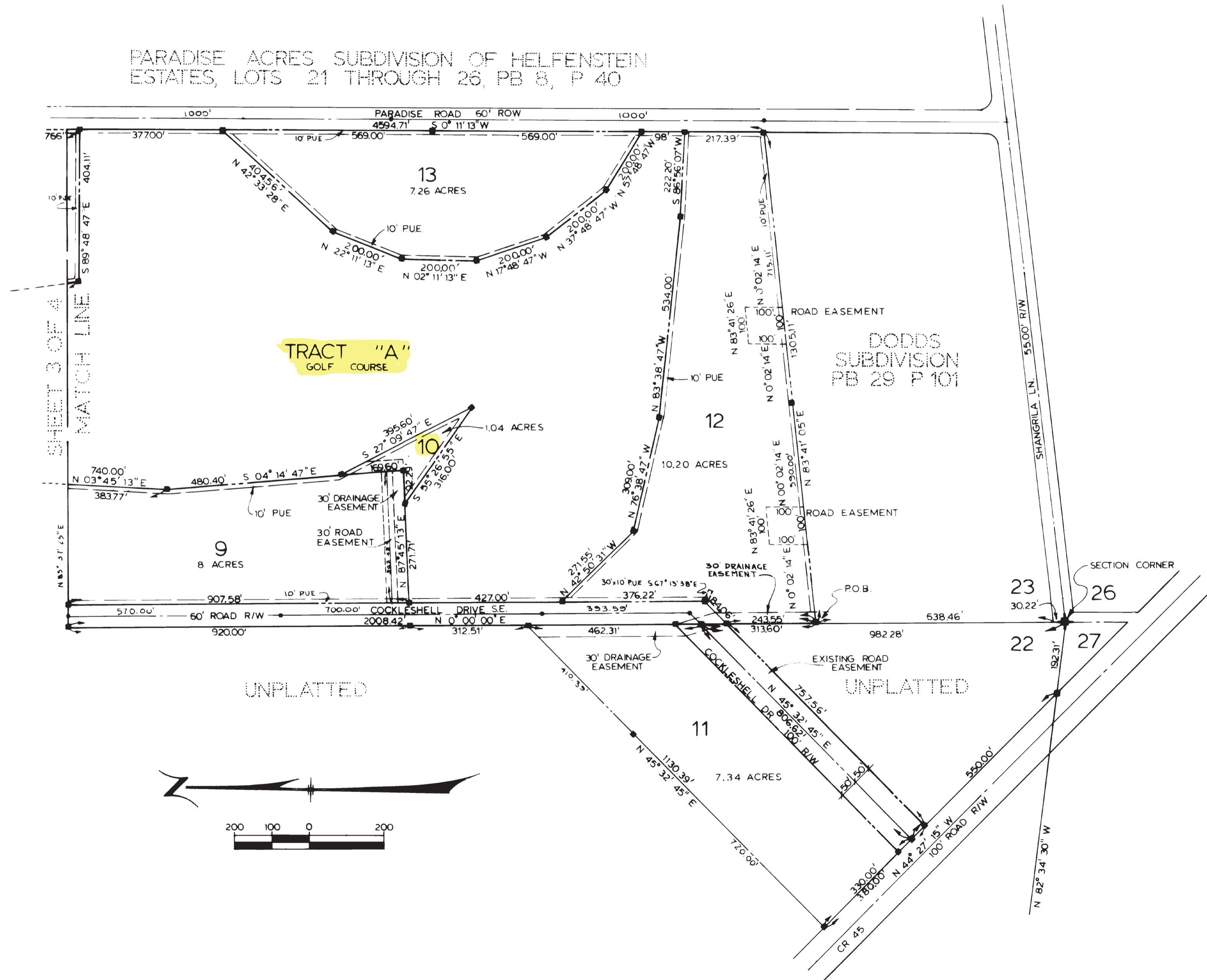
A SUBDIVISION IN SECTION 14, 22 & 23

TOWNSHIP 47 S, RANGE 25 E
LEE COUNTY, FLORIDA.

ENGINEER
D.C. BARBOT & ASSOC.
FORT MYERS, FLORIDA

SCALE: 1"=200'-0"

NOVEMBER, 1977



BONITA SPRINGS COUNTRY CLUB

UNIT 2

REPLAT OF HELFENSTEIN ESTATES
LOTS 28, 29, 30, 31, 32, 33 & 34 PLAT BOOK 8 P. 40 & PART OF SECTION 14 & 22

A SUBDIVISION IN SECTION 14, 22 & 23

TOWNSHIP 47 S, RANGE 25 E
LEE COUNTY, FLORIDA.

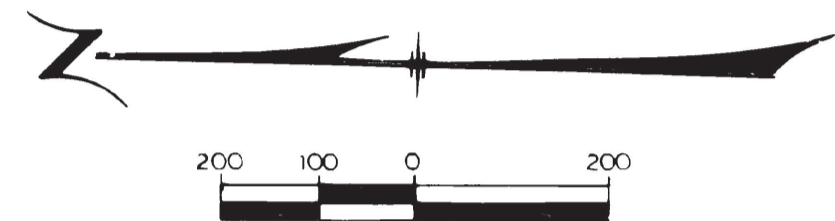
ENGINEER
D.C. BARBOT & ASSOC.

FORT MYERS, FLORIDA

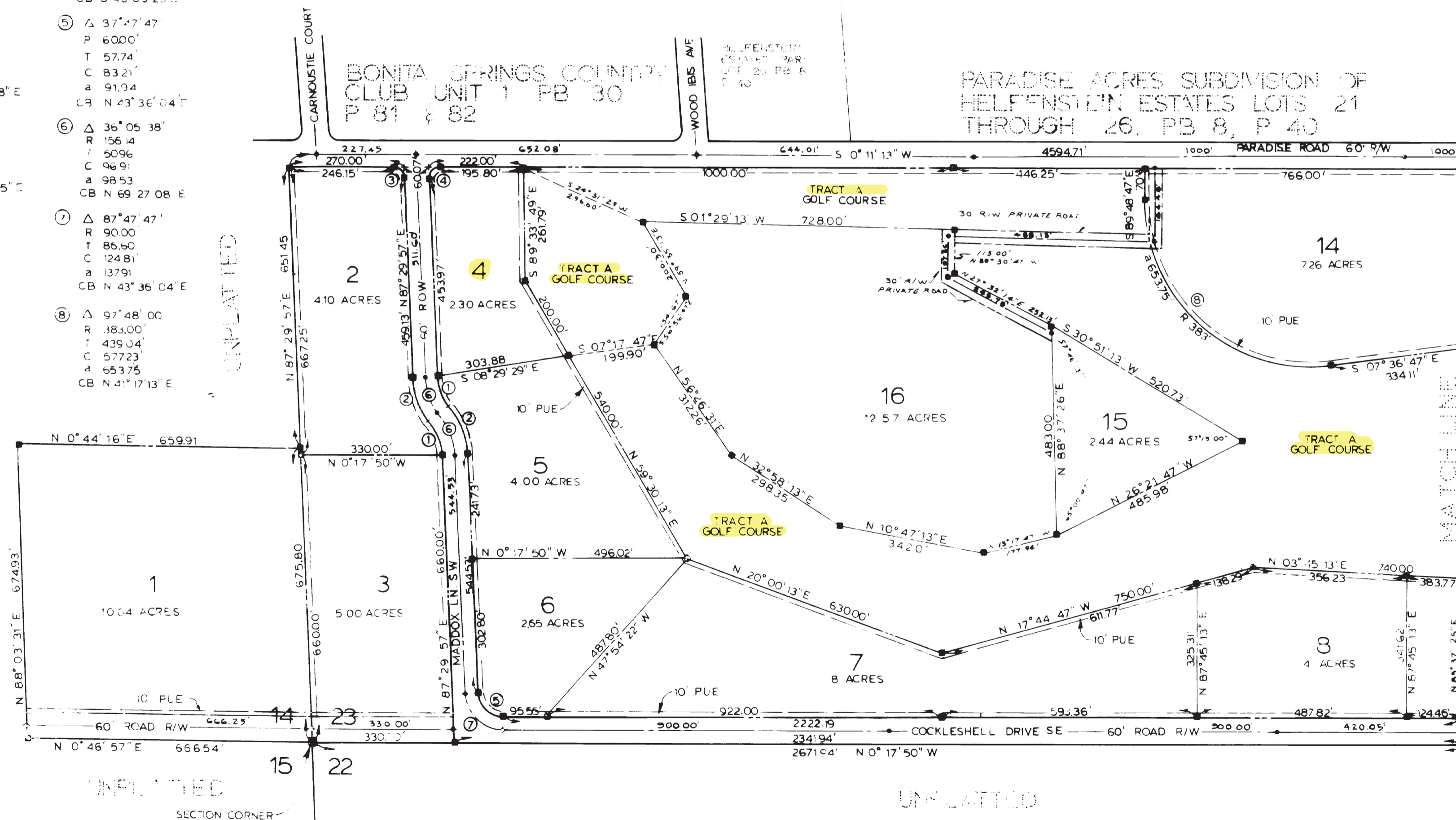
SCALE 1"=200'-0"

NOVEMBER, 1977

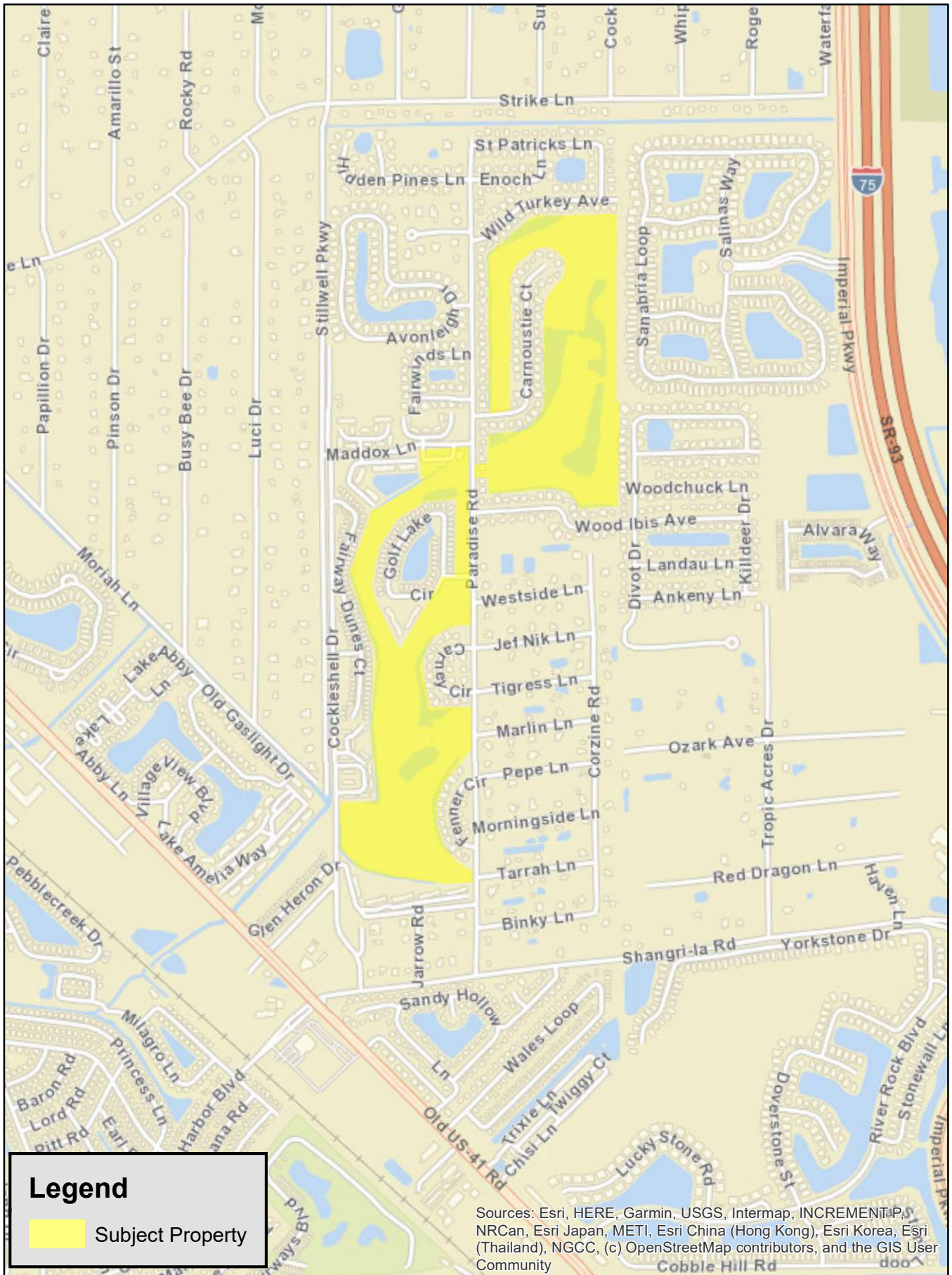
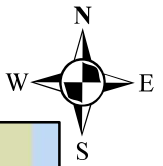
Petition to Vacate
Petition No:88-14
Description:30ft wide private road to be vacated
Date of Approval:10/30/88
Resolution No:88-7-21




- ① Δ 36°05'38"
R 120.41'
T 41.9'
C 78.32'
a 79.63'
CB N 69°27'08"E
- ② Δ 36°05'38"
R 162.41'
T 60.74'
C 115.50'
a 117.43'
CB N 69°27'08"E
- ③ Δ 36°05'38"
R 210.51'
T 81.05'
C 152.52'
a 158.10'
CB N 69°27'08"E
- ④ Δ 92°41'16"
P 25.00'
T 26.20'
C 36.17'
a 40.44'
CB S 46°09'25"E
- ⑤ Δ 37°47'47"
P 60.00'
T 57.74'
C 83.21'
a 91.94'
CB N 43°36'04"E
- ⑥ Δ 36°05'38"
R 156.14'
T 50.96'
C 96.91'
a 98.53'
CB N 69°27'08"E
- ⑦ Δ 87°47'47"
R 90.00'
T 86.60'
C 124.81'
a 137.91'
CB N 43°36'04"E
- ⑧ Δ 97°48'00"
R 383.00'
T 439.04'
C 577.23'
a 653.75'
CB N 41°17'13"E



Bonita Springs Golf Course RPD Exhibit II-D Area Location Map



Legend

 Subject Property

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community



Bonita Springs Golf Course RPD Rezone

Exhibit II-E-2 – Narrative how complies with comp plan Exhibit IV-D – Description of proposed development

The Applicant proposes to obtain an RPD that permits redevelopment of the defunct Bonita Springs golf course property. The request is a change from the current zoning of RS-1 and RM-2 to an RPD that permits up to 500 residential dwelling units of varying unit types including single family, detached and attached, two-family attached, multiple family and townhouse.

The applicant conducted the required neighborhood informational meeting. This application addresses the criteria for redeveloping a golf course as required in LDC Section 4-2312.

The subject properties are located in two Future Land Use Element (FLUE) categories. The **North** Parcel is approximately 56.2± acres and is located in the Moderate Density Residential Future Land Use Category (Policy 1.1.7).

Policy 1.1.7: Moderate Density Residential - Intended to accommodate and preserve single-family residential development at a maximum density of up to 5.8 dwelling units per gross acre and approximately 1,977 acres of gross land area in the land use category; planned unit developments at a maximum density of six units per acre; group homes and foster care facilities; public schools and other public, semi-public and recreational uses on a limited basis.

- a. *Appropriate residential housing types include conventional and modular constructed single-family homes on permanent foundations.*
- b. *Maximum allowable height of structures shall be 35 feet from the base flood elevation to the eaves.*

This FLUE category permits residential densities at 6 du/acre for a planned development. This would permit a maximum of 337 dwelling units on this portion of the property. The north parcel proposes only single family attached and detached residences and two-family (twin villa) consistent with this policy.

The **South** Parcel is approximately 56.8± acres and is designated Medium Density Multifamily Residential (Policy 1.1.8.1).

Policy 1.1.8.1: Medium Density Multi-Family Residential - Intended to accommodate multi-family, modular and manufactured housing, and existing mobile home and recreational vehicle parks up to a maximum density of 10 units per gross acre and approximately 1,341 acres of gross land area in the land use category; group homes and foster care facilities, public schools and other public, semi-public and recreational uses on a limited basis. This land use category is applied primarily to existing properties developed with multi-family or mobile

home/recreational vehicle parks located within the Coastal Management Area (CMA), or lands formerly afforded a land use designation of Urban Community in the Lee Plan, or properties adjacent to existing or planned major roadways.

- a. Appropriate residential housing types include conventional and modular constructed single-family and duplex structures, on permanent foundations, cluster housing, zero lot line, townhouses, multi-family structures, and mobile homes or recreational vehicles in existing mobile home or recreational vehicle parks.*
- b. Residential density shall be limited to not more than six units dwelling units per acre. If affordable housing is provided, residential density may be increased by up to four additional dwelling units per acre. This density range is consistent with the density previously afforded under the Urban Community land use designation in the Lee Plan.*
- c. Commercial uses may be appropriate provided they are primarily intended to serve the residents of a mixed use project and are sensitive to nearby residential uses.*
- d. Maximum allowable height of structures shall be 75 feet from the base flood elevation to the eaves, except that no new structures or modification of existing structures located on the islands west of the mainland may be constructed in excess of 35 feet in height.*

This FLUE category permits a maximum density of 6 du/acre. This would permit a maximum of 340 dwelling units on this portion of the property. This south parcel will permit a variety of dwelling unit types including single family, two family, townhome and multi-family.

Both land use categories permit single-family dwellings consistent with the FLUE as well as duplex and townhomes. The 113± acre project would permit a maximum of over 670 dwelling units. The proposed 500 dwellings are well within the density permissible under the two FLUE designations.

The RPD proposes a variety of dwelling unit types and accessory uses.

There are no level of service issues of note in the vicinity, and all public facilities are available to serve the RPD. A traffic analysis has been submitted in support of the RPD application. Minor intersection improvements will be required and are further addressed in the TIS.

Deviations have been requested in order to develop the property consistent with the Master Concept Plan and neighborhood comments.

As mentioned briefly above in the first paragraph, a neighborhood information meeting was held by the applicant at the Bonita Fire and Rescue District Station, Bonita Grande Drive, on September 10, 2020. The proposed Master Plan and RPD standards are consistent with the

discussion at the information meeting. At the informational meeting, residents made several comments and suggestions for the applicant to consider in the development plans for the property.

The proposed RPD is compatible with the surrounding single-family dwellings, and less intensive than the surrounding three-story condominiums. The RPD as proposed is consistent with the City's Comprehensive Plan and criteria for rezoning. Public facilities are available at the project site consistent with the Goals, Objectives and Policies of the Infrastructure Element. The attached Traffic Analysis demonstrates there are no roadway level of service issues consistent with the Transportation Element.

The Bonita Springs Land Development Code (LDC) Section 4-2312 provides the standards to be utilized when redeveloping a golf course to another use. Allowable uses are limited to dwelling units, residential accessory uses and community gardens. The proposed RPD proposes only residential dwelling units and accessory uses. A full range of single family, two-family, townhouse and multi-family dwellings are proposed, and development standards have been included for each dwelling unit type. The north parcel will be limited to single family detached and two-family attached dwelling unit types. The south parcel will provide for development of all types of residential dwelling units. Building heights are also limited to 35', consistent with the LDC.

The applicant is required to prepare a pre versus post development storm water runoff analysis. The applicant has prepared an extensive analysis which concludes that the redevelopment of the golf course as a residential planned development will have no detrimental effect on the surrounding properties. The on-site surface water management system will be permitted by the South Florida Water Management District and include a system of berms, swales and detention ponds that will control storm runoff before discharging to the existing drainage ditch with ultimate outfall to Spring Creek. The stormwater system will result in improvements to storm water conditions for surrounding properties. A minimum of 40% of the RPD will remain as open space.

Due to the irregular shape for portions of the property, it is not possible to meet the minimum buffer of 50' in width between any redevelopment and the surrounding neighborhood in all instances. The proposed buffers exceed typical buffer standards for a residential development. The LDC does provide for a reduced buffer where a 12' trail or pathway is provided within the property. The RPD master plan demonstrates the proposed buffer widths and the approximate location of the proposed 12' wide pathway.

The proposed RPD is consistent with LDC Section 4-299, the findings necessary to rezone property in the City of Bonita Springs. The proposed 500-unit RPD proposes to permit dwelling units and accessory recreational amenities. The Bonita Springs Comprehensive Plan contemplated residential development in this area and would allow a maximum of over 670 dwelling units. The project lies within two future land use categories, both, which permit development. There are no locational or performance standards required in either future land use category. The property

is already zoned RS-1 and RM-2. The proposed RPD is consistent with the City of Bonita Springs Comprehensive Plan.

Surrounding development consists primarily of single-family residential development and some multi-family residential development adjacent to the southernmost portion of the RPD. The RPD proposes dwelling units which are a compatible with the existing uses and represents a development pattern consistent with existing conditions in the neighborhood and throughout the City. The master concept plan generally identifies where residential units will be located, as well as potential locations for buffers and open space. As noted above, the applicant conducted an informational meeting with the neighborhood prior to the RPD application submittal, and the plan has incorporated several of their comments into this RPD application. For example, several residents requested that where possible, the applicant should utilize landscaped buffer areas and water management features as buffers to surrounding homes in lieu of solid walls.

The approval of the proposed RPD will not place an undue burden on existing transportation or other infrastructure. The RPD application is supported with a traffic analysis prepared by a licensed traffic engineer. The TIS concludes that the proposed number of units, which is a maximum density of under 4 dwelling units per acre, will have no adverse impact to the permissible level of service. This is consistent with Transportation Element Goal 1 and Policy 1.1.3. The applicant has created a plan that further reduces direct driveway access to the existing public roadway network, which was another request of the neighboring residents and City Public Works staff. The applicant has also volunteered to work with City staff during the Development Order review, to determine whether traffic calming measures at strategic locations along the public roadway network can be implemented which will address the resident concerns about traffic speeds.

The defunct golf course site was cleared, filled and resculpted for the golf course. Goal 4 and Objective 4.1 seek to preserve environmentally critical areas within the City. There are scattered clusters of pine and oak trees on portions of the site. The RPD Master Plan incorporates these areas into buffers where possible. There are no environmentally critical areas located on the former golf course property. This property is not within the Coastal Management Area or Coastal High Hazard Area on the Future Land Use Map series. A listed species survey has been prepared and no endangered or threatened species were observed on the property. The proposed RPD is consistent with the Conservation and Coastal Management Element of the Bonita Springs Comprehensive Plan. There are some existing pine and oak trees on the property and the applicant has worked with staff and the neighborhood to identify some of these native trees to be saved, although the Land Development Code does not require their preservation. One very small and highly degraded wetland exists on the property and this area will be impacted as part of the residential development. The ecological value of this small, degraded area is nominal, and the reviewing agencies agree that there is no economic benefit to preserve this area.

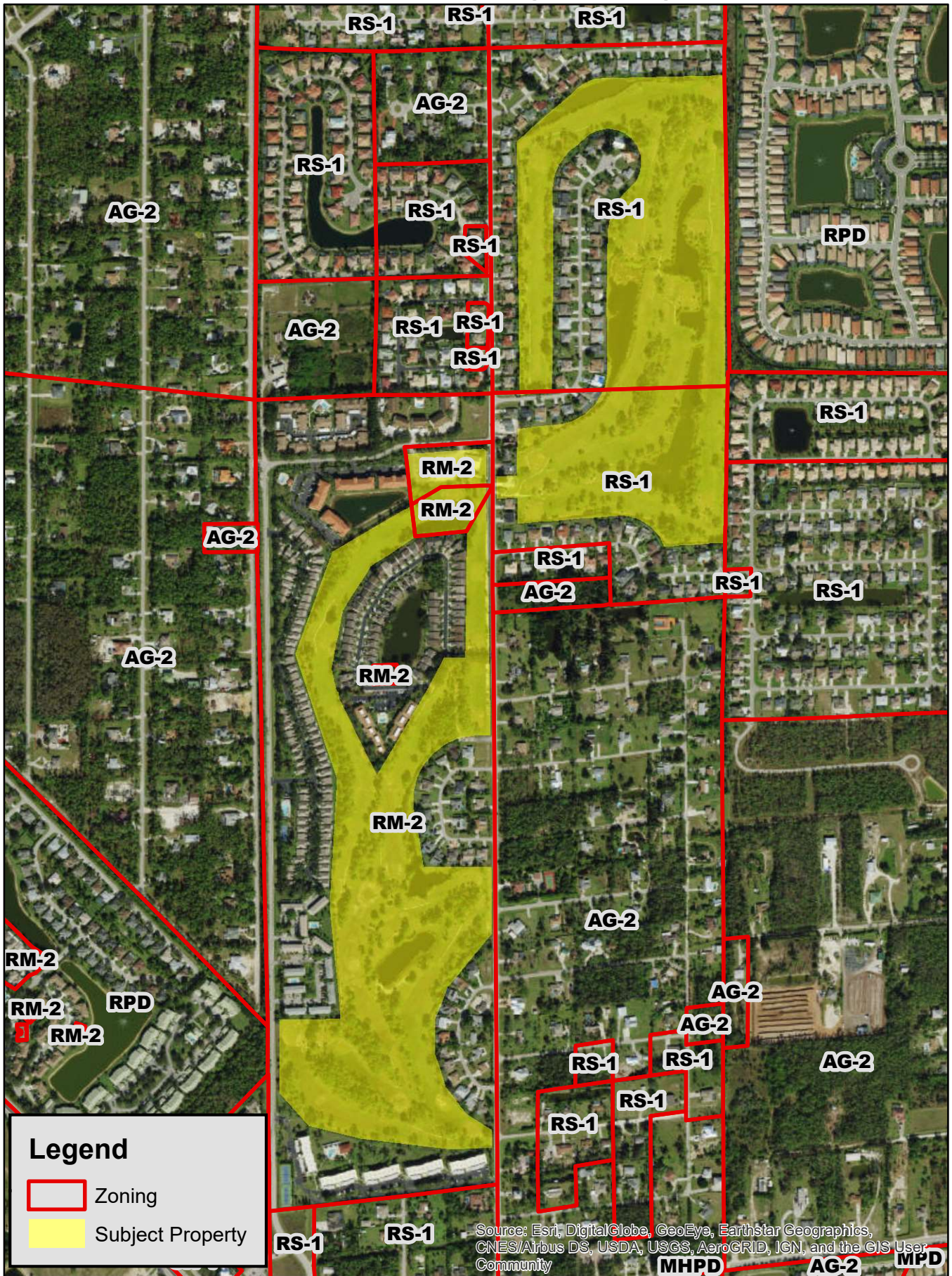
The site has urban services including water and sewer services available at the site. The applicant has been coordinating with Bonita Springs Utilities to ensure that services meet the current design standards of the utility provider. The applicant is also working with City Engineering staff

to evaluate localized historic flooding that occurs in the vicinity of the project. The applicant has analyzed the storm water management system for the project to incorporate features to alleviate some of the localized flooding. A pre vs. post drainage analysis has been prepared as required in the LDC.

The staff and applicant will work to prepare any necessary and reasonable conditions for the RPD and master concept plan to ensure that the resulting development is compatible with surrounding development and that any local engineering and planning issues are appropriately addressed. The approved zoning ordinance will incorporate these conditions.

The project proposes deviations. Some of the deviations are necessary in order to appropriately address requests from the neighbors such as stormwater management, setbacks and installation of landscape buffers in order to minimize vehicular impacts to views from neighboring properties. The deviations as proposed have no negative impact to health, safety and welfare to the community. The applicant has proposed one deviation relating to the provision of a single point of access to the North Parcel, but this is proposed to address a major concern of the neighbors about impacts to the North Parcel. The deviation has been requested and the applicant and staff concur that a single access point may be the only feasible means for ingress/egress given the nature of surrounding development. A potential secondary access point is shown on Carnoustie Ct.

Bonita Springs Golf Course RPD Exhibit II-F-3 Existing Zoning Map





LEGEND

DESIGNED BY:
GMA
DRAWN BY:
S.U.
APPROVED:
D.W.A.
JOB CODE:
BCBSCC-20
SCALE:
1" = 400'



Civil Engineers • Land Surveyors • Planners • Landscape Architects
 Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151 Business LC 26000266
 Bonita Springs: 239.947.1144 Fort Myers: 239.690.4380
 www.GradyMinor.com
 Page 220 of 1014

O. Grady Minor and Associates, P.A.
 3800 Via Del Roy
 Bonita Springs, Florida 34134

BONITA SPRINGS GOLF COURSE RPD

**EXHIBIT II-F-3
 CURRENT LAND USE**

MUNICIPALITY:
BONITA SPRINGS
 SEC/TWN/RGE:
23/47S/25E
 DATE:
OCTOBER 2020
 SUBMITTAL TYPE:
RPD REZONE
 SHEET
OF 1



BONITA SPRINGS GOLF COURSE LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA

PREPARED BY:

PENINSULA ENGINEERING
2600 GOLDEN GATE PARKWAY
NAPLES, FL 34105

MARCH 2021

A handwritten signature in blue ink, appearing to read 'Bruce Layman', is written over a horizontal line.

BRUCE LAYMAN, CE, PWS



BONITA SPRINGS GOLF COURSE
LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA

TABLE OF CONTENTS

- 1. INTRODUCTION 3
- 2. PROJECT METHODOLOGY 3
 - 2.1. Listed Wildlife Survey 3
 - 2.2. Plant Survey 4
 - 2.3. Habitat/Vegetation Survey 4
- 3. SURVEY RESULTS 5
 - 3.1. Listed Wildlife Species Observed On-Site 5
 - 3.2. Listed Wildlife Species Not Observed On-Site But with Low to Moderate Probability of Occurring 5
 - 3.3. Other Listed Wildlife Species Warranting Consideration 6
 - 3.4. Heritage Trees and Listed Plant Species Observed On-Site 9
 - 3.5. Habitat/Vegetation Survey 9
- 4. SUMMARY 10
 - 4.1. Listed Plant & Wildlife Species 10
 - 4.2. Heritage Trees & Green/Landscaped Areas 10
- 5. REFERENCES CITED 11

TABLES

- Table 1 - Listed Species and Vegetation Survey Details 12
- Table 2 - Listed Plant and Wildlife Species Observed 12
- Table 3 - Non-listed Wildlife Species Observed 12
- Table 4 - Estimated Probability of Occurrence of Non-Observed Listed Faunal Species 13
- Table 5 - Estimated Probability of Occurrence of Non-Observed Listed Floral Species 13
- Table 6 - Existing Vegetative Associations and Land Uses 14

APPENDICES

Appendix A - Existing Vegetation Association & Land Use Descriptions

FIGURES

Figure 1 – FLUCCS and Listed Species Transect Exhibit



**BONITA SPRINGS GOLF COURSE
LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA**

1. INTRODUCTION

Peninsula Engineering, Inc. entered into a contractual agreement with BSGC Land Holdings, LLC to provide environmental services associated with a +/- 113-acre parcel of land (Project) known as Bonita Springs Golf Course located in Section 23, Township 47 South, Range 25 East, Lee County, Florida. The site is a defunct golf course that is bounded on all sides by existing single and multi-family residential neighborhoods east of Old 41 Road, south of Strike Lane, north of Shangrila Road and west of Interstate 75 in Bonita Springs.

A protected species survey was conducted on the project site, to update the findings of a protected species survey conducted by others in 2016 under the project name Bonita Del Sol, and is summarized herein to provide support documentation for local, state, and federal development review.

2. PROJECT METHODOLOGY

Peninsula Engineering conducted a survey of the Project site using a field methodology in general accordance with Florida Fish and Wildlife Conservation Commission (FWC) and Lee County standards. This survey was performed to document vegetation associations and to locate and document any listed plant or wildlife species that occur on the site during the survey period. The field survey for this project was conducted during September 2020 and the following information provides detailed project methodologies for the listed wildlife survey, the habitat/vegetation survey, and the listed plant species survey.

2.1. Listed Wildlife Survey

Prior to the listed species survey, color aerial imagery and a prior listed species survey conducted on the property, were reviewed to identify the habitats present on and adjacent to the site. Based on the habitat types identified and the results of the prior survey, a preliminary list of state and federal listed flora and fauna that could occur on the project site was prepared. Various publications and databases were also reviewed to identify listed plant and wildlife species that are regionally present and that could occur and those habitat types, including Appendix H, List of Protected Species, of the Lee County Land Development Code and the ecologist's 25+ years of personal experience of conducting listed species surveys in Collier and Lee Counties. Table 4 illustrates the composite list of potential species. FWC's *Florida's Imperiled Species Management Plan* (FWC 2016) was used to determine the "listed" state and federal status designation of wildlife species. *Notes on Florida's Endangered and Threatened Plants* was used to determine the status of listed plants (Weaver and Anderson, 2010).

Peninsula Engineering conducted a survey of the project site using a field methodology that was in general accordance with FWC and Lee County standards. Since a vast majority of the site was defunct but maintained (mowed) golf course fairways and greens, the open areas were surveyed with assistance from an open-sided all-terrain vehicle (i.e., a single-person quad). Brushy or forested areas were surveyed on foot. The field survey consisted of one biologist performing parallel meandering vehicular and pedestrian transects spaced as appropriate for the type of habitat, visibility limits, and density of vegetation. The approximate locations of the transects performed during the listed species and habitat survey are indicated on Figure 1 titled *Listed Species Transect Exhibit*.

LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA

Transects were conducted in the morning and afternoon hours in September totaling 12.5 hours of field time. Table 1 lists survey dates, times, weather conditions, biologist conducting survey, and field hours during the field survey. The field observer was equipped with a compass, aerials, wildlife and plant identification books, binoculars, and a field notebook. During listed species transects, the biologist periodically stopped, looked for wildlife, signs of wildlife, and listened for wildlife vocalizations. The approximate locations and abundance of observed listed species were mapped on aerials and recorded in a field notebook. Due to their abundance and relatively low level of protection, the location and count of the protected airplant were not recorded. Non-listed wildlife species were recorded daily.

Specific to the habitats present on the parcel, and in accordance with Appendix H of the Lee County LDC, the ecologist surveyed areas for the potential presence of the species listed in Tables 2 and 4 with particular attention paid to the gopher tortoise (*Gopherus polyphemus*), wood stork (*Mycteria americana*), tricolor heron (*Egretta tricolor*), little blue heron (*Egretta caerulea*), Big Cypress fox squirrel (*Sciurus niger avicennia*), and American alligator (*Alligator mississippiensis*). Though Appendix H suggests the potential presence of the Everglades mink (*Mustela vison*) per habitats present on site, small mammal trapping was not included in the survey protocol due to near zero potential for the species to occur in this northern urban environment. The snowy egret (*Egretta thula*), limpkin (*Aramus guarauna*), black bear (*Ursus americanus floridanus*), and gopher frog (*Lithobates capito*) have been delisted since the implementation of Appendix H, so they were not targeted during the survey.

The above survey methodology was generally consistent with those prescribed by the FWC in the document titled “Wildlife Methodology Guidelines for Section 18.D of the Application for Development Approval” (FWC 1988), and as described in the Modified Meandering Strip Census (Lee County Listed Species Survey Methodology) - except that no small mammal sampling or herpetofaunal surveys were conducted.

2.2. Plant Survey

Over the course of conducting the survey for listed wildlife species and field mapping vegetative communities, the biologist searched for plants listed by the Florida Department of Agriculture (FDA) and the U.S. Fish and Wildlife Service (FWS), and plants meeting City of Bonita Springs heritage tree species (live oak and slash pine) and size ($20'' \leq \text{DBH}$) criteria. FDA and FWS have categorized various plant species based upon their relative abundance in natural communities. Those categorizations include “Endangered”, “Threatened” and “Commercially Exploited”. None of the plants included in Appendix H, List of Protected Species, have reasonable potential to occur on site based upon developed nature of the site and the habitats present, so none listed in Appendix H were specifically targeted during the survey.

2.3. Habitat/Vegetation Survey

The habitat and vegetation survey included the preparation of a Florida Land Use, Cover and Forms Classification System (FLUCCS) map delineating the major plant communities, landforms, and land uses present on the project site. A FLUCCS Map for the project site is provided in Figure 1 titled *FLUCCS and Listed Species Transect Exhibit*. The methods and class descriptions found in the FLUCCS manual (FDOT, 1999) were generally followed when delineating and assigning

areas to an appropriate FLUCCS category (class) or “codes”. Plant communities were mapped using direct field observation and aerial photo interpretation. Current color aerial photos were plotted at 1” = 200’ scale and were used in the field to map on-site plant communities.

3. SURVEY RESULTS

3.1. Listed Wildlife Species Observed On Site

The following is a summary of the listed wildlife species observed on site and the ramifications of the presence of each species as can be anticipated at this time. The listed wildlife species observed along with their state and federal listed status are provided in Table 2. Their location(s) are shown in Figure 1 titled *FLUCCS and Listed Species Transect Exhibit*. Non-listed wildlife species were also noted during the surveys and a list of those species is provided in Table 3.

The two state or federal listed wildlife species observed on site during the survey include the little blue heron (*Egretta caerulea*) and tri-colored heron (*Egretta tricolor*), and the only listed plant observed was *Tillandsia fasciculata*.

3.2. Listed Wildlife Species Not Observed On Site But with Moderate Probability of Occurring

The following is a discussion of listed wildlife species that were not confirmed during the survey as occurring on the Project site but which are considered to have probability of occurring due to the presence of suitable habitat or confirmed sightings in the region. These species are those identified as having a “possible” estimated occurrence in Table 4.

Wading Birds

Various listed wading birds could utilize the bank along the pond edges to forage year-round. They are opportunistic feeders and travel to find areas where conditions are suitable and food is abundant. The remaining “probable” species is the wood stork (*Mycteria americana*) due to the year-round availability of forage fish in the ponds and water features.

The ability for the named listed wading birds to forage on site is anticipated to remain unchanged with retention of water management lakes in the proposed land plan.

American Alligator

The American alligator (*Alligator mississippiensis*) is known to occur throughout south Florida and is an inhabitant of habitats such as cypress domes, deep marshes, open water bodies and large ditches. This species has been downgraded to Threatened and remains listed by the FWS because of its “similarity of appearance” to the endangered crocodile. Alligators could potentially use the on-site ponds to forage, breed, or otherwise use the on-site water features. Based on communication with current golf course land managers, alligators have been seen in the ponds in the past, but they appear to move around. They were more abundant while the golf course was active, over 14 years ago, but sightings have been spotty in recent years. The ability for alligators to use the on-site water features is anticipated to remain unchanged with retention of water management lakes in the proposed land plan.

Gopher Tortoise

The gopher tortoise (*Gopherus polyphemus*) is listed as a Species of Threatened (T) by the FWC. No signs of the tortoise were found on site, nor were signs of tortoises observed during the prior 2016 listed species survey, and it has minimal likelihood to wander onto the parcel from adjacent land since all of the adjacent land is developed. However, experience has shown that tortoises often get illegally translocated from site to site and appear where they have never been seen before, so the tortoise remained on the list of potential species.

Big Cypress fox squirrel

The Big Cypress fox squirrel (*Sciurus niger avicenna*) is listed as Threatened by the FWC. No signs of the fox squirrel were found on site; however, fox squirrels are known to have an affinity for the large partially forested open spaces that golf courses provide. Based on communication with current golf course land managers, fox squirrels were once abundant over 14 years ago when the golf course was active. Since then, their numbers have waned to the point where they have not been observed on site since the passing of Hurricane Irma in 2017. So, although none were observed, there remains the possibility of their occurrence in the region.

3.3. Other Listed Wildlife Species Warranting Consideration

The following is a discussion of listed wildlife species that have not been confirmed as occurring on the project site but which are considered to be potential visitors to the site due to the presence of suitable habitat (Appendix H, or personal experience). These species are those identified as having an “unlikely” estimated occurrence in Table 4.

Everglades Snail Kite

The Everglades snail kite (*Rosthamus sociabilis*) is restricted to watersheds in the central and southern part of the state. Because of a highly specific diet composed almost entirely of apple snails (*Pomacea paludosa*), snail kite habitat consists of freshwater marshes and the shallow vegetated edges of natural and manmade lakes where apple snails can be found.

The snail kite is included in the discussion due to Appendix H and the presence of the golf course ponds and the cattail marsh. Given the urbanized infill and northern project location, and the general lack of apple snails (no signs of apple snails observed), there is near zero potential for the snail kite to use the site.

Everglades Mink

The range of the Everglades mink (*Mustela vison*) is currently limited to the shallow freshwater marshes and swamps of Everglades National Park, Big Cypress National Preserve, and Fakahatchee Strand. Historically the Everglades mink ranged into the northern Everglades and Lake Okeechobee region, but no sightings have been reported in the northern range in recent years. The mink is included in this discussion due to Appendix H and the presence of the golf course lakes and cattail marsh. Given the urbanized infill and northern project location, there is near zero potential for the Everglades mink to use the site.

Roseate Spoonbill

The roseate spoonbill (*Platalea ajaja*) forages in the shallows of fresh, brackish, and marine waters that are typically less than 5 inches deep with good sources of aquatic invertebrates. These habitats include bays, mangroves, forested swamps, and roadside ditches. Given the presence of the golf course ponds and cattail marsh, there is potential for this species to opportunistically forage on site, though because of the site's inland position, freshwater nature, and the marsh's small size and cattail-dominated composition, the potential is low.

Florida Panther

The Florida panther (*Felis concolor coryi*) is listed as Endangered by both the FWS and the FWC. No Florida panther individuals or signs of panthers utilizing the site were observed during the project surveys and the Project site is located outside of the FWS panther consultation area. Additionally, the site is surrounded by urbanized Bonita Springs and is separate from the wild lands of Corkscrew Regional Ecosystem Watershed by I-75. Therefore, there is near zero potential for the panther to use, or travel through, the site.

Eastern Indigo Snake

The Eastern indigo snake (*Drymarchon corais couperi*) is listed by both the U.S. Fish and Wildlife Service (FWS) and the FWC as Threatened, primarily due to historic commercial harvest for the pet industry. Generally, this species lives and hunts in a wide variety of habitats and their territories can cover large areas. No indigo snakes were observed on site; the site lacks burrows and habitat features that might otherwise support the species; a vast majority of the site is regularly mowed; and nearly all the adjacent land is developed. Therefore, there is near zero potential for this species to occur on site.

Florida bonneted bat

The Florida bonneted bat (*Eumops floridanus*) became federally listed as Endangered after Appendix H was implemented, so it is absent from that document. Little is known about the species; however, the presence of cavities or hollows within large and tall relatively uncluttered trees has been identified by FWS as a potentially important resource to support bonneted bat maternity roosts. The FWS has additionally asserted that projects that result in the loss of greater than 50 acres of foraging habitat may impair an individual bat's ability to feed or breed. A protocol for conducting an appropriate assessment of the Project site to sufficiently protect the species will be developed through Technical Assistance from the U.S. Fish and Wildlife Service.

American Bald Eagle

The American bald eagle (*Haliaeetus leucocephalus*) is not protected by the federal Endangered Species Act; however, it is protected by the Bald and Golden Eagle Protection Act. Based upon the FWC Eagle Nest Locator web site:

(<https://public.myfwc.com/FWRI/EagleNests/nestlocator.aspx>), the nearest known bald eagle nest (#LE080) is approximately 1.5 miles west of the Project site. Since the typical outermost nest protection zone extends 660' from the nest tree, the Project site is well outside that nest's protect

zones and the Project should have no effect on that nest.

Reddish Egret

The reddish egret (*Egretta rufescens*) is an uncommon dark heron with a rust-colored neck and head and a slate colored body. It is listed as Threatened by FWC and is not listed by FWS. It typically forages and nests along the coast and it is, therefore, not likely to occur on site.

Florida Burrowing Owl

The Florida burrowing owl (*Athene cunicularia floridana*) is listed as Threatened by FWC and is not listed by FWS. The owl prefers open grasslands with low stature grasses in which to burrow. Given the inactive status of the golf course and its regular mowing to maintain the fairways and greens, the burrowing owl could recruit to the area and become established. Since owls are readily visible when present, and since none were observed during the current or prior listed species surveys, there is near zero chance that this species is present on site.

Southeastern American Kestrel

The Southeastern American Kestrel (*Falco sparverius paulus*) is a non-migratory subspecies of kestrel found in open pine savannahs, sandhills, prairies, and pastures in Florida and the southeastern United States. It is listed as threatened in Florida due to a decline in nesting and foraging habitat. They nest in large dead trees with enlarged cavities and they forage over open pasture lands and wood lots. They need both to persist. Given the infill nature of the site and its paucity of potential nesting locations, there is little potential for this species to use the property.

Florida Sandhill Crane

The Florida subspecies of sandhill crane (*Grus canadensis pratensis*) is listed as Threatened by FWC and it is not listed in Florida by FWS. This subspecies is non-migratory and nests in freshwater marshes. In October through March, a northern subspecies of crane that cannot be visually differentiated from the non-migratory Florida subspecies, migrates to South Florida. So, only birds observed during April through September can be positively identified as the listed Florida subspecies. The on-site monoculture cattail marsh is not optimal nesting habitat, nor are the pond banks. Due to the limited nesting potential on site, there is near zero potential to adversely affect the listed subspecies of the sandhill crane.

Red-cockaded Woodpecker

The red-cockaded woodpecker (*Picoides borealis*) is uncommon in Southwest Florida. It is listed as Endangered by FWS. This species requires old-growth pine forests where nest cavities are excavated in living trees infected with red heart disease which generally does not occur until the tree is at least 70 years of age. The Project falls within the RCW consultation area; however, only approximately 10 acres of the project contains forested areas with slash pine in the canopy. Of the seven separate pockets of forest containing pine, none contain living cavity trees, none exceed 2 acres in size, and none of the pines have the outward appearance of being infected by red heart disease. Lacking the above-noted characteristics, and absence of observed cavity

trees in the 2016 listed species survey, the potential for RCWs to use the project site are near zero.

3.4. Heritage Trees and Listed Plant Species Observed On Site

Heritage trees observed on site include 5 live oaks and 15 slash pines in the northeastern half of the project and 7 live oaks and 28 slash pines in the southwestern half of the project. Given the age of the golf course and that several of the heritage trees are located on elevated golf course contours, it is indeterminant whether the observed trees pre-dated construction of the course or whether they were planted as golf course landscaping. Due to the flowing linear geometry of the golf course and its conflict with residential community design, including incorporation of water management design to facilitate abatement of regional stormwater drainage issues, several of the heritage trees are not able to be preserved in place and a deviation to the heritage tree protection ordinance (detailed under separate cover) will be sought to accommodate the proposed project.

No federally listed plant species were observed on site and based upon habitats present none are anticipated to occur. A single state-listed airplant was observed in low abundance. It is a relatively common species and protection measures are limited to requiring a permit to be issued if the plant is proposed to be commercially sold. Other listed plants, also airplant species, are capable of occurring on site based on the presence of suitable habitat (i.e., slash pine and cypress trees). A list of those species is provided in Table 5.

3.5. Habitat/Vegetation Survey

Due to the improved and maintained nature of the golf course, there are few natural plant communities within the Project site. Those that exist include pine flatwoods (FLUCCS 411) and Pine, Cypress, Cabbage Palm (FLUCCS 624) communities. From aerial imagery, prior state environmental permits, and ground-truthing, it appears that the property became a golf course in the early 1980's. Approximately 14 years ago, the golf course was closed for play, but the grounds continued to be maintained such that the land retains the look of a golf course, today. Due to the flowing linear geometry of the golf course design and its general incompatibility with traditional residential community design, including the inclusion of water management design to facilitate abatement of regional stormwater drainage issues, none of the existing natural plant communities are able to be preserved in place. The City of Bonita Springs recognized the often-conflicting open space and vegetation preservation standards associated with golf course redevelopment projects and codified them in LDC Division 43, Section 4-2312(d)(11). Per that code, the traditional requirement to preserve indigenous plant communities or trees, as described in LDC Section 3-417(b)(1), is superseded by Section 4-2312(d)(11) by providing 50% of required 40% open space (minimum 22.6 acres) as green or landscape areas. As such, the project design will incorporate green and/or landscaped areas in accordance with the Golf Course Redevelopment Regulations of Division 43.

The FLUCCS code for each community along with a brief description and acreage are provided in Table 6. A detailed description of each FLUCCS code is provided in Appendix A. Figure 1 titled *FLUCCS and Listed Species Transect Map* provides a map showing the vegetative associations found on the project site.

4. SUMMARY

The following is a summary of the potential impacts of the proposed project to listed species.

4.1. Listed Plant & Wildlife Species

The listed airplant species occurring on site is relatively common in the region. A permit would only be required if sale of the species is considered. No permit would be required for the owner to develop the site. As such, lacking sale of the plant, the project is not anticipated to adversely affect the species.

The results of the listed species survey indicated that listed wading birds, including the little blue heron and the tricolored heron, use the pond edges for foraging. This suggests that the wood stork could do the same; however, the likelihood is less for the wood stork since the pond edges do not concentrate forage fishes in a manner similar to wetland systems as the water table recedes in the drier months. The project's effect on these species is anticipated to be minimal once the project is in place because it, too, will incorporate water management lakes in which these species can forage.

The Big Cypress fox squirrel once occurred on site, particularly over 14 years ago when the golf course was active - per personal communication with golf course maintenance staff. But, they have not been observed by staff (who regularly mow the property) since when Hurricane Irma passed over the region in 2017. Therefore, with none having been observed on site during the 2016 and the 2020 listed species surveys, and due to their apparent absence since 2017, it is anticipated that none currently occur on site and the proposed project will not adversely affect the species.

The American alligator, though not observed during either the 2016 or the 2020 listed species surveys, has the potential to opportunistically use the existing golf course ponds. Since the proposed development also incorporates ponds into its design, it is anticipated that alligators will continue to have the ability to use the site, and the project will not adversely affect the species.

4.2. Heritage Trees & Green/Landscaped Areas

The golf course contains 55 heritage trees. Due to the flowing linear geometry of the golf course, its conflict with traditional residential community design, and incorporation of water management design to facilitate abatement of regional stormwater drainage issues, 41 of the heritage trees are not able to be preserved in place and a deviation to the heritage tree protection ordinance (detailed under separate cover) will be sought to accommodate the proposed project. In accordance with golf course redevelopment code associated with LDC Division 43, a minimum of 22.6 acres of green and/or landscaped acres will be incorporated into the project design.



**BONITA SPRINGS GOLF COURSE
LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA**

5. REFERENCES CITED

- Florida Department of Transportation. 1999. Florida Land Use, Cover and Forms Classification System. Procedure No. 550-010-001-a. Third Edition. Tallahassee, Florida.
- Florida Fish and Wildlife Conservation Commission. 2016. Florida's Imperiled Species Management Plan 2016-2026. Tallahassee, Florida.
- Florida Fish and Wildlife Conservation Commission. 1988. Wildlife Methodology Guidelines. Tallahassee, Florida.
- U.S. Fish and Wildlife Service. 2019. Florida Bonneted Bat Consultation Guidance. South Florida Ecological Services Office. Vero Beach, Florida.
- Weaver, R. E. and P. J. Anderson. 2010. Notes on Florida's Endangered and Threatened Plants. Contribution No. 38, 5th edition.



**BONITA SPRINGS GOLF COURSE
LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA**

TABLES

**BONITA SPRINGS GOLF COURSE
LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA**

Table 1: Listed Species and Vegetation Survey Details

Biologist	Date	Time of Day	Weather	Field Hours
Bruce Layman	9/21/20	10:30 a.m. - 4:30 p.m.	83°F, partly cloudy, 5 mph east wind	6.0
Bruce Layman	9/22/20	7:30 a.m. - 2:00 p.m.	73°F, clear, calm	6.5
Total Hours				12.5

Table 2: Listed Plant and Wildlife Species Observed

Common Name	Scientific Name	Site Habitat by FLUCCS	FWC Status	FWS Status	FDA Status
PLANTS					
Spreading airplant	<i>Tillandsia fasciculata</i>	182, 411, 624, 630	N/A	N/A	E
WILDLIFE					
Little blue heron	<i>Egretta caerulea</i>	500, 624, 630	T	N/L	N/A
Tricolored heron	<i>Egretta tricolor</i>	500, 624, 630	T	N/L	N/A

- FDA = Florida Department of Agriculture and Consumer Services
- FWC = Florida Fish and Wildlife Conservation Commission
- FWS = United States Fish & Wildlife Service
- T = Threatened
- E = Endangered
- N/L = Not listed.
- N/A = Not Applicable

Table 3: Non-listed Wildlife Species Observed

Common Name	Scientific Name
BIRDS	
Blue jay	<i>Cyanocitta cristata</i>
Northern mockingbird	<i>Mimus polyglottos</i>
Mourning dove	<i>Zenaida macroura</i>
Great blue heron	<i>Ardea herodias</i>
Red-bellied woodpecker	<i>Melanerpes carolinus</i>
Gallinule	<i>Gallinula chloropus</i>
Osprey	<i>Pandion haliaetus</i>
Anhinga	<i>Anhinga anhinga</i>
Green heron	<i>Butorides striatus</i>
AMPHIBIANS & REPTILES	
Softshell turtle	<i>Pelodiscus sinensis</i>
MAMMALS	
Gray squirrel	<i>Sciurus carolinensis</i>
Marsh rabbit	<i>Sylvagus palustris</i>

**BONITA SPRINGS GOLF COURSE
LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA**

Table 4: Estimated Probability of Occurrence of Non-Observed Listed Faunal Species

Common Name	Scientific Name	Status (FWC/FWS)	Estimated Occurrence*			Habitat by FLUCCS
			Probable	Possible	Unlikely	
BIRDS						
Reddish egret	<i>Egretta rufescens</i>	T/NL			X	500, 630, 641
Bald eagle	<i>Haliaeetus leucocephalus</i>	T/T			X	182, 411
Wood stork	<i>Mycteria americana</i>	E/E		X		500, 630, 641
Everglades snail kite	<i>Rosthamus sociabilis</i>	E/E			X	500, 641
Roseate spoonbill	<i>Platalea ajaja</i>	T/NL			X	500, 630, 641
Florida burrowing owl	<i>Athene cunicularia floridana</i>	T/NL			X	182
Southeastern American kestrel	<i>Falco sparverius paulus</i>	T/NL			X	411
Florida sandhill crane	<i>Grus canadensis pratensis</i>	T/NL			X	641
Red-cockaded woodpecker	<i>Picooides borealis</i>	E/E			X	411
MAMMALS						
Everglades mink	<i>Mustela vison</i>	T/NL			X	500, 630, 641
Florida panther	<i>Felis concolor coryi</i>	E/E			X	411, 624, 630
Big Cypress fox squirrel	<i>Sciurus niger avicennia</i>	T/NL		X		182, 411, 624, 630
Florida bonneted bat	<i>Eumops floridanus</i>	E/E			X	All
REPTILES						
American alligator	<i>Alligator mississippiensis</i>	T/T(S/A)		X		500
Gopher tortoise	<i>Gopherus polyphemus</i>	T/NL		X		411
Eastern indigo snake	<i>Drymarchon corias couperi</i>	T/T			X	411
AMPHIBIANS						
None						

Table 5: Estimated Probability of Occurrence of Non-Observed Listed Floral Species

Common Name	Scientific Name	Status (FDA/FWS)	Estimated Occurrence*			Habitat by FLUCCS
			Probable	Possible	Unlikely	
Wild pine (several)	<i>Tillandsia</i> species	T & E/NL		X		190, 411, 624, 630
Fakahatchee burmania	<i>Burmania flava</i>	E			X	411
Satinleaf	<i>Chrysophyllum olivaeforme</i>	T			X	411
Beautiful pawpaw	<i>Deeringothamnus pulchellus</i>	E			X	411
Florida coontie	<i>Zamia floridana</i>	CE			X	411

- FWC = Florida Fish and Wildlife Conservation Commission
- FWS = United States Fish and Wildlife Service
- FDA = Food and Drug Administration
- SSC = Species of Special Concern
- CE = Commercially Exploited
- T = Threatened
- E = Endangered
- T(S/A) = Threatened by Similarity of Appearance
- NL = Not listed

* Probable Occurrence = >50% estimated chance of occurrence on site.
 Possible Occurrence = <50% estimated chance of occurrence on site.
 Unlikely Occurrence = <5% estimated chance of occurrence on site.

**BONITA SPRINGS GOLF COURSE
LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA**

Table 6: Existing Vegetative Associations and Land Uses

FLUCCS CODE	FLUCCS DESCRIPTION	TOTAL ACRES
120	Residential, Medium Density (2 to 5 units per acre)	0.51
130	Residential, High Density (greater than 5 units per acre)	0.43
180	Recreational – Club House	1.84
182	Golf Course	87.20
411	Pine Flatwoods, Palmetto Understory	6.82
500	Lakes	13.37
624	Pine-Cypress-Cabbage Palm	1.96
630	Wetland Forest Mixed	0.21
6412	Freshwater Marsh, Cattails	0.68
814	Roads and Highways	0.07
	TOTAL	113.09



**BONITA SPRINGS GOLF COURSE
LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA**

**APPENDIX A
Existing Vegetative Association & Land Use Descriptions**

Existing Vegetative Association & Land Use Detailed Descriptions

Residential, Medium Density (2 to 5 Units per Acre) – These are medium density single-family residential parcels adjacent to the golf course where the rear yards merge with golf course landscape.

Residential, High Density (Greater than 5 Units per Acre) – These are high density single-family residential parcels adjacent to the golf course where the rear yards merge with golf course landscape.

Recreational – Club House (FLUCCS 180) – This represents the abandoned club house associated with the golf course, described as FLUCCS 182 below.

Golf Course (FLUCCS 182) – This represents a defunct golf course including fairways, greens, cart paths, and unforested areas adjacent to former areas of play. The course has been unused for 14 years; however, it has been maintained (mowed) regularly during that period. The canopy is lacking in the former fairways, greens and sand hazards. But the former roughs and lateral fairway fringes may contain sparse pockets of trees, such as slash pine (*Pinus elliotti*) and cypress (*Taxodium distichum*), where the total absolute cover is less than 10%. The midstory is generally lacking except where some areas of slash pine have small pockets of saw palmetto (*Serenoa repens*) beneath them. Groundcover includes Mexican clover (*Richardia brasiliensis*), Bermuda grass (*Cynodon dactylon*), bahiagrass (*Paspalum notatum*) and various ruderal grasses and forbs.

Pine Flatwoods (FLUCCS 411) – This community represents a slash pine and cabbage palm canopy over a saw palmetto understory. Herbaceous groundcover species are generally sparse. Catbriar (*Smilax* spp.) and Virginia creeper (*Parthenocissus quinquefolia*) are locally abundant on tree trunks.

Lakes (FLUCCS 500) – This is a series of former golf course water management lakes and water features. They are typically fringed with spike rush (*Eleocharis* spp.), predominantly, with minor coverage of cattail (*Typha* spp.) and willow (*Salix caroliniana*).

Cypress-Pine-Cabbage Palm (FLUCCS 624) - This community represents a bald cypress (*Taxodium distichum*), slash pine, cabbage palm canopy over a midstory of varying degrees of exotic vegetation, predominantly carrotwood, Brazilian pepper, and earleaf acacia. The groundcover can be locally absent or include bahiagrass, Spanish needles (*Bidens alba*), and/or other ruderal species.

Wetland Forested Mixed (FLUCCS 630) - This maintained community includes a bald cypress, slash pine, and laurel oak (*Quercus laurifolia*) canopy. The midstory is absent and the groundcover includes spike rush (*Eleocharis* spp.), dayflower (*Commelina erecta*), Bermuda grass, frog fruit (*Phyla nodiflora*), and various ruderal grasses and forbs that are regularly maintained via mowing.

Freshwater Marsh, Cattail (FLUCCS 6412) – This is a depressional area dominated by cattails that is connected to an adjacent water management lake.

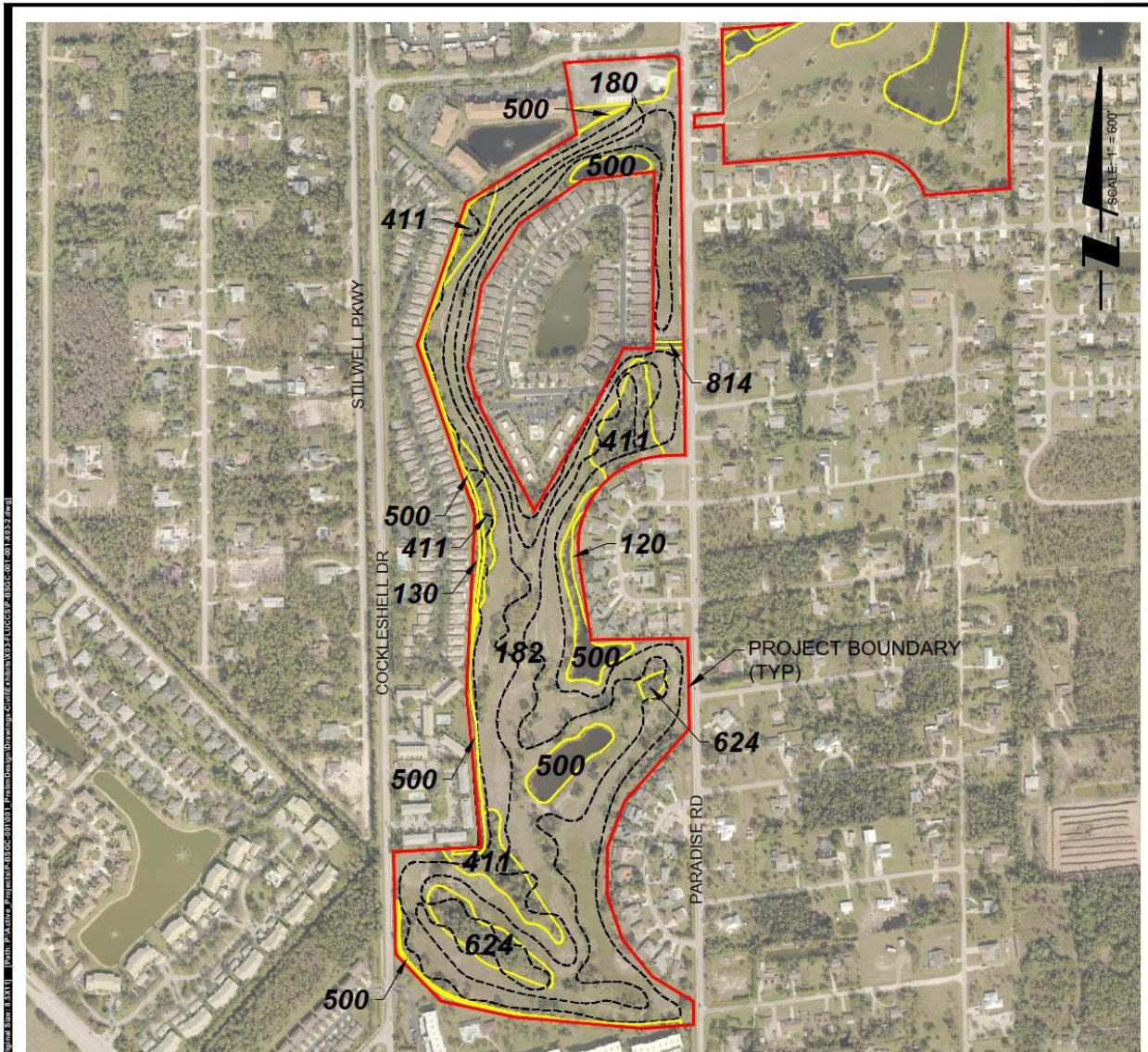
Roads and Highways (FLUCCS 814) – This is the paved entrance to a residential community surrounded by the golf course.



**BONITA SPRINGS GOLF COURSE
LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA**

**FIGURE 1
FLUCCS and Listed Species Transect Exhibit**

BONITA SPRINGS GOLF COURSE LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA



LEGEND	
—	PARCEL BOUNDARY
- - -	MEANDERING PEDESTRIAN TRANSECT (APPROX.)
—	FLUCCS LIMITS

FLUCCS CODE	DESCRIPTION	AREA (AC)
120	RESIDENTIAL, MEDIUM DENSITY (2 TO 5 UNITS PER AC)	0.26
130	RESIDENTIAL, HIGH DENSITY	0.43
180	RECREATIONAL - CLUBHOUSE	1.84
182	GOLF COURSE	43.27
411	PINE FLATWOODS - PALMETTO UNDERSTORY	4.80
500	WATER	4.33
624	CYPRESS - PINE - CABBAGE PALM	1.96
814	ROADS AND HIGHWAYS	0.07
		56.96

PENINSULA ENGINEERING
CIVIL ENGINEERING · LANDSCAPE ARCHITECTURE · ENVIRONMENTAL CONSULTING · LAND PLANNING · SITE PLANNING · CONSTRUCTION MANAGEMENT · CHAIRS REPRESENTATIVE
 2600 Golden Gate Parkway
 Naples, Florida 34105
 Phone: 239-403-6700 Fax: 239-261-1797
 Email: info@pen-eng.com Website: www.pen-eng.com
 Florida Certificate of Authorization #28275

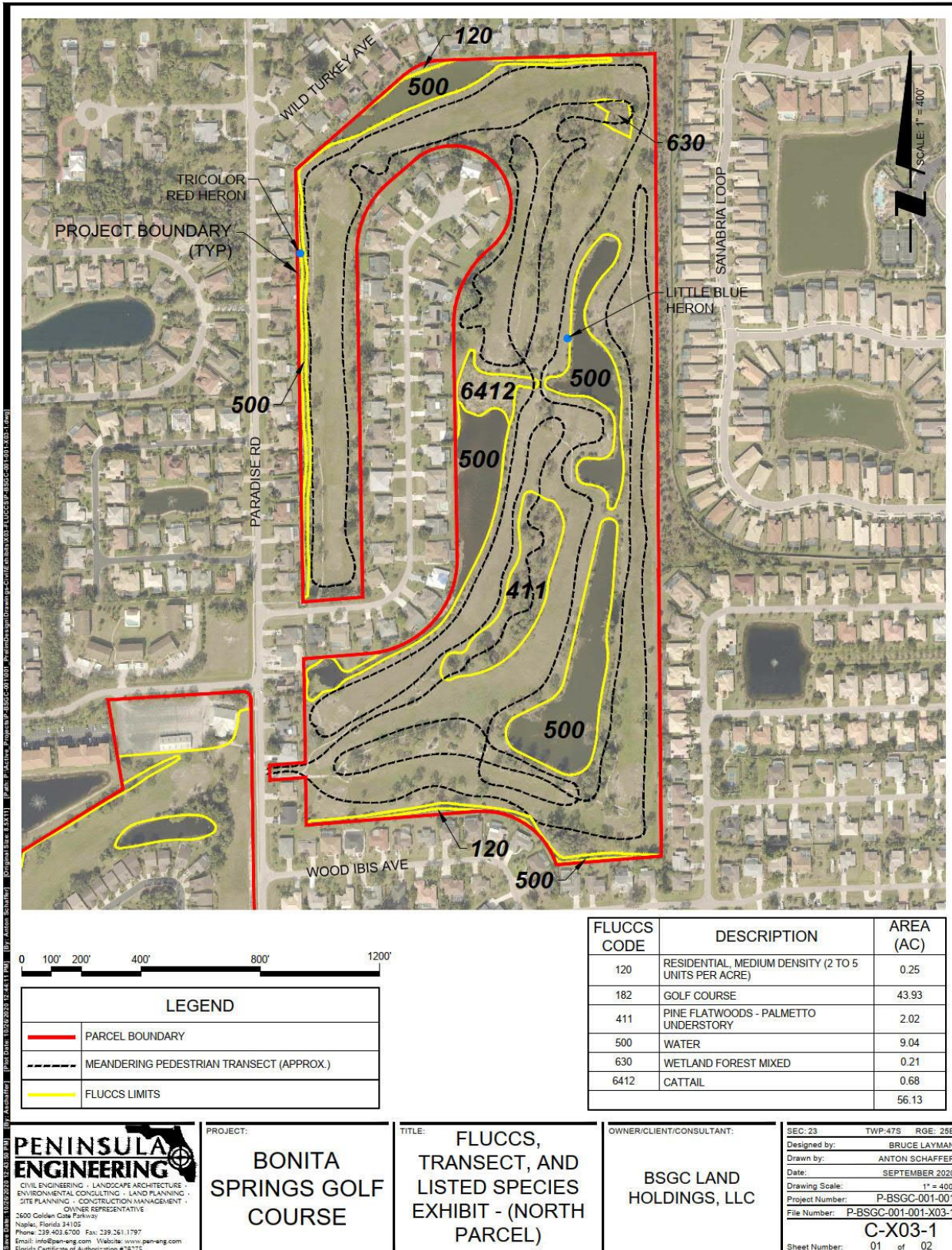
PROJECT: **BONITA SPRINGS GOLF COURSE**

TITLE: **FLUCCS, TRANSECT, AND LISTED SPECIES EXHIBIT - (SOUTH PARCEL)**

OWNER/CLIENT/CONSULTANT: **BSGC LAND HOLDINGS, LLC**

SEC: 23 TWP: 47S RGE: 28E
 Designed by: BRUCE LAYMAN
 Drawn by: ANTON SCHAFFER
 Date: SEPTEMBER 2020
 Drawing Scale: 1" = 600'
 Project Number: P-BSGC-001-001
 File Number: P-BSGC-001-001-X03-2
C-X03-2
 Sheet Number: 02 of 02

BONITA SPRINGS GOLF COURSE LISTED SPECIES SURVEY AND ENVIRONMENTAL DATA



FLUCCS CODE	DESCRIPTION	AREA (AC)
120	RESIDENTIAL, MEDIUM DENSITY (2 TO 5 UNITS PER ACRE)	0.25
182	GOLF COURSE	43.93
411	PINE FLATWOODS - PALMETTO UNDERSTORY	2.02
500	WATER	9.04
630	WETLAND FOREST MIXED	0.21
6412	CATTAIL	0.68
		56.13

LEGEND	
	PARCEL BOUNDARY
	MEANDERING PEDESTRIAN TRANSECT (APPROX.)
	FLUCCS LIMITS

PENINSULA ENGINEERING
CIVIL ENGINEERING · LANDSCAPE ARCHITECTURE · ENVIRONMENTAL CONSULTING · LAND PLANNING · SITE PLANNING · CONSTRUCTION MANAGEMENT · OWNER REPRESENTATIVE
 2600 Golden Gate Parkway
 Naples, Florida 34105
 Phone: 339-403-6700 Fax: 339-561-1797
 Email: info@pen-eng.com Website: www.pen-eng.com
 Florida Certificate of Authorization #28275

PROJECT: **BONITA SPRINGS GOLF COURSE**

TITLE: **FLUCCS, TRANSECT, AND LISTED SPECIES EXHIBIT - (NORTH PARCEL)**

OWNER/CLIENT/CONSULTANT: **BSGC LAND HOLDINGS, LLC**

SEC: 23 TWP: 47S RGE: 28E
 Designed by: BRUCE LAYMAN
 Drawn by: ANTON SCHAFFER
 Date: SEPTEMBER 2020
 Drawing Scale: 1" = 400'
 Project Number: P-BSGC-001-001
 File Number: P-BSGC-001-001-X03-1
C-X03-1
 Sheet Number: 01 of 02

Bonita Springs Golf Course RPD

Exhibit III-A-2 Density Calculations

A. Gross Residential Acres

1. Total land area:	<u>113+/-</u> acres
2. Area to be used for non-residential uses: (Line A.2.a. plus A.2.b.):	<u>0</u> acres
a. R-O-W providing access to non-residential uses:	<u>0</u> acres
b. Non-residential use areas:	<u>0</u> acres
3. Gross residential acres (Line A.1 less A.2):	<u>113+/-</u> acres
a. Uplands areas:	
Moderate Density Residential	<u>56.2+/-</u> acres
Medium Density Multi-Family Residential	<u>56.8+/-</u> acres
b. Freshwater Wetlands areas	<u>0</u> acres
c. Other Wetland areas	<u>0</u> acres

B. Comprehensive Plan Land Use Classification: Moderate Density Residential and Medium Density Multi-Family Residential

Density Standards (from the Comprehensive Plan)

1. Maximum density for Land Use Classification:
 - Moderate Density Residential 6 units\gross res. Acre
 - Medium Density Multi-Family Residential 6 units\gross res. Acre
2. Maximum total density for Land Use Classification:
 - Moderate Density Residential 6 units\gross res. Acre
 - Medium Density Multi-Family Residential 6 units\gross res. Acre

MAXIMUM PERMITTED DWELLING UNITS

D. Moderate Density Residential (56.2+/- acres)

1. Standard density uplands units (A.3.a. times B.1) 337 units
2. Standard density freshwater wetlands units (A.3.b. times B.1) 0 units
3. Total standard density units (sum of D.1 & D.2) 337 units
4. Maximum upland density (A.3.a. times 8) 449 units
5. **Total permitted units** (line D.3 or D.4 - whichever is less): **337 Units**

D. Medium Density Multi-Family Residential (56.8+/- acres)

1. Standard density uplands units (A.3.a. times B.1) 340 units
2. Standard density freshwater wetlands units (A.3.b. times B.1) 0 units
3. Total standard density units (sum of D.1 & D.2) 340 units
4. Maximum upland density (A.3.a. times 8) 454 units
5. **Total permitted units** (line D.3 or D.4 - whichever is less): **282* (340 – 58 = 282) Units**

***A total of 58 dwelling units were previously transferred to the Lakeside Hideaway multi-family project (DOS2001-00226).**

Bonita Springs Golf Course RPD Rezone

National Flood Hazard Maps

National Flood Hazard Layer FIRMette



81°47'26"W 26°22'22"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|------------------------------------|--|--|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
<i>Zone A, V, A99</i> |
| | | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
| | | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i> |
| | | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> |
| | | Area with Flood Risk due to Levee <i>Zone D</i> |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i> |
| | | Effective LOMRs |
| GENERAL STRUCTURES | | Area of Undetermined Flood Hazard <i>Zone D</i> |
| | | Channel, Culvert, or Storm Sewer |
| | | Levee, Dike, or Floodwall |
| OTHER FEATURES | | 20.2 Cross Sections with 1% Annual Chance |
| | | 17.5 Water Surface Elevation |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| MAP PANELS | | Jurisdiction Boundary |
| | | Coastal Transect Baseline |
| | | Profile Baseline |
| | | Hydrographic Feature |
| MAP PANELS | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |



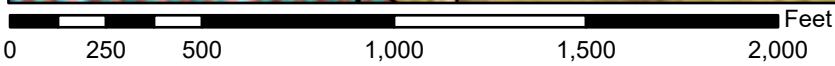
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **9/17/2020 at 10:39 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

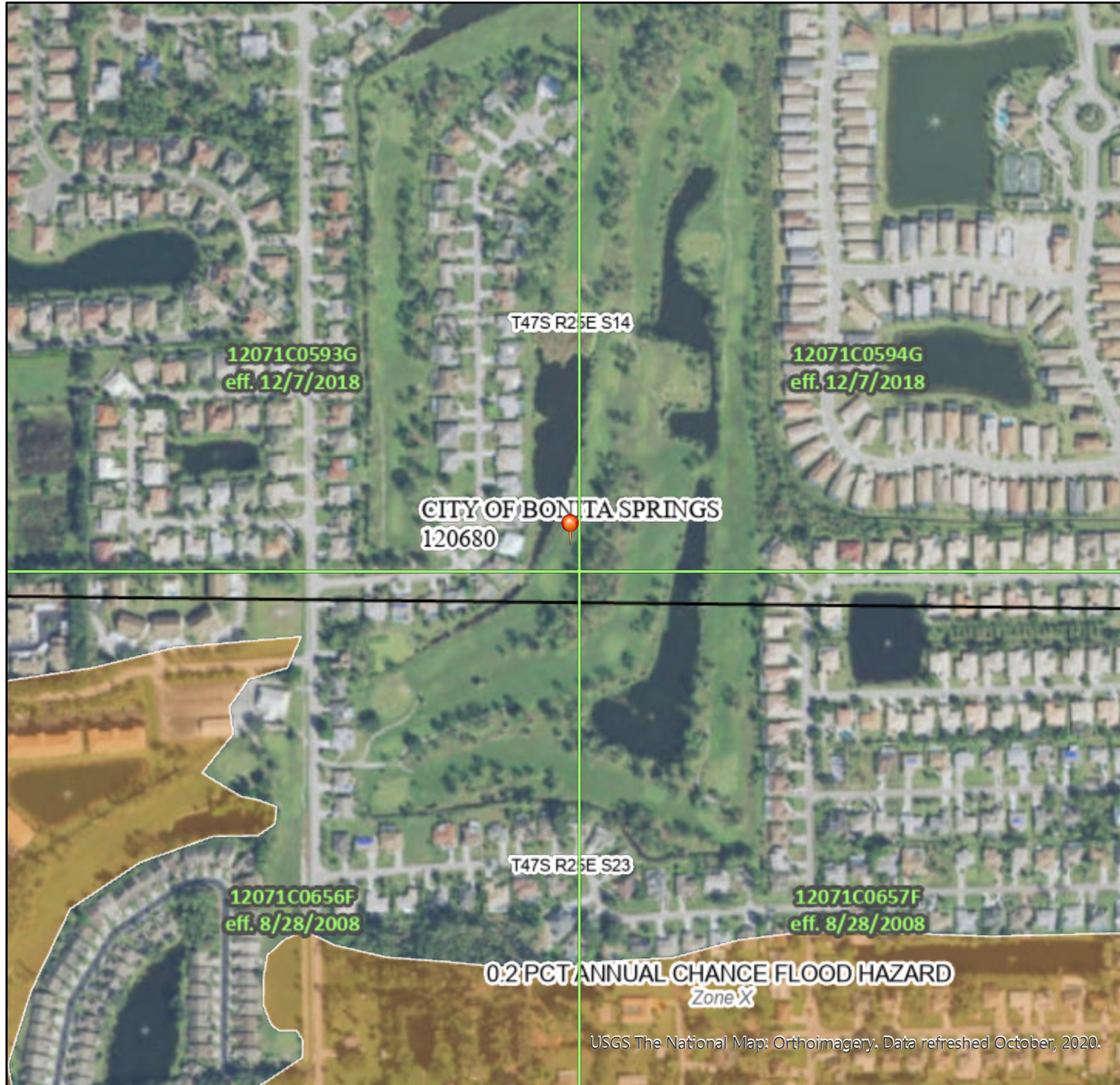
USGS The National Map: Orthoimagery. Data refreshed April 2020



National Flood Hazard Layer FIRMMette



81°47'12"W 26°22'47"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99	With BFE or Depth Zone AE, AO, AH, VE, AR	Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X	Future Conditions 1% Annual Chance Flood Hazard Zone X	Area with Reduced Flood Risk due to Levee. See Notes. Zone X	Area with Flood Risk due to Levee Zone D

OTHER AREAS	NO SCREEN Area of Minimal Flood Hazard Zone X	Effective LOMRs	Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer	Levee, Dike, or Floodwall

OTHER FEATURES	Cross Sections with 1% Annual Chance Water Surface Elevation	Coastal Transect	Base Flood Elevation Line (BFE)	Limit of Study	Jurisdiction Boundary	Coastal Transect Baseline	Profile Baseline	Hydrographic Feature

MAP PANELS	Digital Data Available	No Digital Data Available	Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/16/2020 at 9:34 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was Florida State Plane west zone (FIPSZONE 902). The **horizontal datum** was NAD 83, GRS80 spheroid. Differences in datum, spheroid, projection or State Plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services
NOAA, NGS12
National Geodetic Survey
SSMC-3, #9202
1315 East-West Highway
Silver Spring, Maryland 20910-3282
(301) 713-3242

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov>.

Base map information shown on this FIRM was provided in digital format by the Lee County GIS Department. The road centerline information was constructed based on orthophotography produced at a scale of 1"=100' from aerial imagery flown in 1998 and updated using orthophotography dated 2002 and 2005. The surface water features were also constructed based on orthophotography produced at a scale of 1"=100' from aerial imagery flown in 1998.

This map reflects more detailed and up-to-date stream channel configurations than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or dis-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://www.mss.fema.gov>.

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA MAP (1-877-338-2627) or visit the FEMA website at <http://www.fema.gov>.



LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A No Base Flood Elevations determined.
ZONE AE Base Flood Elevations determined.
ZONE AH Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
ZONE AO Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
ZONE AR Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
ZONE A99 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
ZONE V Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
ZONE VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

ZONE X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

ZONE X Areas determined to be outside the 0.2% annual chance floodplain.
ZONE D Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS
OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

Floodplain boundary
 Floodway boundary
 Zone D boundary
 CBRS and OPA boundary
 Boundary dividing Special Flood Hazard Area zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
 Base Flood Elevation line and value; elevation in feet*
 Base Flood Elevation value where uniform within zone; elevation in feet*

* Referenced to the North American Vertical Datum of 1988
 (A) Cross section line
 (B) Transsect line
 87°07'45", 32°22'30" Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere
 1000-meter Universal Transverse Mercator grid values, zone 17
 600000 FT 5000-foot grid ticks; Florida State Plane coordinate system, West zone (FIPSZONE 9902), Transverse Mercator projection
 DX5510 x Bench mark (see explanation in Notes to Users section of this FIRM panel)
 M1.5 River Mile

MAP REPOSITORY
 Refer to listing of Map Repositories on Map Index
 EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP
 August 28, 2008
 EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.
 To determine if flood insurance is available in this community, contact your Insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

MAP SCALE 1" = 500'
 250 500 1000 FEET
 150 0 150 300 METERS

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0656F

FIRM
FLOOD INSURANCE RATE MAP

LEE COUNTY,
 FLORIDA
 AND INCORPORATED AREAS

PANEL 656 OF 685
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

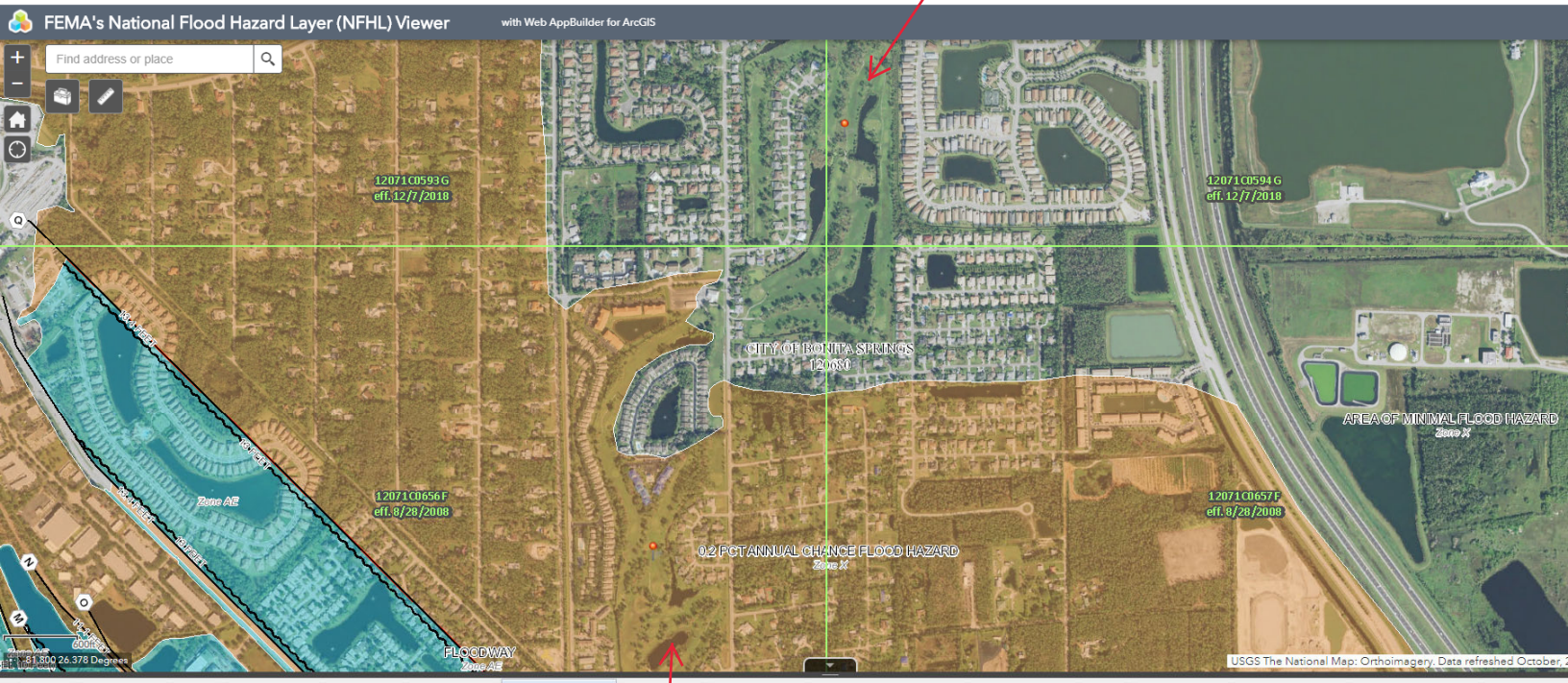
CONTAINS:
 COMMUNITY NUMBER PANEL SUFFIX
 BONITA SPRINGS, CITY OF 120980 0656 F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
 12071C0656F
EFFECTIVE DATE
 AUGUST 28, 2008

Federal Emergency Management Agency

North Parcel



South Parcel

DFIRM_ID	VERSION_ID	BFE_LN_ID	ELEV	LEN_UNIT	V_DATUM	SOURCE_CIT	GFID	SHAPE.STLength()
12071C	1.1.1.0	12071C_8	13.00	Feet	NAVD88		e7c6845e-b711-4307-adeb-39e8a4251c15	0.02
12071C	1.1.1.0	12071C_15	13.00	Feet	NAVD88		e7c6845e-b711-4307-adeb-39e8a4251c15	0.02

Flood Insurance Information

STRAP Number: 23-47-25-B1-0050A.0000

District Name	District Value	Pct Of Parcel In District (If Fractional)	Notes
Flood Insurance Zone	Flood Zone Assigned Number	City Of Bonita Springs	1
FIRM Floodway	Floodway	City Of Bonita Springs	
Flood Insurance Panel	Community Panel	120680 0656	57.71%
	Map Number	12071C0656F	
	Effective Date	8/28/2008 12:00:00 AM	
	Community Panel	120680 0594	20.13%
Flood Insurance Panel	Map Number	12071C0594G	
	Effective Date	12/7/2018 12:00:00 AM	
	Community Panel	120680 0593	12.84%
	Map Number	12071C0593G	
Flood Insurance Panel	Effective Date	12/7/2018 12:00:00 AM	
	Community Panel	120680 0657	9.32%
	Map Number	12071C0657F	
	Effective Date	8/28/2008 12:00:00 AM	
Zone A - Estimated BFE		NOT FOUND	

Flood Insurance Rate Map zones assigned by FEMA:

X: Outside the Special Flood Hazard Area (SFHA); flood insurance is not mandatory in this zone, however, lenders, on their own initiative, may require the purchase of flood insurance even if a building is located outside the SFHA. Up to 25% of all NFIP flood losses arise from outside SFHA's (B, C and X zones).

A, AE, VE: In the SFHA; mortgage lenders will likely require flood insurance on property in these zones.

The flood insurance zone "EL" represents the base flood elevation (BFE) measured in feet using the North American Vertical Datum of 1988.

For "A" zones that don't reference a BFE, refer to the "Zone A – Estimated BFE" section which will display the community determined Base Flood Elevation.

If you need a Special Flood Hazard Area (SFHA) determination letter (FIRM letter) from Lee County for a parcel located in unincorporated Lee County, please call Community Development at (239)533-8585 and ask for the Certified Floodplain Manager or email FIRMInfo@leegov.com to request a letter.

Residents of the following incorporated jurisdictions may obtain flood information from that municipality as they independently participate in the NFIP; Bonita Springs (239-949-6262), Cape Coral (239-574-0553), Fort Myers (239-321-7925), Sanibel (239-472-3700), Village of Estero (239-319-2811) and Town of Fort Myers Beach (239-765-0202).

Your municipality will be displayed in the "Local Jurisdiction" report row. For example, if your property is located in unincorporated Lee County, the Districts Query report will display "Unincorporated Lee County" as the Incorporated Government in the Local Jurisdiction row of the report.

Note	Details
1	The Flood Zone With The Highest Corresponding Assigned Number Is The Recognized Flood Zone Designation For This Property. Residents Of Unincorporated Lee County May Call Community Development At (239)533-8585 And Ask For The Certified Floodplain Manager Or Email FIRMInfo@Leegov.Com With Additional Questions. Residents Of Incorporated Areas Should Call The City In Which They Reside To Verify Flood Zone Status.



Traffic Impact Statement

Bonita Springs Golf Course Residential Planned Development (RPD) Rezone

**Bonita Springs, FL
3/10/2021**

Prepared for:

Barron Collier Companies
2600 Golden Gate Parkway
Naples, FL 34105
Phone: 239-403-6804

Prepared by:

Trebilcock Consulting Solutions, PA
2800 Davis Boulevard, Suite 200
Naples, FL 34104
Phone: 239-566-9551
Email: ntrebilcock@trebilcock.biz

Statement of Certification

I certify that this Traffic Impact Statement has been prepared by me or under my immediate supervision and that I have experience and training in the field of Traffic and Transportation Engineering.

This item has been electronically signed and sealed by Norman J. Trebilcock, P.E., State of Florida license 47116, using a *SHA-1* authentication code. Printed copies of this document are not considered signed and sealed, and the *SHA-1* authentication code must be verified on any electronic copies.

Norman J. Trebilcock, AICP, PTOE, PE
FL Registration No. 47116
Trebilcock Consulting Solutions, PA
2800 Davis Boulevard, Suite 200
Naples, FL 34104
Company Cert. of Auth. No. 27796

Table of Contents

Project Description	4
Trip Generation.....	5
Trip Distribution and Assignment	6
Background Traffic.....	9
Future Growth Rates Determination	9
Background Traffic Determination – City of Bonita Springs Traffic Data.....	10
Existing and Future Roadway Network.....	11
Project Impacts to Area Roadway Network – Roadway Link Analysis.....	13
Site Access Turn Lane Analysis.....	16
Paradise Road and North Parcel Access Intersection	16
Improvement Analysis	17
Mitigation of Impact	17

Appendices

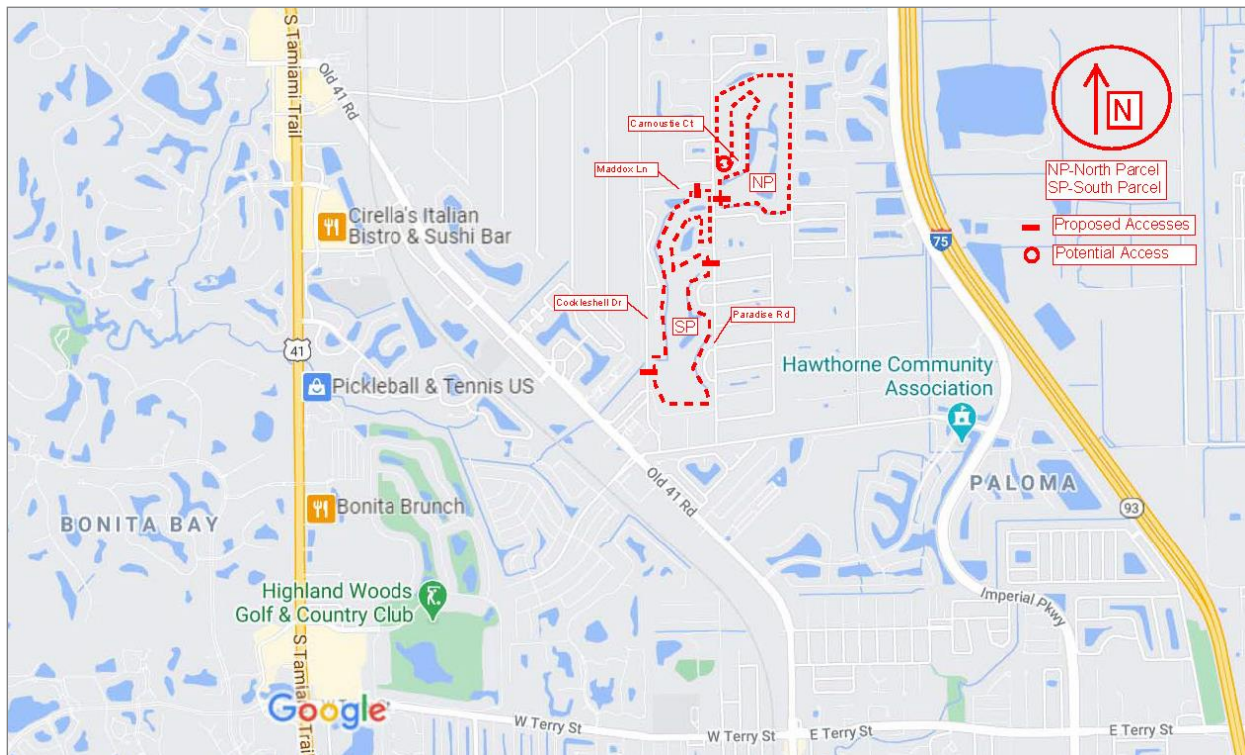
Appendix A: Project Master Site Plan	18
Appendix B: Initial Meeting Checklist (Methodology)	20
Appendix C: ITE Trip Generation Calculations	26
ITE Trip Generation Manual 10 th Edition – Land Use Description	27
Proposed Buildout Conditions – ITE 10 th Edition	30
Appendix D: Bonita Springs 2020 Traffic Count Data (Excerpts)	32
Appendix E: Lee County Generalized Peak Hour Directional Service Volumes (Excerpts)	47
Appendix F: Bonita Springs Future Road System Functional Classification	49
Appendix G: Project Turning Movement Exhibits.....	51
Appendix H: Turn Lane Warrant Analysis	53

Project Description

The Bonita Springs Golf Course project is located east of Cockleshell Drive, south of Maddox Lane and east of Paradise Road, south of Wild Turkey Avenue, in Bonita Springs Country Club subdivision, within the limits of the City of Bonita Springs. The subject site lies in Section 23, Township 47 South, Range 25 East, in Lee County, Florida.

For location and layout of the project refer to **Figure 1 – Project Location Map**, which follows, and **Appendix A: Project Master Site Plan**.

Figure 1 – Project Location Map



The subject site was previously developed as an 18-hole golf course which closed in May 2006.

The project proposes to rezone the property from Residential Single-Family RS-1 and Residential Multiple-Family RM-2 to Residential Planned Development (RPD) and to permit the development of 500 residential dwelling units.

This traffic study has been prepared consistent with the City of Bonita Springs Traffic Impact Statement (TIS) Guidelines (per F.A.C. 17-076) and Lee County Turn Lane Policy (F.A.C. 11-4) recommendations.

The project provides a highest and best use scenario with respect to the project's trip generation as depicted in the Institute of Transportation Engineers (ITE) Trip Generation Manual. The development program is illustrated in **Table 1**. The ITE land use designations are depicted in agreement with the ITE Land Use Code (LUC) descriptions.

Table 1
Development Program

Development	Land Use	ITE Land Use Code	Size
North Parcel	Single-Family	210 – Single-Family Detached Housing	230 dwelling units
South Parcel	Single-Family	210 – Single-Family Detached Housing	70 dwelling units
	Multiple-Family	220 – Multifamily Housing (Low-Rise)	200 dwelling units

For the purposes of this analysis, the future forecast year is 2025.

A methodology meeting was held with the City of Bonita Springs Transportation Planning staff (via email) on March 9, 2021 as illustrated in **Appendix B: Initial Meeting Checklist (Methodology)**.

As illustrated in the proposed Master Site Plan, connections to the subject site are proposed as follows: North Parcel – one full movement access onto Paradise Road and one potential access onto Carnousti Court; South Parcel – up to two full movement accesses onto Maddox Lane, two full movement accesses onto Paradise Road and one full movement access onto Cockleshell Drive.

Trip Generation

Traffic generation associated with the proposed development is evaluated generally based on ITE Trip Generation Manual, 10th Edition and ITE Trip Generation Handbook, 3rd Edition. The software program OTISS, Online Traffic Impact Study Software (most current version) is used to create the trip generation for the project. The ITE rates and equations have been used for the trip generation calculations as applicable. Detailed calculations can be found in **Appendix C: ITE Trip Generation Calculations**.

The ITE Trip Generation Manual provides three unique land use codes that describe Multifamily Housing. Based on the number of levels (floors) provided, these are illustrated as follows: LUC 220 – Multifamily Housing (Low-Rise), LUC 221 – Multifamily Housing (Mid-Rise) and LUC 222 – Multifamily Housing (High-Rise). In order to provide more flexibility for development options, the LUC 220 – Multifamily Housing (Low-Rise) represents the conservative (higher) traffic generator and it is utilized for the purposes of this report.

Based on ITE recommendations, no reductions for internal capture or pass-by trip are considered for this project.

In agreement with the City of Bonita Springs TIS guidelines, significantly impacted roadways are identified based on projected AM and PM peak hour, peak direction project trips. In addition, site access operational analysis is calculated based on AM and PM peak hour project trips.

A summary of the proposed project trip generation calculations is illustrated in **Table 2**.

Table 2
Project Trip Generation – Build-out Conditions – Average Weekday ⁽¹⁾

Traffic	24 Hour Two-Way Volume	AM Peak Hour			PM Peak Hour		
		Enter	Exit	Total	Enter	Exit	Total
Development SF – 300 du; MF – 200 du	4,328	76	234	310	253	148	401
North Parcel ⁽²⁾ SF – 230 du	2,190	42	125	167	141	83	224
South Parcel ⁽²⁾ SF – 70 du; MF – 200 du	2,138	34	109	143	112	65	177

Note(s): (1) SF = Single-Family Detached Housing; MF = Multifamily Housing

(2) Traffic for each parcel is determined as a fraction from total development traffic based on number of units.

Trip Distribution and Assignment

The traffic generated by the development is assigned to the adjacent roadway network based on the knowledge of the area and as approved in the methodology meeting.

As illustrated in the adopted City of Bonita Springs TIS guidelines, significantly impacted roadways are defined as any segment where the directional AM and PM peak hour project trips exceed 2% or 3%, as applicable, of the directional peak hour capacity of the level of service standard for each segment identified.

The north parcel development proposes a potential connection to Carnousti Court. For the purposes of this report, traffic generated by the north parcel development is conservatively assumed at 100% to access the site via the main proposed entrance located on Paradise Road.

In addition, the proposed residential use located on the north side of the South Parcel development is projected to generate approximately 15% of the traffic associated with the South Parcel buildout. Due to its limited impact and number of proposed access connections, traffic generated by this localized development is conservatively assumed at 100% to access the site via the proposed entrances located on Maddox Lane.

The site-generated trip distribution is shown in **Table 3, Project Traffic Distribution for AM and PM Peak Hour, Peak Direction** and is graphically depicted in **Figure 2 – Project Distribution by Percentage and by AM and PM Peak Hour, Peak Direction**.

Table 3
Project Traffic Distribution for AM and PM Peak Hour, Peak Direction ⁽¹⁾

Roadway	Roadway Segment Location	Distribution of Project Traffic	Peak Hour, Peak Direction Project Volume	
			AM	PM
Maddox Ln	Cockleshell Dr to SP Access	SP 5%	5	6
Maddox Ln	SP Access to Paradise Rd	SP 10%	11	11
Paradise Rd	Maddox Ln to NP Access	SP 10%	11	11
Paradise Rd	NP Access to SP Access	NP 100% SP 10%	<u>NP 125; SP 11</u> Total 136	<u>NP 141; SP 11</u> Total 152
Paradise Rd	SP Access to Shangri-La Rd	NP 100% SP 60%	<u>NP 125; SP 65</u> Total 190	<u>NP 141; SP 67</u> Total 208
Cockleshell Dr	Maddox Ln to SP Access	SP 5%	5	6
Cockleshell Dr	SP Access to Shangri-La Rd	SP 40%	44	45
Shangri-La Rd	East of Paradise Rd	NP 30% SP 30%	<u>NP 38; SP 33</u> Total 71	<u>NP 42; SP 34</u> Total 76
Shangri-La Rd	Cockleshell Dr to Paradise Rd	NP 70% SP 30%	<u>NP 88; SP 33</u> Total 121	<u>NP 99; SP 34</u> Total 133
Shangri-La Rd	Old 41 Rd to Cockleshell Dr	NP 70% SP 70%	<u>NP 87; SP 76</u> Total 164	<u>NP 99; SP 78</u> Total 177
Imperial Pkwy	North of Shangri-La Rd	NP 15% SP 15%	<u>NP 19; SP 16</u> Total 35	<u>NP 21; SP 17</u> Total 38
Imperial Pkwy	South of Shangri-La Rd	NP 15% SP 15%	<u>NP 19; SP 16</u> Total 35	<u>NP 21; SP 17</u> Total 38
Old 41 Rd	South of Shangri-La Rd	NP 30% SP 30%	<u>NP 38; SP 33</u> Total 71	<u>NP 42; SP 34</u> Total 76
Old 41 Rd	Shangri-La Rd to Bernwood Pkwy	NP 40% SP 40%	<u>NP 50; SP 44</u> Total 94	<u>NP 57; SP 45</u> Total 102
Old 41 Rd	Bernwood Pkwy to Strike Ln	NP 25% SP 25%	<u>NP 31; SP 27</u> Total 58	<u>NP 35; SP 28</u> Total 63
Old 41 Rd	Strike Ln to US 41	NP 20% SP 20%	<u>NP 25; SP 22</u> Total 47	<u>NP 28; SP 22</u> Total 50
Potential Access on Carnousti Ct				
Paradise Rd	Maddox Ln to Carnousti Ct	NP 10%	13	14
Carnousti Ct	Paradise Rd to NP Access	NP 10%	13	14

Note(s): (1) SP = South Parcel; NP = North Parcel.

Background Traffic

Future Growth Rates Determination

Historic growth rates are estimated for the segments of the roadway network in the study area using a general guidance of a minimum 2% growth rate, or historical growth rates from available traffic counts.

Projected historical linear growth rates are calculated for a 5-year period (2015 – 2020) based on daily traffic volumes illustrated in the 2020 City of Bonita Springs traffic count report. Refer to **Appendix D: Bonita Springs 2020 Traffic Count Data (Excerpts)**.

For the purposes of this report, calculated growth rates were moderated to a maximum reasonable rate of 5%. Based on traffic data presented for Old 41 Rd, a historical growth rate of 4% was determined which is representative for the expected traffic growth for the roadway network in the vicinity of project. Annual growth rate determination is illustrated in **Table 4A**.

Table 4A
Annual Growth Rate Determination ⁽¹⁾

Roadway	Roadway Segment Location	FTE Station Number	Historic Traffic Count (Year)\Volume		Growth Rate Calculated	Growth Rate Applied
			From	To		
Paradise Rd	Maddox Ln to NP Access	0002	(2017)/2,500	(2020)/3,600	14.7%	5.0%
Paradise Rd	NP Access to SP Access	0002	(2017)/2,500	(2020)/3,600	14.7%	5.0%
Paradise Rd	SP Access to Shangri-La Rd	0002	(2017)/2,500	(2020)/3,600	14.7%	5.0%
Cockleshell Dr	Maddox Ln to SP Access	1213	(2015)/1,900	(2020)/2,200	3.2%	3.2%
Cockleshell Dr	SP Access to Shangri-La Rd	1213	(2015)/1,900	(2020)/2,200	3.2%	3.2%
Shangri-La Rd	East of Paradise Rd	1212	(2015)/4,600	(2020)/7,500	12.6%	5.0%
Shangri-La Rd	Cockleshell Dr to Paradise Rd	1212	(2015)/4,600	(2020)/7,500	12.6%	5.0%
Shangri-La Rd	Old 41 Rd to Cockleshell Dr	1212	(2015)/4,600	(2020)/7,500	12.6%	5.0%
Imperial Pkwy	North of Shangri-La Rd	1226	(2015)/13,000	(2020)/18,500	8.5%	5.0%
Imperial Pkwy	South of Shangri-La Rd	1227	(2015)/13,800	(2020)/20,000	9.0%	5.0%
Old 41 Rd	South of Shangri-La Rd	1220	(2015)/20,700	(2020)/22,000	1.3%	2.0%
Old 41 Rd	Shangri-La Rd to Bernwood Pkwy	1228	(2015)/13,600	(2020)/16,300	4.0%	4.0%
Old 41 Rd	Bernwood Pkwy to Strike Ln	1216	(2015)/12,000	(2020)/14,200	3.7%	3.7%
Old 41 Rd	Strike Ln to US 41	1216	(2015)/12,000	(2020)/14,200	3.7%	3.7%

Note(s): (1) SP = South Parcel; NP = North parcel.

Background Traffic Determination – City of Bonita Springs Traffic Data

In accordance with the City of Bonita Springs TIS Guidelines, background traffic volumes reflect peak hour, peak season, peak direction traffic volumes.

The 2020 City of Bonita Springs traffic count report is used to determine the current 2020 peak hour, peak season, peak direction traffic volumes for the analyzed roadway segments. The 2020 peak hour, peak season, peak direction volumes are determined as the highest direction volume of a typical weekday during peak season (per City’s traffic count report – three day average counted under peak season conditions). Refer to **Appendix D: Bonita Springs 2020 Traffic Count Data (Excerpts)**.

Please note that Maddox Lane and Carnousti Court are not traffic monitored roadway facilities.

The 2020 base year traffic volumes were factored by the appropriate annual growth rate (**Table 4A**) in order to determine the 2025 background peak hour, peak season, peak direction traffic volumes.

Table 4B illustrates the year 2020 and 2025 background traffic (without project) and the Level of Service (LOS) for the roadway links within the study area. The LOS evaluation is based on the most current Lee County Generalized Peak Hour Directional Service Volumes (refer to **Appendix E**).

As there are no vested or reserved trips assigned to the analyzed roadway network, this report calculates future background traffic using annual growth rates.

Based on the traffic data illustrated in **Table 4B**, the analyzed roadway segments are shown to operate at LOS “D” or better under 2020 and 2025 background traffic conditions (without project).

Table 4B
Background Traffic without Project (2020 – 2025) – City of Bonita Springs Traffic Data

Roadway	Roadway Segment Location	2020 Peak Hour, Peak Season, Peak Direction Volume - LOS ⁽¹⁾	Traffic Annual Growth Rate ⁽²⁾	Growth Factor ⁽³⁾	2025 Peak Hour, Peak Season, Peak Direction Volume – LOS ⁽⁴⁾
Paradise Rd	Maddox Ln to NP Access	212 – C	5.0%	1.250	265 - C
Paradise Rd	NP Access to SP Access	212 – C	5.0%	1.250	265 - C
Paradise Rd	SP Access to Shangri-La Rd	212 – C	5.0%	1.250	265 – C
Cockleshell Dr	Maddox Ln to SP Access	140 – C	3.2%	1.160	163 – C
Cockleshell Dr	SP Access to Shangri-La Rd	140 – C	3.2%	1.160	163 – C
Shangri-La Rd	East of Paradise Rd	416 – D	5.0%	1.250	520 – D
Shangri-La Rd	Cockleshell Dr to Paradise Rd	416 – D	5.0%	1.250	520 – D
Shangri-La Rd	Old 41 Rd to Cockleshell Dr	416 – D	5.0%	1.250	520 – D
Imperial Pkwy	North of Shangri-La Rd	1,126 – C	5.0%	1.250	1,408 - C
Imperial Pkwy	South of Shangri-La Rd	1,274 – C	5.0%	1.250	1,593 - C
Old 41 Rd	South of Shangri-La Rd	939 – D	2.0%	1.100	1,033 – D
Old 41 Rd	Shangri-La Rd to Bernwood Pkwy	779 – C	4.0%	1.200	935 – C
Old 41 Rd	Bernwood Pkwy to Strike Ln	723 – C	3.7%	1.185	857 – C
Old 41 Rd	Strike Ln to US 41	723 – C	3.7%	1.185	857 - C

Note(s): SP = South Parcel; NP = North Parcel.
 (1) Refer to **Appendix D** and **Appendix E**.
 (2) Refer to **Table 4A**.
 (3) Growth Factor = (1 + Annual Growth Rate x 5)
 (4) 2025 Projected Volume = 2020 Volume x Growth Factor.

Existing and Future Roadway Network

Roadway improvements that are currently under construction or are scheduled to be constructed within the five years of the current Capital Improvement Program (CIP), are considered to be committed improvements for the purposes of this study. As no capacity improvements were identified for the evaluated roadway links, no changes to the study network are anticipated in the year 2025.

Based on the City of Bonita Springs Transportation Element – Policy 1.1.3, the minimum acceptable peak hour/peak season/peak direction roadway levels of service (Standard LOS) shall be as follows: LOS “E” for arterials and collectors and LOS “D” for local roads.

Based on the City of Bonita Springs Transportation Element – Figure 1 – Future Road System Functional Classification, the analyzed roadways are classified as follows: Paradise Road, Maddox Lane and Carnousti

Court – local roadways; Cockleshell Drive and Shangri-La Road – minor collectors; and Imperial Parkway and Old 41 Road – major arterials. Refer to **Appendix F: Bonita Springs Future Road System Functional Classification**.

Table 5 illustrates current 2020 and future 2025 roadway conditions, as well as the adopted Standard LOS.

Table 5
Existing and Future Roadway Conditions

Roadway	Roadway Segment Location	2020 Roadway Conditions	2020 Standard LOS	2020 Standard Capacity Volume ⁽¹⁾	2025 Roadway Conditions	2025 Standard LOS	2025 Standard Capacity Volume ⁽¹⁾
Maddox Ln	Cockleshell Dr to SP Access	2LN	D	660	2LN	D	660
Maddox Ln	SP Access to Paradise Rd	2LN	D	660	2LN	D	660
Paradise Rd	Maddox Ln to NP Access	2LN	D	660	2LN	D	660
Paradise Rd	NP Access to SP Access	2LN	D	660	2LN	D	660
Paradise Rd	SP Access to Shangri-La Rd	2LN	D	660	2LN	D	660
Cockleshell Dr	Maddox Ln to SP Access	2LN	E	740	2LN	E	740
Cockleshell Dr	SP Access to Shangri-La Rd	2LN	E	740	2LN	E	740
Shangri-La Rd	East of Paradise Rd	2LN	E	740	2LN	E	740
Shangri-La Rd	Cockleshell Dr to Paradise Rd	2LN	E	740	2LN	E	740
Shangri-La Rd	Old 41 Rd to Cockleshell Dr	2LN	E	740	2LN	E	740
Imperial Pkwy	North of Shangri-La Rd	4LD	E	1,960	4LD	E	1,960
Imperial Pkwy	South of Shangri-La Rd	4LD	E	1,960	4LD	E	1,960
Old 41 Rd	South of Shangri-La Rd	4LD	E	1,660	4LD	E	1,660
Old 41 Rd	Shangri-La Rd to Bernwood Pkwy	4LD	E	1,960	4LD	E	1,960
Old 41 Rd	Bernwood Pkwy to Strike Ln	4LD	E	1,960	4LD	E	1,960
Old 41 Rd	Strike Ln to US 41	4LD	E	1,960	4LD	E	1,960
Potential Access on Carnousti Ct							
Paradise Rd	Maddox Ln to Carnousti Ct	2LN	D	660	2LN	D	660
Carnousti Ct	Paradise Rd to NP Access	2LN	D	660	2LN	D	660

Note(s): SP = South Parcel; NP = North Parcel.
 2LN = 2-lane narrow roadway; 4LD, 6LD = 4-lane, 6-lane divided roadway, respectively.
 LOS = Level of Service.
 (1) Refer to **Appendix E**.

Project Impacts to Area Roadway Network – Roadway Link Analysis

Significant impacts and LOS determination for the area roadway network are evaluated to establish the project impacts for the forecast year 2025.

Significantly impacted roadways are defined as any segment where the directional peak hour project trips exceed 2% or 3%, as applicable, of the directional peak hour capacity of the level of service standard for each segment as identified in Subsection 5.03 of the City of Bonita Springs TIS Guidelines.

The LOS evaluation is based on the most current Lee County Generalized Peak Hour Directional Service Volumes (refer to **Appendix E**).

Future 2025 background traffic volumes are combined with estimated AM and PM peak hour, peak direction project trips, as illustrated in **Table 6a** and **Table 6B**.

Consistent with the results presented in **Table 6A** and **Table 6B**, the estimated project's traffic volumes create significant impacts on most of the analyzed roadway segments.

In addition, the analyzed roadway segments are not projected to exceed the adopted LOS Standard with or without the project at 2025 future traffic conditions.

Table 6A
Roadway LOS – Traffic Impact – AM Peak Hour, Peak Season, Peak Direction

Roadway Link	Roadway Segment Location	Standard Capacity Volume – LOS ⁽¹⁾	2025 Background Service Volume – LOS ⁽²⁾	AM Pk Hr, Pk Dir, Project Volume Added ⁽³⁾	2025 Total AM Pk Hr, Pk Season, Pk Dir, Roadway Volume–LOS ⁽⁴⁾	Project AM Pk Hr, Pk Dir as % of Standard Capacity	2025 Background Volume exceeds Standard Capacity?	2025 Total Volume exceeds Standard Capacity?
Maddox Ln	Cockleshell Dr to SP Access	660 – D	N/A	5	N/A	0.8%	N/A	N/A
Maddox Ln	SP Access to Paradise Rd	660 – D	N/A	11	N/A	1.7%	N/A	N/A
Paradise Rd	Maddox Ln to NP Access	660 – D	265 - C	11	276 – C	1.7%	No	No
Paradise Rd	NP Access to SP Access	660 – D	265 - C	136	401 – D	20.6%	No	No
Paradise Rd	SP Access to Shangri-La Rd	660 – D	265 – C	190	455 – D	28.8%	No	No
Cockleshell Dr	Maddox Ln to SP Access	740 – E	163 – C	5	168 – C	0.7%	No	No
Cockleshell Dr	SP Access to Shangri-La Rd	740 – E	163 – C	44	207 – C	5.9%	No	No
Shangri-La Rd	East of Paradise Rd	740 – E	520 – D	71	591 – D	9.6%	No	No
Shangri-La Rd	Cockleshell Dr to Paradise Rd	740 – E	520 – D	121	641 – D	16.4%	No	No
Shangri-La Rd	Old 41 Rd to Cockleshell Dr	740 – E	520 – D	164	684 – E	22.2%	No	No
Imperial Pkwy	North of Shangri-La Rd	1,960 – E	1,408 - C	35	1,443 – C	1.8%	No	No
Imperial Pkwy	South of Shangri-La Rd	1,960 – E	1,593 - C	35	1,628 – C	1.8%	No	No
Old 41 Rd	South of Shangri-La Rd	1,660 – E	1,033 – D	71	1,104 – D	4.3%	No	No
Old 41 Rd	Shangri-La Rd to Bernwood Pkwy	1,960 – E	935 – C	94	1,029 – C	4.8%	No	No
Old 41 Rd	Bernwood Pkwy to Strike Ln	1,960 – E	857 – C	58	915 – C	3.0%	No	No
Old 41 Rd	Strike Ln to US 41	1,960 – E	857 - C	47	904 – C	2.4%	No	No
Potential Access on Carnousti Ct								
Paradise Rd	Maddox Ln to Carnousti Ct	660 – D	N/A	13	N/A	2.0%	N/A	N/A
Carnousti Ct	Paradise Rd to NP Access	660 – D	N/A	13	N/A	2.0%	N/A	N/A

- Note(s): N/A – not applicable; not a traffic monitored roadway segment;
 (1) Refer to **Table 5** from this report.
 (2) Refer to **Table 4B** from this report and **Appendix E**.
 (3) Refer to **Table 3** from this report.
 (4) 2025 Projected Volume = 2025 background + Project Volume added and **Appendix E**.

Table 6B
Roadway LOS – Traffic Impact – PM Peak Hour, Peak Season, Peak Direction

Roadway Link	Roadway Segment Location	Standard Capacity Volume – LOS ⁽¹⁾	2025 Background Service Volume – LOS ⁽²⁾	PM Pk Hr, Pk Dir, Project Volume Added ⁽³⁾	2025 Total PM Pk Hr, Pk Season, Pk Dir, Roadway Volume–LOS ⁽⁴⁾	Project PM Pk Hr, Pk Dir as % of Standard Capacity	2025 Background Volume exceeds Standard Capacity?	2025 Total Volume exceeds Standard Capacity?
Maddox Ln	Cockleshell Dr to SP Access	660 – D	N/A	6	N/A	0.9%	N/A	N/A
Maddox Ln	SP Access to Paradise Rd	660 – D	N/A	11	N/A	1.7%	N/A	N/A
Paradise Rd	Maddox Ln to NP Access	660 – D	265 - C	11	276 – C	1.7%	No	No
Paradise Rd	NP Access to SP Access	660 – D	265 - C	152	417 – D	23.0%	No	No
Paradise Rd	SP Access to Shangri-La Rd	660 – D	265 – C	208	473 – D	31.5%	No	No
Cockleshell Dr	Maddox Ln to SP Access	740 – E	163 – C	6	169 – C	0.8%	No	No
Cockleshell Dr	SP Access to Shangri-La Rd	740 – E	163 – C	45	208 – C	6.1%	No	No
Shangri-La Rd	East of Paradise Rd	740 – E	520 – D	76	596 – D	10.3%	No	No
Shangri-La Rd	Cockleshell Dr to Paradise Rd	740 – E	520 – D	133	653 – D	18.0%	No	No
Shangri-La Rd	Old 41 Rd to Cockleshell Dr	740 – E	520 – D	177	697 – E	23.9%	No	No
Imperial Pkwy	North of Shangri-La Rd	1,960 – E	1,408 - C	38	1,446 – C	1.9%	No	No
Imperial Pkwy	South of Shangri-La Rd	1,960 – E	1,593 - C	38	1,631 – C	1.9%	No	No
Old 41 Rd	South of Shangri-La Rd	1,660 – E	1,033 – D	76	1,109 – D	4.6%	No	No
Old 41 Rd	Shangri-La Rd to Bernwood Pkwy	1,960 – E	935 – C	102	1,037 – C	5.2%	No	No
Old 41 Rd	Bernwood Pkwy to Strike Ln	1,960 – E	857 – C	63	920 – C	3.2%	No	No
Old 41 Rd	Strike Ln to US 41	1,960 – E	857 - C	50	907 – C	2.6%	No	No
Potential Access on Carnousti Ct								
Paradise Rd	Maddox Ln to Carnousti Ct	660 – D	N/A	14	N/A	2.1%	N/A	N/A
Carnousti Ct	Paradise Rd to NP Access	660 – D	N/A	14	N/A	2.1%	N/A	N/A

Note(s): N/A – not applicable; not a traffic monitored roadway segment;

(1) Refer to **Table 5** from this report.

(2) Refer to **Table 4B** from this report and **Appendix E**.

(3) Refer to **Table 3** from this report.

(4) 2025 Projected Volume = 2025 background + Project Volume added and **Appendix E**.

Site Access Turn Lane Analysis

As illustrated in the proposed Master Site Plan, connections to the subject site are proposed as follows: North Parcel – one full movement access onto Paradise Road and one potential access onto Carnousti Court; South Parcel – up to two full movement accesses onto Maddox Lane, two full movement accesses onto Paradise Road and one full movement access onto Cockleshell Drive. For more details refer to **Appendix A: Project Master Site Plan**.

Turn lane recommendations coincident with the project build-out conditions have been reviewed based on Lee County Turn Lane Policy AC-11-4 criteria. According to the Lee County Turn Lane Policy, left-and/or right-turn lanes are required when any two or more warrants are satisfied.

The analysis is provided in the attached **Appendix G: Project Turning Movement Exhibits** and **Appendix H: Turn Lane Warrant Analysis**.

For the purposes of this report, traffic generated by the North Parcel development is conservatively assumed at 100% to access the site via the main proposed entrance located on Paradise Road. The potential connection to Carnousti Court will relieve traffic at the main access.

As previously described in this report, traffic generated by the residential section located on the north side of the South Parcel development is conservatively assumed at 100% to access the site via the proposed entrances located on Maddox Lane. In addition, for turn lane evaluation purposes one access connection servicing the South Parcel development is conservatively considered on Maddox Lane.

Based on the results illustrated in **Appendix H**, turn lanes are not warranted for the proposed accesses that service the South Parcel and are warranted at the proposed North Parcel main access located on Paradise Road.

Paradise Road and North Parcel Access Intersection

Paradise Road has a posted speed limit of 30 miles per hour (mph) in the vicinity of project boundary.

Based on FDOT Standard Plans Index 711-001, posted speed of 30 mph, the minimum turn lane length is 145 feet (which includes a 50 foot taper) plus required queue.

As illustrated in **Appendix G**, the project is expected to generate 42 and 141vph northbound right-turning movements during the AM and PM peak hour, respectively.

The site connection provides a minimum of 150 feet of “throat” length that may be utilized for stacking and safe ingress into the property. In addition, due to the free flow condition at this access, the queue length may be omitted. Based on these considerations, a stacking right-turn lane is recommended to consist of a minimum 145 feet (deceleration length for a 30 mph facility).

To promote safety improvements and operational performance, the developer proposes a roundabout at this location which is adequate to accommodate projected traffic. In addition, roundabouts have traffic calming effects on streets by reducing vehicle speeds using geometric design rather than relying solely on traffic control devices.

Improvement Analysis

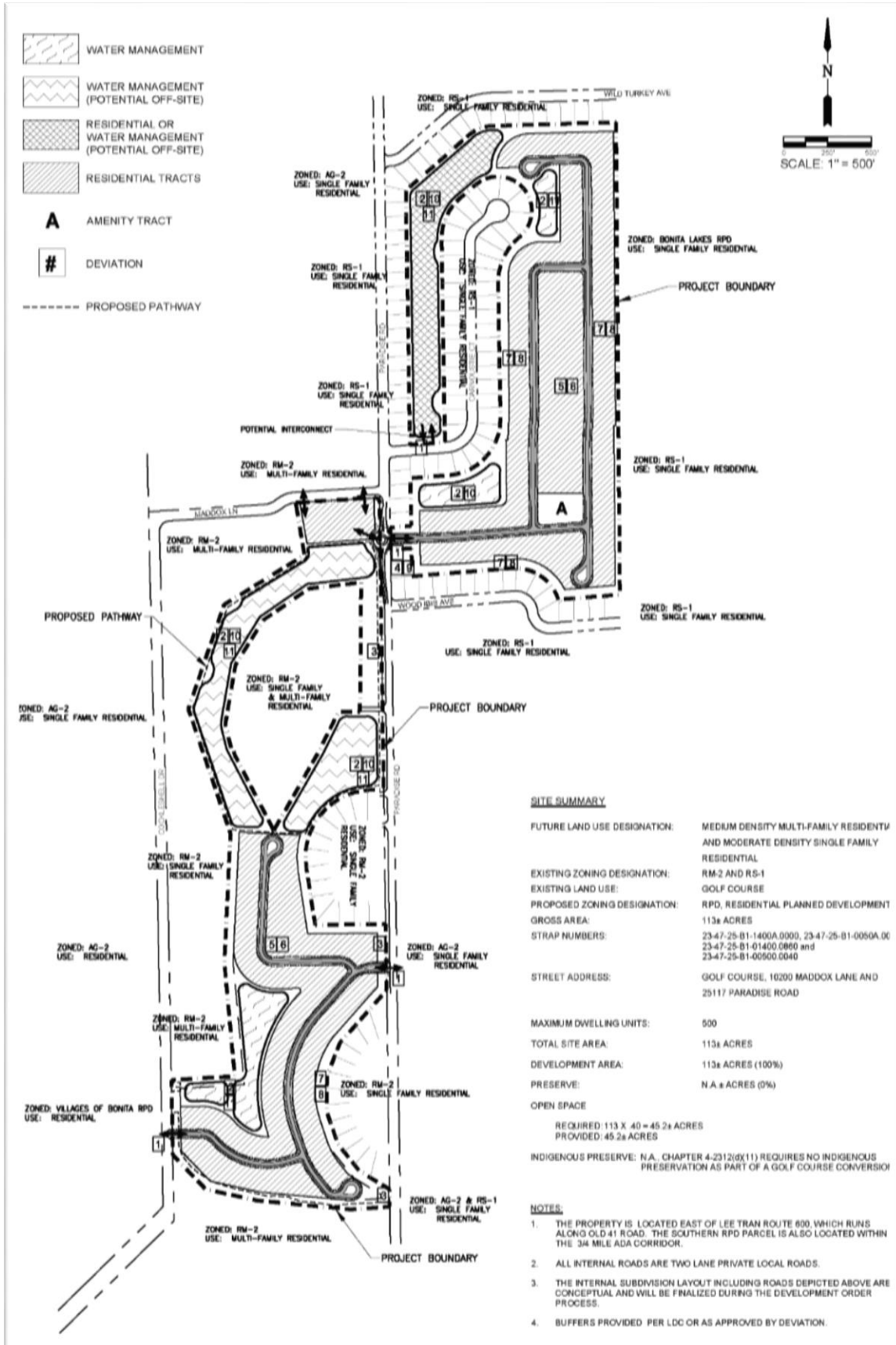
Based on the link analysis presented in this report, there is adequate and sufficient roadway capacity on all analyzed roadway links to accommodate the proposed development at 2025 build-out conditions.

Turn lane improvements are warranted at the proposed North Parcel main access located on Paradise Road. The proposed roundabout is adequate to accommodate projected traffic at this location.

Mitigation of Impact

The developer proposes to pay the appropriate City of Bonita Springs transportation impact fees, as applicable, as building permits are issued for the project.

Appendix A:
Project Master Site Plan



Appendix B:
Initial Meeting Checklist (Methodology)

METHODOLOGY - INITIAL MEETING CHECKLIST

Date: March 9, 2021 Time: N/A

Location: N/A – Via Email

People Attending:

Name, Organization, and Telephone Numbers

- 1) Tom Ross, City of Bonita Springs Transportation Review
- 2) Norman Trebilcock, TCS
- 3) Ciprian Malaescu, TCS

Study Preparer:

Preparer's Name and Title: Norman Trebilcock, AICP, PTOE, PE

Organization: Trebilcock Consulting Solutions, PA

Address & Telephone Number: 2800 Davis Boulevard, Suite 200, Naples, FL 34104; ph 239-566-9551

Reviewer(s):

Reviewer's Name & Title: Tom Ross, PE

Address: 225 East Robinson St., Suite 505, Orlando, FL 32801

Telephone Number: 407-423-0030

Applicant:

Applicant's Name: Peninsula Engineering

Address: 2600 Golden Gate Parkway, Naples, FL 34105

Telephone Number: 239-403-6700

Proposed Development:

Name: Bonita Springs Golf Course – Rezone

Location: East of Cockleshell Drive, south of Maddox Lane and east of Paradise Road, south of Wild Turkey Avenue, Bonita Springs, FL – refer to **Figure 1** on next page

ITE Land Use Type: Single-Family Detached Housing

ITE Code #: Land Use Code (LUC) 210

Description:

The project proposes to allow for a new Residential Planned Development (RPD) to consist of a mix of single-family and multi-family dwelling units (du) in 2 parcels: North Parcel and South Parcel.

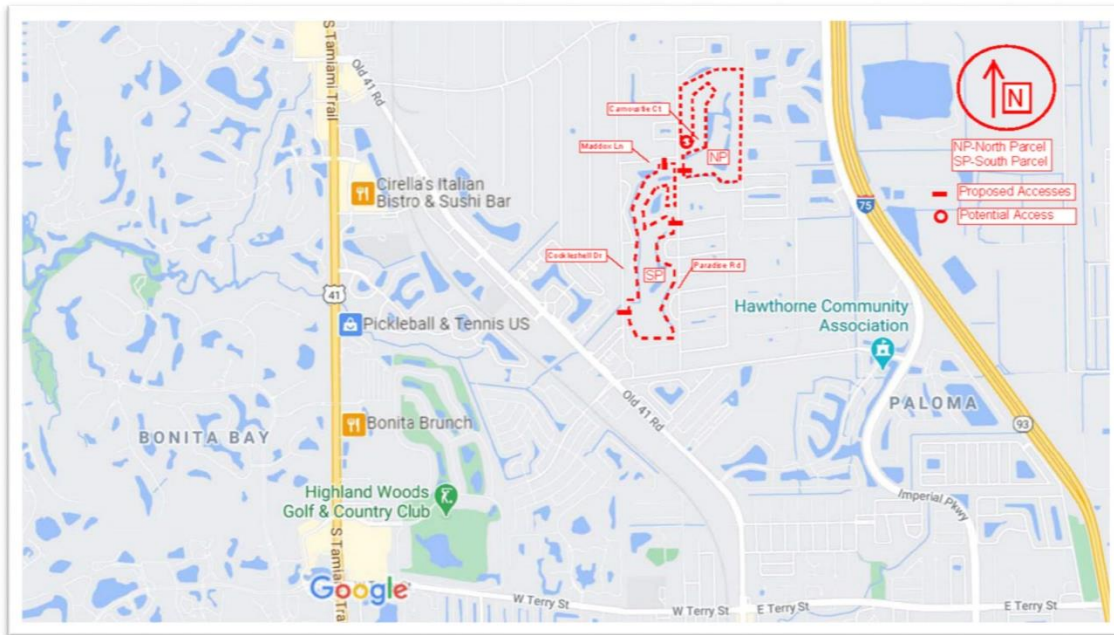
Zoning:

Existing: RS-1 and RM-2

Comprehensive plan recommendation: N/A

Requested: Zoning change to RPD

Figure 1 – Location Map



Findings of the Preliminary Study:

TIS will satisfy City of Bonita Springs TIS Guidelines requirements (Resolution #17-76).

Trip Generation – ITE 10th Edition – OTISS. Traffic generation illustrates buildout conditions with traffic assigned to each parcel based on the number of units.

No internal capture or pass-by traffic reduction are considered for this project.

Project Traffic Distribution, Link Assignment – AM and PM peak hour traffic

Significance Test – based on 2% or 3% threshold, as applicable.

Level of Service (LOS) analyses will be performed for existing, background and proposed (background with project traffic) conditions for AM and PM peak hour periods.

TIS will provides LOS analysis of the nearest arterial or collector streets to which the proposed project will discharge its traffic. The LOS evaluation is based on the most current Lee County Generalized Level of Service Thresholds.

Background traffic will reflect peak season, peak hour, peak direction values (100th Highest Hour Directional Volume). TIS will utilize traffic counts provided in the 2020 City of Bonita Springs Traffic Count Report.

Growth rates will be used in lieu of vested or reserved trips.
K and D factors will be calculated based on the data illustrated in the 2020 City of Bonita Springs Traffic Count Report.
Turning Movement Counts in 15 min intervals – 1 mid-weekday – AM (7-9 AM) and PM (4-6 PM) for the following locations: Old 41 Rd at Shangri-La Rd, Shangri-La Rd at Cockleshell Dr, and Shangri-La Rd at Paradise Rd. Traffic counts will reflect 2021 peak season conditions.
Report will provide capacity analyses for the above mentioned intersections for both AM and PM peak hours based on the following scenarios: existing 2021 peak season conditions; future 2025 peak season conditions without and with proposed project.
Turn lane warrant analyses for the 3 intersections and project access points – AM-PM peak hours – based on Lee County Turn Lane Policy AC 11-4.
Paradise Rd and Cockleshell Dr are 2 lane roadways with a posted speed limit of 30 mph and are under the jurisdiction of the City of Bonita Springs.
Based on the City of Bonita Springs Transportation Element (Figure 1 – Future Road System Functional Classification), the analyzed roadways are classified as follows: Paradise Road – local roadway, Cockleshell Drive and Shangri-La Road – minor collectors and Old 41 Road – major arterial.

Study Area:

Roadway Links: Old 41 Road, Shangri-La Road
Additional intersections to be analyzed: N/A
Build Out Year: 2024
Horizon Year: 2025
Analysis Time Period(s): AM/PM peak hour
Future Off-Site Developments: to be determined
Source of Trip Generation Rates: ITE Trip Generation Manual (TGM) 10th Edition – OTISS software

Reductions in Trip Generation Rates:

None: N/A
Pass-by trips: Based on ITE recommendations and City of Bonita Springs TIS Guidelines
Internal trips: Based on ITE recommendations and City of Bonita Springs TIS Guidelines
Transit use: N/A

Horizon Year Roadway Network Improvements: 2025

Methodology & Assumptions:

Non-site traffic estimates: City of Bonita Springs 2020 Traffic Count Report
Site-trip generation: ITE TGM 10th Edition - LUC 210
Trip distribution - assignment method: Engineer's Estimate – Refer to **Figure 2**
Traffic site access: Refer to **Figure 3**
Traffic growth rate: growth rate 2% minimum or historical traffic count data as contained within Bonita Springs Traffic Count Report, as applicable.

Figure 2 – Project Trip Distribution Map by Percentage

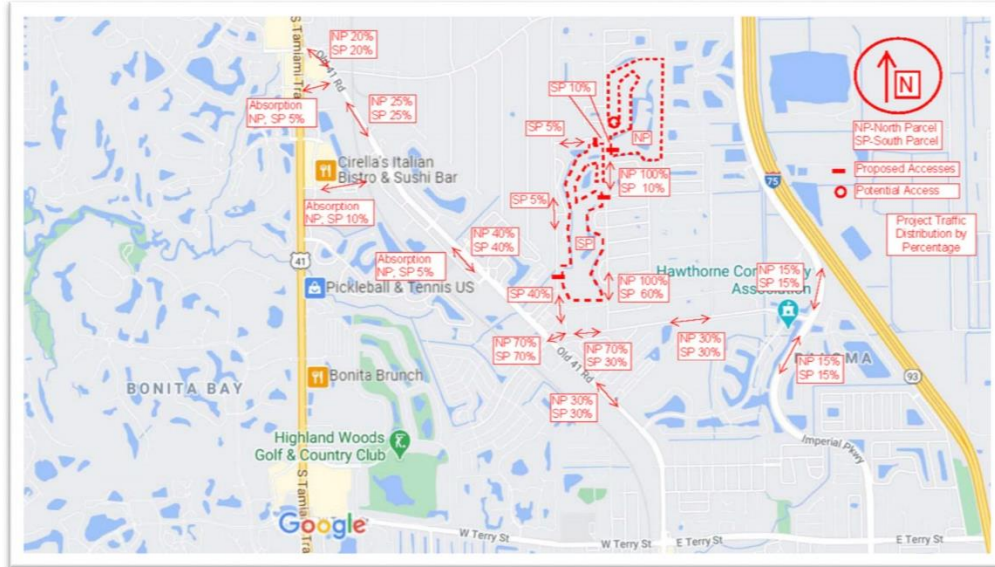
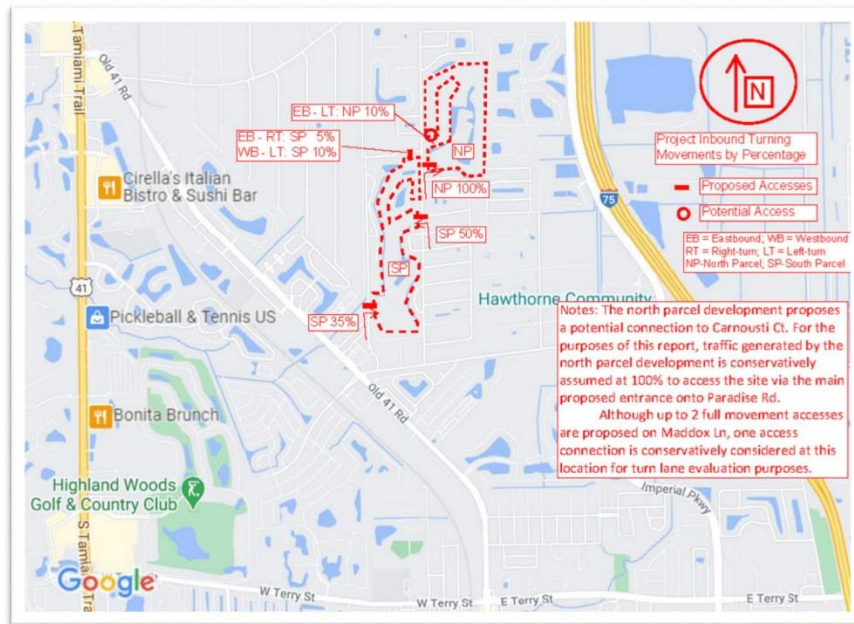


Figure 3 – Project Turning Movements Map by Percentage



Special Features: (from preliminary study or prior experience)

Accidents locations: N/A

Sight distance: N/A

Queuing: to be determined

Access location & configuration: N/A

Traffic control: MUTCD

Signal system location & progression needs: N/A

On-site parking needs: N/A

Data Sources: ITE TGM 10th Edition – OTISS Software

Base maps: N/A

Prior study reports: N/A

Access policy and jurisdiction: N/A

Review process: N/A

Requirements: N/A

Miscellaneous: N/A

SIGNATURES

Norman Trebilcock

Study Preparer—Norman Trebilcock

Appendix C:
ITE Trip Generation Calculations

ITE Trip Generation Manual 10th Edition – Land Use Description

**Land Use: 210
Single-Family Detached Housing**

Description

Single-family detached housing includes all single-family detached homes on individual lots. A typical site surveyed is a suburban subdivision.

Additional Data

The number of vehicles and residents had a high correlation with average weekday vehicle trip ends. The use of these variables was limited, however, because the number of vehicles and residents was often difficult to obtain or predict. The number of dwelling units was generally used as the independent variable of choice because it was usually readily available, easy to project, and had a high correlation with average weekday vehicle trip ends.

This land use included data from a wide variety of units with different sizes, price ranges, locations, and ages. Consequently, there was a wide variation in trips generated within this category. Other factors, such as geographic location and type of adjacent and nearby development, may also have had an effect on the site trip generation.

Single-family detached units had the highest trip generation rate per dwelling unit of all residential uses because they were the largest units in size and had more residents and more vehicles per unit than other residential land uses; they were generally located farther away from shopping centers, employment areas, and other trip attractors than other residential land uses; and they generally had fewer alternative modes of transportation available because they were typically not as concentrated as other residential land uses.

Time-of-day distribution data for this land use are presented in Appendix A. For the six general urban/suburban sites with data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 7:15 and 8:15 a.m. and 4:00 and 5:00 p.m., respectively. For the two sites with Saturday data, the overall highest vehicle volume was counted between 3:00 and 4:00 p.m. For the one site with Sunday data, the overall highest vehicle volume was counted between 10:15 and 11:15 a.m.

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in California, Connecticut, Delaware, Illinois, Indiana, Maryland, Minnesota, Montana, New Jersey, North Carolina, Ohio, Oregon, Pennsylvania, South Carolina, South Dakota, Tennessee, Vermont, and Virginia.

Source Numbers

100, 105, 114, 126, 157, 167, 177, 197, 207, 211, 217, 267, 275, 293, 300, 319, 320, 356, 357, 367, 384, 387, 407, 435, 522, 550, 552, 579, 598, 601, 603, 614, 637, 711, 716, 720, 728, 735, 868, 903, 925, 936



Land Use: 220 Multifamily Housing (Low-Rise)

Description

Low-rise multifamily housing includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and that have one or two levels (floors). Multifamily housing (mid-rise) (Land Use 221), multifamily housing (high-rise) (Land Use 222), and off-campus student apartment (Land Use 225) are related land uses.

Additional Data

In prior editions of *Trip Generation Manual*, the low-rise multifamily housing sites were further divided into rental and condominium categories. An investigation of vehicle trip data found no clear differences in trip making patterns between the rental and condominium sites within the ITE database. As more data are compiled for future editions, this land use classification can be reinvestigated.

For the three sites for which both the number of residents and the number of occupied dwelling units were available, there were an average of 2.72 residents per occupied dwelling unit.

For the two sites for which the numbers of both total dwelling units and occupied dwelling units were available, an average of 96.2 percent of the total dwelling units were occupied.

This land use included data from a wide variety of units with different sizes, price ranges, locations, and ages. Consequently, there was a wide variation in trips generated within this category. Other factors, such as geographic location and type of adjacent and nearby development, may also have had an effect on the site trip generation.

Time-of-day distribution data for this land use are presented in Appendix A. For the 10 general urban/suburban sites with data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 7:15 and 8:15 a.m. and 4:45 and 5:45 p.m., respectively. For the one site with Saturday data, the overall highest vehicle volume was counted between 9:45 and 10:45 a.m. For the one site with Sunday data, the overall highest vehicle volume was counted between 11:45 a.m. and 12:45 p.m.

For the one dense multi-use urban site with 24-hour count data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 7:00 and 8:00 a.m. and 6:15 and 7:15 p.m., respectively.

For the three sites for which data were provided for both occupied dwelling units and residents, there was an average of 2.72 residents per occupied dwelling unit.

The average numbers of person trips per vehicle trip at the five general urban/suburban sites at which both person trip and vehicle trip data were collected were as follows:

- 1.13 during Weekday, Peak Hour of Adjacent Street Traffic, one hour between 7 and 9 a.m.
- 1.21 during Weekday, Peak Hour of Adjacent Street Traffic, one hour between 4 and 6 p.m.



The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in British Columbia (CAN), California, District of Columbia, Florida, Georgia, Illinois, Indiana, Maine, Maryland, Minnesota, New Jersey, New York, Ontario, Oregon, Pennsylvania, South Dakota, Tennessee, Texas, Utah, Virginia, and Washington.

It is expected that the number of bedrooms and number of residents are likely correlated to the number of trips generated by a residential site. Many of the studies included in this land use did not indicate the total number of bedrooms. To assist in the future analysis of this land use, it is important that this information be collected and included in trip generation data submissions.

Source Numbers

168, 187, 188, 204, 211, 300, 305, 306, 319, 320, 321, 357, 390, 412, 418, 525, 530, 571, 579, 583, 864, 868, 869, 870, 896, 903, 918, 946, 947, 948, 951



Proposed Buildout Conditions – ITE 10th Edition

Project Information							
Project Name:	Bonita Springs Golf Course - Proposed						
Date:	3/1/2021						
Edition:	Trip Gen Manual, 10th Ed + Supplement						

North Parcel - 230 SF du;
e.g. PM Enter - 141
South Parcel 70 SF du + 200 MF du;
e.g. PM Enter - 112

Land Use	Size	Daily		AM Peak		PM Peak	
		Entry	Exit	Entry	Exit	Entry	Exit
210 - Single-Family Detached Housing (General Urban/Suburban)	300 Dwelling Units	1429	1428	55	163	184	108
Reduction		0	0	0	0	0	0
Internal		0	0	0	0	0	0
Pass-by		0	0	0	0	0	0
Non-pass-by		1429	1428	55	163	184	108
220 - Multifamily Housing (Low-Rise) (General Urban/Suburban)	200 Dwelling Units	736	735	21	71	69	40
Reduction		0	0	0	0	0	0
Internal		0	0	0	0	0	0
Pass-by		0	0	0	0	0	0
Non-pass-by		736	735	21	71	69	40
Total		2165	2163	76	234	253	148
Total Reduction		0	0	0	0	0	0
Total Internal		0	0	0	0	0	0
Total Pass-by		0	0	0	0	0	0
Total Non-pass-by		2165	2163	76	234	253	148

PERIOD SETTING							
Analysis Name :	Daily						
Project Name :	Bonita Springs Golf Course - No : Proposed						
Date:	3/1/2021	City:					
State/Province:		Zip/Postal Code:					
Country:		Client Name:					
Analyst's Name:		Edition:	Trip Gen Manual, 10th Ed + Supplement				
Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
210 - Single-Family Detached Housing (General Urban/Suburban)	Dwelling Units	300	Weekday	Best Fit (LOG) Ln(T) = 0.92Ln(X) +2.71	1429 50%	1428 50%	2857
220 - Multifamily Housing (Low-Rise) (General Urban/Suburban)	Dwelling Units	200	Weekday	Best Fit (LIN) T = 7.56 (X)+-40.86	736 50%	735 50%	1471

PERIOD SETTING							
Analysis Name :	AM Peak Hour						
Project Name :	Bonita Springs Golf Course - No : Proposed						
Date:	3/1/2021	City:					
State/Province:		Zip/Postal Code:					
Country:		Client Name:					
Analyst's Name:		Edition:	Trip Gen Manual, 10th Ed + Supplement				
Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
210 - Single-Family Detached Housing (General Urban/Suburban)	Dwelling Units	300	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Best Fit (LIN) $T = 0.71 (X)+4.8$	55 25%	163 75%	218
220 - Multifamily Housing (Low-Rise) (General Urban/Suburban)	Dwelling Units	200	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Best Fit (LOG) $\ln(T) = 0.95\ln(X) + -0.51$	21 23%	71 77%	92

PERIOD SETTING							
Analysis Name :	PM Peak Hour						
Project Name :	Bonita Springs Golf Course - No : Proposed						
Date:	3/1/2021	City:					
State/Province:		Zip/Postal Code:					
Country:		Client Name:					
Analyst's Name:		Edition:	Trip Gen Manual, 10th Ed + Supplement				
Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
210 - Single-Family Detached Housing (General Urban/Suburban)	Dwelling Units	300	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Best Fit (LOG) $\ln(T) = 0.96\ln(X) + 0.2$	184 63%	108 37%	292
220 - Multifamily Housing (Low-Rise) (General Urban/Suburban)	Dwelling Units	200	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Best Fit (LOG) $\ln(T) = 0.89\ln(X) + -0.02$	69 63%	40 37%	109

Appendix D:

Bonita Springs 2020 Traffic Count Data (Excerpts)



TABLE 1 2020 TRAFFIC COUNT SUMMARY
CITY OF BONITA SPRINGS, FL

FTE Station Number	Reference Lee County Station Number	Location	Start Date	Direction 1 and 2	3 Day Average Direction 1	3 Day Average Direction 2	ADT Direction 1 and 2	EDOT Seasonal Factor	AADT Direction 1 and 2	K Factor from Lee County	D Factor from Lee County	Peak Hour Two-way Service Volumes	Level Of Service (LOS)	Lee County PCS
1224	496	Arroyal Rd N of Bonita Beach Rd	3-Mar-20	N/S	3020	3741	6761	0.93	6300	10%	51%	630	D	42
0005	N/A	Bonita Beach Rd between Wisconsin & Michigan St	3-Mar-20	E/W	16672	16945	33617	0.93	31300	10%	51%	3130	C	42
0016	7	Bonita Beach Rd E. of Vandebilt Dr	3-Mar-20	E/W	15765	15884	31649	0.93	29400	12%	57%	3528	E	7
1229	221	Bonita Beach Rd East of Arroyal Rd	3-Mar-20	E/W	18264	19892	38156	0.93	35500	10%	51%	3550	C	42
0006	N/A	Bonita Beach Rd W. of Arroyal Rd	3-Mar-20	E/W	19345	18228	37573	0.93	34900	11%	60%	3839	C	92
1230	N/A	Bonita Beach W of Race Track Rd	3-Mar-20	E/W	22698	22023	44721	0.93	41600	10%	51%	4160	C	42
0012**	N/A	Bonita Beach Rd E. of Barefoot Blvd	3-Mar-20	E/W	12329	12339	24668	0.93	22900	12%	57%	2748	C	7
0007**	N/A	Bonita Beach Rd W. of Vandebilt Dr	3-Mar-20	E/W	15434	15287	30721	0.93	28600	12%	57%	3432	D	7
1202	519	Bonita Grande Dr N of Bonita Beach Rd	3-Mar-20	N/S	4937	4833	9770	0.93	9100	10%	51%	910	D	42
1213	N/A	Cockshell Dr N of Shangri-La Rd	3-Mar-20	N/S	1408	1004	2412	0.93	2200	11%	62%	242	C	16
1207	N/A	Dean St E of Lime St	3-Mar-20	E/W	1905	1886	3791	0.93	3500	10%	51%	350	C	42
1208	N/A	Dean St W of Matheson Ave	3-Mar-20	E/W	1204	1636	2840	0.93	2600	10%	51%	260	C	42
1205	N/A	E Terry St E of I-75	3-Mar-20	E/W	5911	6137	12048	0.93	11200	10%	51%	1120	D	42
1211	271	E Terry St E of Old 41 Rd	3-Mar-20	E/W	8268	9720	17988	0.93	16700	10%	51%	1670	C	42
1203	N/A	E Terry St W of Bonita Grande Dr	3-Mar-20	E/W	4120	4382	8502	0.93	7900	10%	51%	790	D	42
0013**	N/A	Estero Blvd N. of Hickory Blvd	3-Mar-20	N/S	5635	5776	11411	0.93	10600	10%	69%	1060	D	44
0015**	N/A	Estero Blvd N. of Lovers Key State Park	3-Mar-20	N/S	5196	5235	10431	0.93	9700	10%	69%	970	C	44
0014**	N/A	Estero Blvd S. of Lovers Key State Park	3-Mar-20	N/S	5420	5486	10906	0.93	10100	10%	69%	1010	C	44
1206	N/A	Imperial Pkwy Between Bonita Beach Rd and E Terry St	3-Mar-20	N/S	13637	13212	26849	0.93	25000	14%	61%	3500	C	63
1226	N/A	Imperial Pkwy N/O Shangri-La	3-Mar-20	N/S	10034	9892	19926	0.93	18500	14%	61%	2590	C	63
0004	N/A	Imperial Pkwy S. of Tropic Dr	3-Mar-20	N/S	12526	12270	24796	0.93	23100	14%	61%	3234	C	63
1227	N/A	Imperial Pkwy S/O Shangri-La	3-Mar-20	N/S	11013	10455	21468	0.93	20000	14%	61%	2800	C	63
1209	N/A	Matheson Ave N of Dean St	3-Mar-20	N/S	1097	1034	2131	0.93	2000	10%	51%	200	C	42

FTE Station Number	Reference Lee County Station Number	Location	Start Date	Direction 1 and 2	3 Day Average Direction 1	3 Day Average Direction 2	ADT Direction 1 and 2	FDOT Seasonal Factor	AADT Direction 1 and 2	K Factor from Lee County	D Factor from Lee County	Peak Hour Two-way Service Volumes	Level Of Service (LOS)	Lee County PCS
1204	N/A	Morton Ave N of East Terry St.	3-Mar-20	N/S	3568	3553	7121	0.93	6600	10%	51%	660	D	42
1223	N/A	Old 41 Rd Between Collier County Line to Bonita Beach Rd	3-Mar-20	N/S	9861	9002	18863	0.93	17500	11%	62%	1925	F	16
1222	N/A	Old 41 Rd N of Bonita Beach Rd	3-Mar-20	N/S	6356	6930	12286	0.93	12400	11%	62%	1364	D	16
1220	N/A	Old 41 Rd N of E/W Terry St	3-Mar-20	N/S	11404	12222	23626	0.93	22000	11%	62%	2420	D	16
1216	N/A	Old 41 Rd S of US 41	3-Mar-20	N/S	8750	6514	15264	0.93	14200	11%	62%	1562	C	16
1228	N/A	Old 41 S/O Benwood Pkwy	3-Mar-20	N/S	8705	8843	17548	0.93	16300	11%	62%	1793	C	16
0002	N/A	Paradise Rd N. of Shangri-La	3-Mar-20	N/S	1971	1885	3856	0.93	3600	14%	61%	504	C	63
0001	N/A	Pennsylvania Ave E. of Los Amigos Lane	3-Mar-20	E/W	1866	2027	3893	0.93	3600	11%	60%	396	C	92
1221	494	Pennsylvania Ave W of Old 41 Rd	3-Mar-20	E/W	2488	3893	6381	0.93	5900	10%	51%	590	C	42
0003	N/A	Tropical Acres Dr N. of Shangri-La	3-Mar-20	N/S	282	264	546	0.93	500	14%	61%	70	C	63
1212	N/A	Shangri-La Rd E. of Old US 41	3-Mar-20	E/W	4163	3857	8020	0.93	7500	11%	62%	825	C	16
0010	N/A	US 41, N. of Shopping Center Entrance	3-Mar-20	N/S	27417	26943	54360	0.93	50600	10%	63%	5060	C	93
0009	N/A	US-41, S. of Beaurort Rd	3-Mar-20	N/S	21394	22829	44223	0.93	41100	11%	60%	4521	F	92
0008	N/A	Vanderbilt Dr N. of Woods Edge Pkwy	3-Mar-20	N/S	5445	5518	10963	0.93	10200	12%	57%	1224	C	7
1219	N/A	W Terry St E. of US 41	3-Mar-20	E/W	6982	7108	14090	0.93	13100	10%	51%	1310	C	42
1225	N/A	Woods Edge Pkwy W of US 41	3-Mar-20	E/W	3245	2751	5996	0.93	5600	11%	63%	616	C	23
1210	N/A	Longfellow Ln W of Imperial Pkwy	3-Mar-20	E/W	338	287	625	0.93	600	10%	51%	60	C	42
0017	N/A	Bonita Beach Rd between Imperial Parkway and I-75	3-Mar-20	E/W	25240	24914	50154	0.93	46600	10%	51%	4660	C	42
0018	N/A	Bonita Beach Rd between Hunters Ridge Blvd and Bonita Grande Dr	3-Mar-20	E/W	11795	12404	24199	0.93	22500	10%	51%	2250	C	42
0019	N/A	Bonita Beach Rd E. of Bonita Grande Dr	3-Mar-20	E/W	9804	10432	20236	0.93	18800	10%	51%	1880	C	42
0020	N/A	Lake St between Kensi Way and Bonita Beach Rd	3-Mar-20	N/S	396	604	1000	0.93	900	12%	57%	108	C	7
0021	N/A	Quails Walk E. of Lake St	3-Mar-20	E/W	294	251	545	0.93	500	12%	57%	60	C	7
0022	N/A	Imperial Shores Blvd S. of Vanda Dr	3-Mar-20	N/S	1180	1223	2403	0.93	2200	12%	57%	264	C	7
0023	N/A	Tarpon Avenue E. of Sherry Ln	3-Mar-20	E/W	396	361	757	0.93	700	12%	57%	84	C	7
0024	N/A	Logan Blvd S. of Bonita Beach Rd	3-Mar-20	N/S	2542	2051	4593	0.93	4300	10%	51%	430	C	42

** Collected weekend counts also.



TABLE 2 HISTORIC TRAFFIC COUNT SUMMARY
CITY OF BONITA SPRINGS, FL

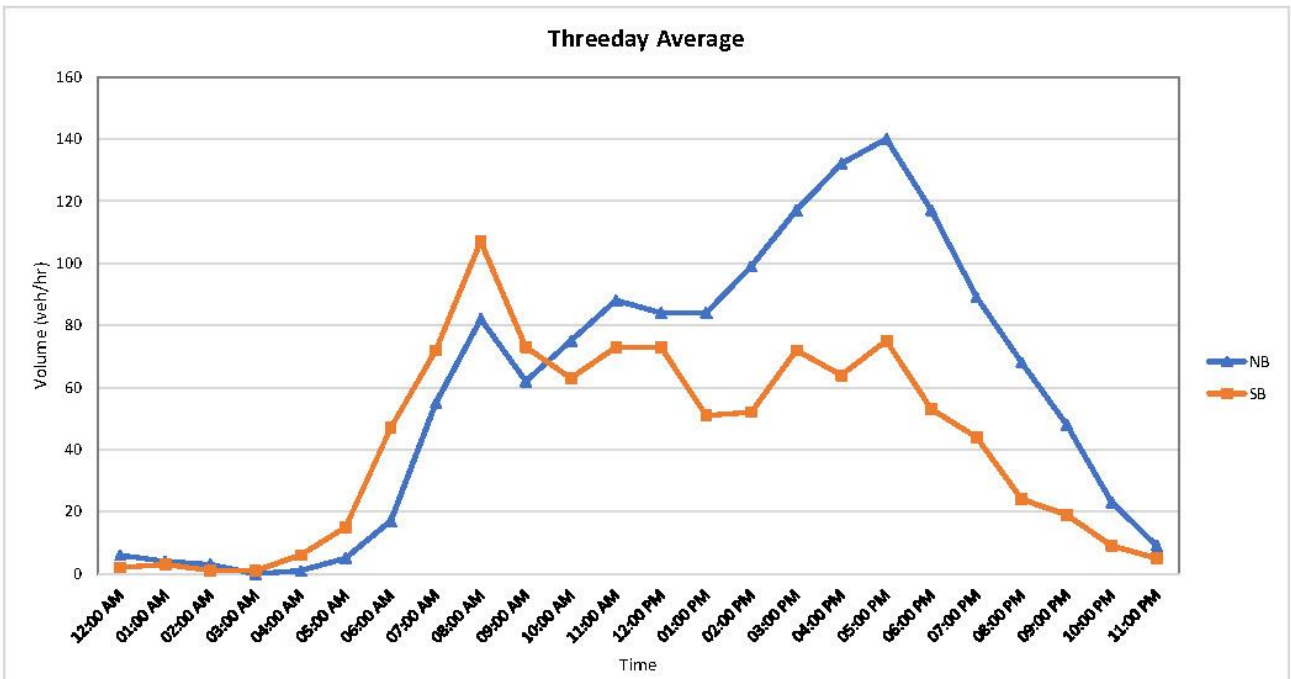
FTE Station Number	Lee County Station Number	Location	Counts performed by FTE or obtained from Lee County															
			Obtained from the Lee County Traffic Count Report 2012															
			2003	2004	2005	2006	2007	2008	Dec-09	Dec-10	Feb-12	Jan-14	Feb-15	Feb-16	March-17	March-18	April-19	March-20
1224	0496	Arroyal Rd N of Bonita Beach Rd	5000	6200	6500	6400	5300	4700	6000	5600	5000	5900	5500	6300	6100	6300	6700	6300
0005	N/A	Bonita Beach Rd between Wisconsin & Michigan St	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	28500	26700	30500	31300
0016	0007	Bonita Beach Rd E. of Vanaskiehl Dr	N/A	N/A	N/A	N/A	U/C	23400	24800	23000	23300	24600	23700	23900	30300	25300	28600	29400
1229	0221	Bonita Beach Rd East of Arroyal Rd	N/A	27000	25200	25000	26300	26300	22900	23600	N/A	N/A	N/A	32200	31100	28800	32800	35500
0006	N/A	Bonita Beach Rd W. of Arroyal Rd	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	30700	30500	34500	34900
1230	N/A	Bonita Beach W of Race Track Rd	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	37500	36100	34900	41000	41600
0012**	N/A	Bonita Beach Rd E. of Banaford Blvd	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	19400	19000	21300	22900
0007**	N/A	Bonita Beach Rd W. of Vanaskiehl Dr	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	25300	24500	26800	26600
1202	0519	Bonita Grande Dr N of Bonita Beach Rd	5400	7400	7100	8200	6800	5300	5300	5600	6100	5500	6200	6600	6300	7200	7900	9100
1213	N/A	Cockleshell Dr N of Shangri-La Rd	N/A	N/A	N/A	N/A	N/A	N/A	1900	1900	2300	1700	1900	3900	3700	2100	1600	2200
1207	N/A	Dean St E of Lince St	N/A	N/A	N/A	N/A	N/A	N/A	3400	3100	3200	2800	2700	3000	2900	2600	3400	3500
1208	N/A	Dean St W of Madison Ave	N/A	N/A	N/A	N/A	N/A	N/A	2800	2300	2400	2000	2000	2500	2400	2100	2600	2600
1205	N/A	E Terry St E of I-75	N/A	N/A	N/A	N/A	N/A	N/A	8100	7900	7900	7800	8100	9000	8600	8700	10100	11200
1211	0271	E Terry St E of Old 41 Rd	9900	12000	13800	N/A	10000	13000	14400	14300	14800	13400	12700	14800	14200	13200	15700	16700
1203	N/A	E Terry St W of Bonita Grande Dr	N/A	N/A	N/A	N/A	N/A	N/A	4600	4500	4600	4400	4500	5600	5400	5700	6900	7900
0013**	N/A	Espero Blvd N. of Hickory Blvd	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	9100	9300	10000	10600
0015**	N/A	Espero Blvd N. of Lovers Key State Park	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	8600	9000	9600	9700
0014**	N/A	Espero Blvd S. of Lovers Key State Park	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	8800	9100	9700	10100
1206	N/A	Imperial Pkwy Between Bonita Beach Rd and P. Terrace St	N/A	N/A	N/A	N/A	N/A	N/A	16300	N/A	17400	19600	20600	22300	21100	22300	27400	25000
1226	N/A	Imperial Pkwy N/O Shangri-La	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	13000	13900	15300	15700	19900	18500
0004	N/A	Imperial Pkwy S. of Tropic Dr	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	20200	20500	23100	23100
1227	N/A	Imperial Pkwy S/O Shangri-La	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	13800	17200	16600	18000	21400	20000
1209	N/A	Matheson Ave N of Dean St	N/A	N/A	N/A	N/A	N/A	N/A	1900	1700	1500	1800	1500	2100	2100	1600	2000	2000
1204	N/A	Marion Ave N of East Terry St	N/A	N/A	N/A	N/A	N/A	N/A	5800	5400	5700	5300	5300	5900	5700	5600	6600	6600
1223	N/A	Old 41 Rd Between Collier County Line to Bonita Beach Rd	12600	13700	14000	14000	13000	11600	N/A	15200	14600	14100	14900	14700	14200	15200	17600	17500
1222	N/A	Old 41 Rd N of Bonita Beach Rd	16500	18500	17600	17400	18200	13200	15400	15000	14700	15300	13100	9000	8700	10500	12200	12400
1220	N/A	Old 41 Rd N of E/W Terry St	22000	24600	26300	26700	23300	19900	23800	23700	28300	25200	20700	18400	17700	19000	11900	22000
1216	N/A	Old 41 Rd S of LE 41	13000	14200	15000	16000	13200	N/A	12000	12500	12200	12100	12000	11900	11500	11800	13500	14200
1228	N/A	Old 41 S/O Bonewood Pkwy	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	13600	13900	13300	13700	15700	16300
0002	N/A	Paradise Rd N. of Shangri-La	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	2500	2900	3500	3600



1213-Cockleshell Dr N of Shangri-La Rd
Bonita Springs, FL

8250 Pascal Dr
Punta Gorda, FL
Ph# (941) 639 2818
Fax# (941) 639 4851

Time	Tuesday 3/3/2020		Wednesday 3/4/2020		Thursday 3/5/2020		Threeday Average	
	NB	SB	NB	SB	NB	SB	NB	SB
	12:00 AM	4	0	5	1	9	5	6
01:00 AM	1	1	5	4	5	3	4	3
02:00 AM	1	1	3	1	4	2	3	1
03:00 AM	0	0	0	1	1	1	0	1
04:00 AM	1	8	0	5	2	6	1	6
05:00 AM	4	15	6	15	6	15	5	15
06:00 AM	15	46	20	46	15	48	17	47
07:00 AM	58	71	53	72	53	74	55	72
08:00 AM	84	109	81	112	81	100	82	107
09:00 AM	65	72	66	77	54	69	62	73
10:00 AM	78	68	67	53	83	70	75	63
11:00 AM	92	87	77	55	96	76	88	73
12:00 PM	77	75	82	68	93	77	84	73
01:00 PM	74	61	71	46	106	47	84	51
02:00 PM	97	50	98	47	102	60	99	52
03:00 PM	114	56	117	73	121	86	117	72
04:00 PM	132	68	137	62	127	63	132	64
05:00 PM	151	71	151	76	117	79	140	75
06:00 PM	112	58	126	46	112	56	117	53
07:00 PM	97	41	78	52	91	40	89	44
08:00 PM	75	21	70	22	58	28	68	24
09:00 PM	55	15	35	11	55	32	48	19
10:00 PM	17	5	20	11	31	11	23	9
11:00 PM	11	6	6	5	9	3	9	5
Day Total	1413	1003	1374	961	1431	1051	1408	1004
Combine Totals	2416		2335		2482		2412	

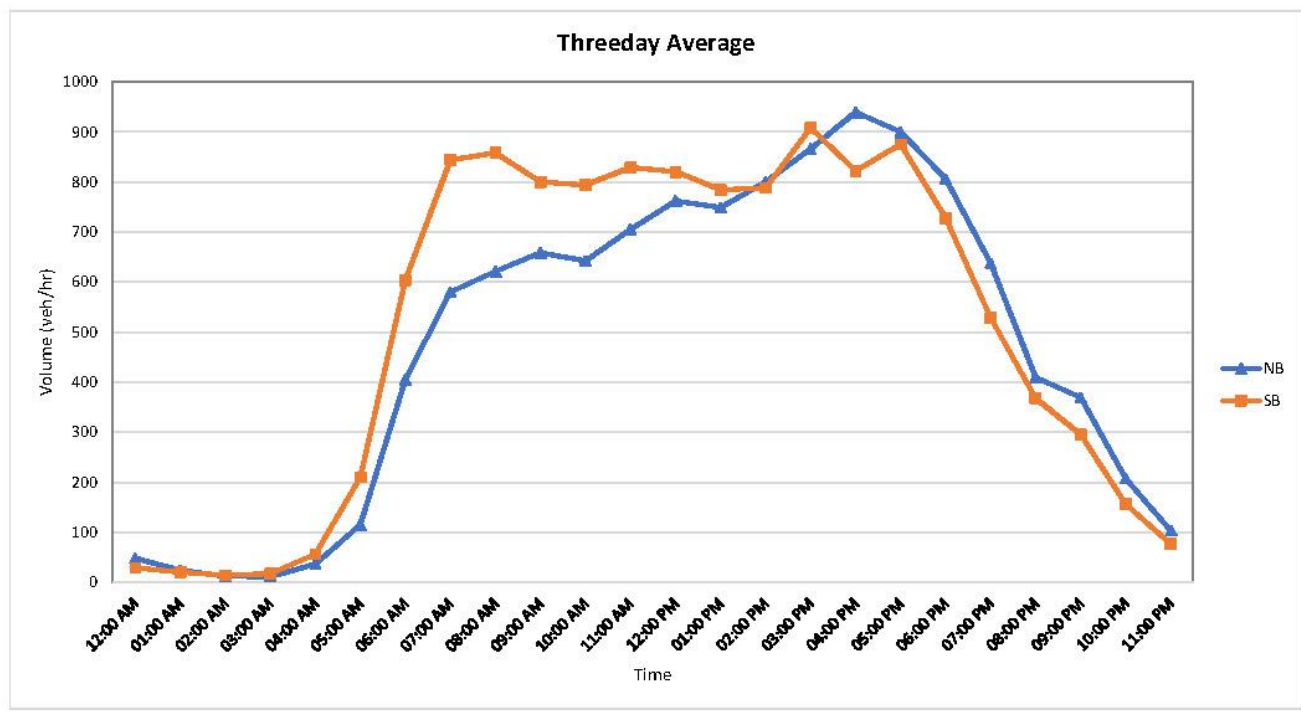


1220-Old 41 Rd N of EW Terry St
Bonita Springs, FL



8250 Pascal Dr
Punta Gorda, FL
Ph# (941) 639 2818
Fax# (941) 639 4851

Time	Tuesday 3/3/2020		Wednesday 3/4/2020		Thursday 3/5/2020		Threeday Average	
	NB	SB	NB	SB	NB	SB	NB	SB
12:00 AM	48	27	48	33	47	27	48	29
01:00 AM	18	20	22	14	33	25	24	20
02:00 AM	7	12	12	13	17	18	12	14
03:00 AM	10	20	8	14	15	18	11	17
04:00 AM	36	57	30	51	41	61	36	56
05:00 AM	111	209	109	201	126	220	115	210
06:00 AM	406	626	410	588	399	599	405	604
07:00 AM	586	831	601	844	553	857	580	844
08:00 AM	642	913	633	838	589	823	621	858
09:00 AM	642	818	675	790	658	792	658	800
10:00 AM	706	825	624	792	597	765	642	794
11:00 AM	751	865	695	791	669	831	705	829
12:00 PM	760	870	742	768	784	822	762	820
01:00 PM	745	770	737	804	764	778	749	784
02:00 PM	829	794	810	769	762	801	800	788
03:00 PM	882	908	833	916	882	899	866	908
04:00 PM	916	819	936	813	964	833	839	822
05:00 PM	910	886	871	887	919	853	900	875
06:00 PM	816	838	838	688	765	658	806	728
07:00 PM	647	551	635	526	630	507	637	528
08:00 PM	425	369	433	365	368	366	409	367
09:00 PM	477	312	308	275	322	297	369	295
10:00 PM	179	143	208	163	233	163	207	156
11:00 PM	101	71	103	82	106	76	103	76
Day Total	11850	12554	11321	12025	11243	12089	11404	12222
Combine Totals	24204		23346		23332		23626	

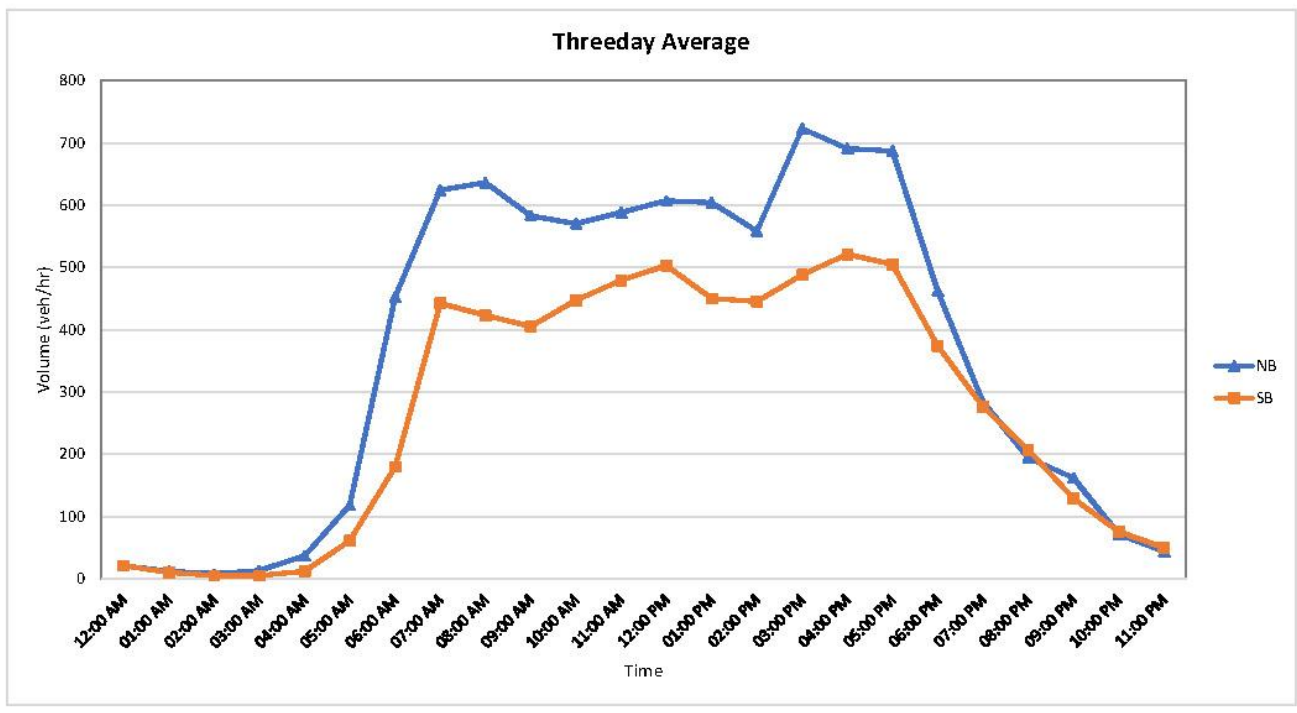


1216-Old 41 Rd S of US 41
Bonita Springs, FL



8250 Pascal Dr
Punta Gorda, FL
Ph# (941) 639 2818
Fax# (941) 639 4851

Time	Tuesday 3/3/2020		Wednesday 3/4/2020		Thursday 3/5/2020		Threeday Average	
	NB	SB	NB	SB	NB	SB	NB	SB
	12:00 AM	17	21	22	19	25	22	21
01:00 AM	18	10	9	14	10	6	12	10
02:00 AM	7	6	10	5	6	3	8	5
03:00 AM	11	5	11	5	17	5	13	5
04:00 AM	31	12	45	10	34	15	37	12
05:00 AM	120	60	113	61	121	62	118	61
06:00 AM	454	176	442	180	461	185	452	180
07:00 AM	608	466	641	441	622	419	624	442
08:00 AM	641	423	618	406	650	441	636	423
09:00 AM	583	379	583	426	582	410	583	405
10:00 AM	588	456	593	449	590	436	570	447
11:00 AM	581	490	590	450	594	497	588	479
12:00 PM	626	476	581	487	615	546	607	503
01:00 PM	577	454	590	468	645	429	604	450
02:00 PM	562	424	556	452	555	460	558	445
03:00 PM	729	494	725	501	715	470	723	488
04:00 PM	703	520	647	502	722	540	691	521
05:00 PM	654	521	686	525	720	468	687	505
06:00 PM	457	397	493	369	437	356	462	374
07:00 PM	244	270	300	292	307	266	284	276
08:00 PM	189	172	194	247	199	201	194	207
09:00 PM	189	116	141	117	157	155	162	129
10:00 PM	66	56	71	70	79	103	72	76
11:00 PM	34	54	46	48	51	49	44	50
Day Total	8887	6458	8847	6544	8914	6544	8750	6514
Combine Totals	15145		15191		15458		15264	

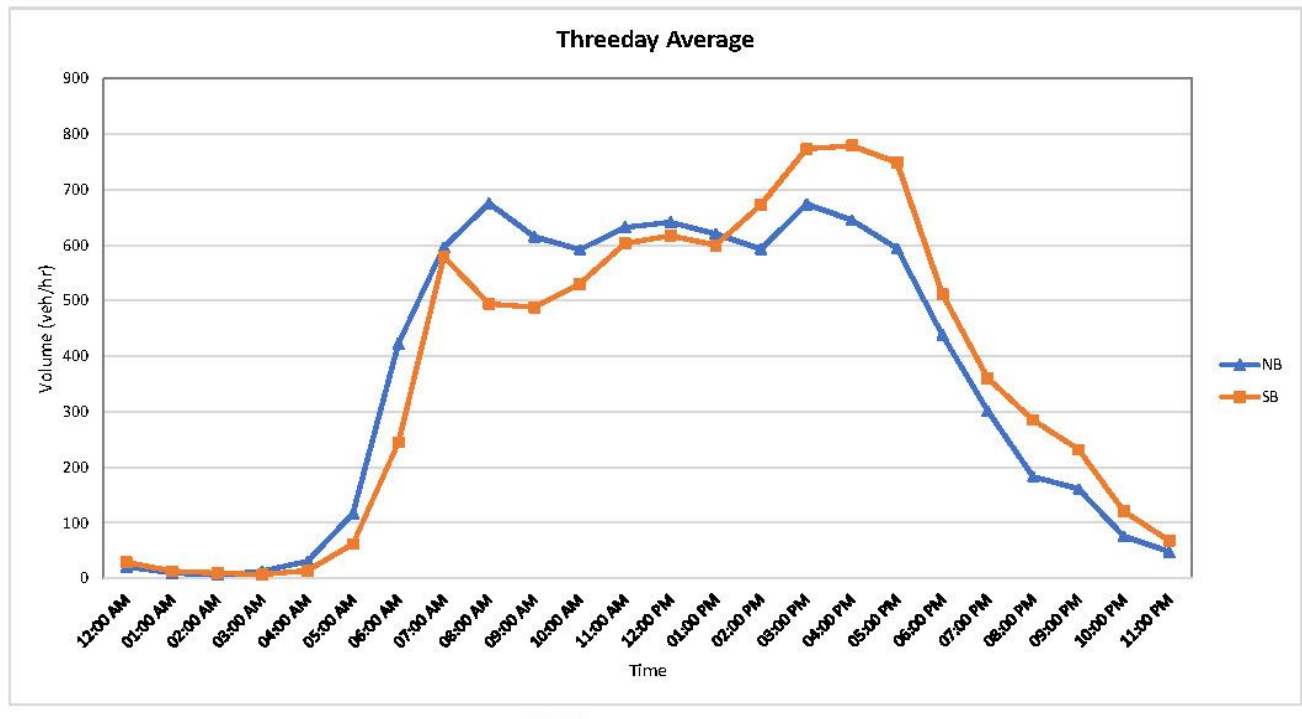


1228-Old 41 SO Bernwood Pkwy
Bonita Springs, FL



8250 Pascal Dr
Punta Gorda, FL
Ph# (941) 639 2818
Fax# (941) 639 4851

Time	Tuesday 3/3/2020		Wednesday 3/4/2020		Thursday 3/5/2020		Threeday Average	
	NB	SB	NB	SB	NB	SB	NB	SB
	12:00 AM	16	23	21	29	26	35	21
01:00 AM	9	11	11	16	10	12	10	13
02:00 AM	4	9	7	8	6	12	6	10
03:00 AM	9	6	13	6	17	9	13	7
04:00 AM	27	15	40	11	26	17	31	14
05:00 AM	118	68	112	56	122	63	117	62
06:00 AM	417	231	413	258	438	246	423	245
07:00 AM	578	589	628	582	583	565	596	579
08:00 AM	677	514	676	460	671	509	675	494
09:00 AM	619	469	597	507	629	487	615	488
10:00 AM	668	531	536	522	573	538	592	530
11:00 AM	612	636	654	585	631	587	632	603
12:00 PM	684	633	596	581	643	637	641	617
01:00 PM	619	568	597	620	645	611	620	600
02:00 PM	597	661	580	666	602	692	593	673
03:00 PM	683	776	643	778	697	764	674	773
04:00 PM	637	775	645	787	652	775	645	779
05:00 PM	571	781	596	739	616	727	594	749
06:00 PM	423	579	459	502	433	455	438	512
07:00 PM	288	341	298	394	317	345	301	360
08:00 PM	192	263	194	295	164	296	183	285
09:00 PM	198	223	138	215	146	258	161	232
10:00 PM	69	104	73	121	87	138	76	121
11:00 PM	39	73	53	70	53	61	48	68
Day Total	8754	8879	8580	8808	8787	8839	8705	8843
Combine Totals	17633		17388		17626		17548	

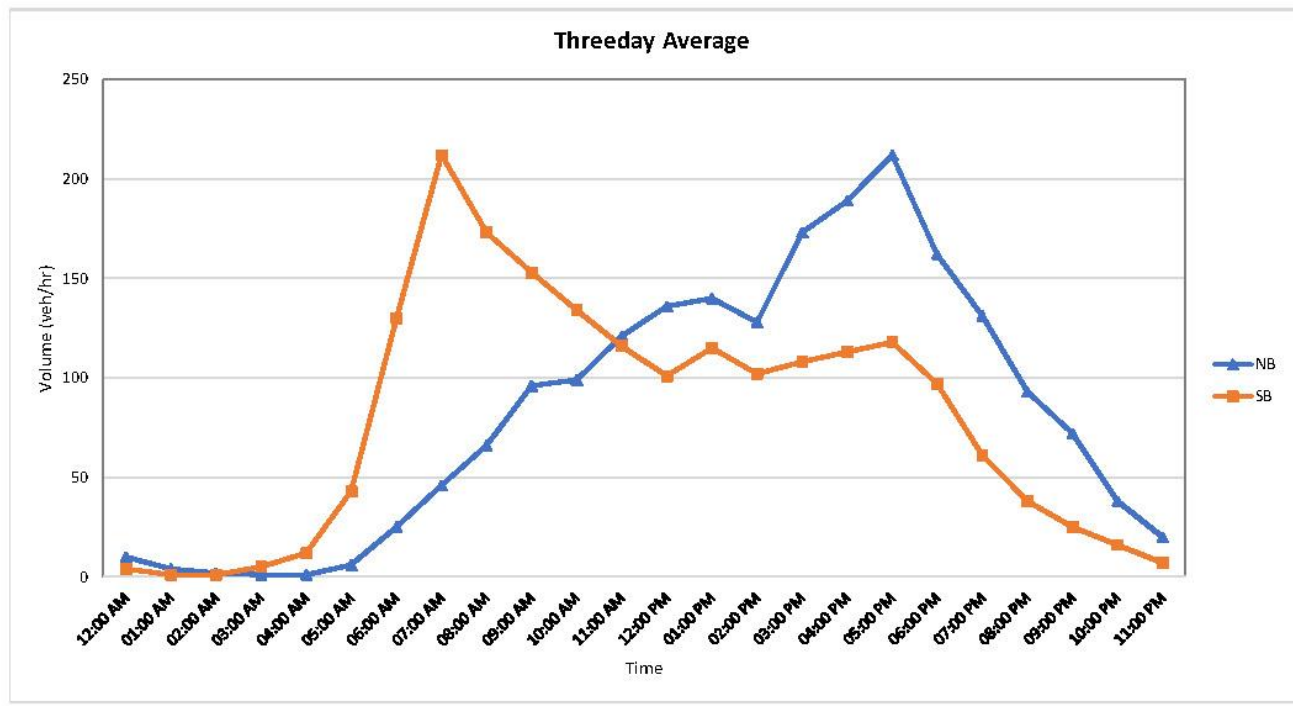


0002-Paradise Rd N. of Shangri-La
Bonita Springs, FL



8250 Pascal Dr
Punta Gorda, FL
Ph# (941) 639 2818
Fax# (941) 639 4851

Time	Tuesday 3/3/2020		Wednesday 3/4/2020		Thursday 3/5/2020		Threeday Average	
	NB	SB	NB	SB	NB	SB	NB	SB
	12:00 AM	7	4	10	4	12	3	10
01:00 AM	3	1	6	2	3	1	4	1
02:00 AM	3	3	0	0	4	1	2	1
03:00 AM	1	4	1	7	0	3	1	5
04:00 AM	0	13	3	8	1	14	1	12
05:00 AM	5	45	5	40	8	43	6	43
06:00 AM	26	140	21	130	27	119	25	130
07:00 AM	52	192	36	230	49	214	46	212
08:00 AM	71	175	87	159	81	185	86	173
09:00 AM	77	144	108	158	103	156	96	153
10:00 AM	93	142	111	136	92	125	99	134
11:00 AM	125	104	122	133	115	110	121	116
12:00 PM	118	92	143	93	148	119	136	101
01:00 PM	136	112	143	107	142	125	140	115
02:00 PM	148	83	117	111	120	112	128	102
03:00 PM	167	108	173	109	179	107	173	108
04:00 PM	206	134	177	105	183	100	189	113
05:00 PM	211	132	208	110	217	112	212	118
06:00 PM	167	105	173	104	146	83	162	97
07:00 PM	126	58	131	53	137	72	131	61
08:00 PM	83	28	109	42	88	44	93	38
09:00 PM	81	22	65	24	71	29	72	25
10:00 PM	30	16	37	16	48	15	38	16
11:00 PM	18	6	22	7	20	7	20	7
Day Total	1954	1863	1988	1888	1974	1899	1971	1885
Combine Totals	3817		3876		3873		3856	

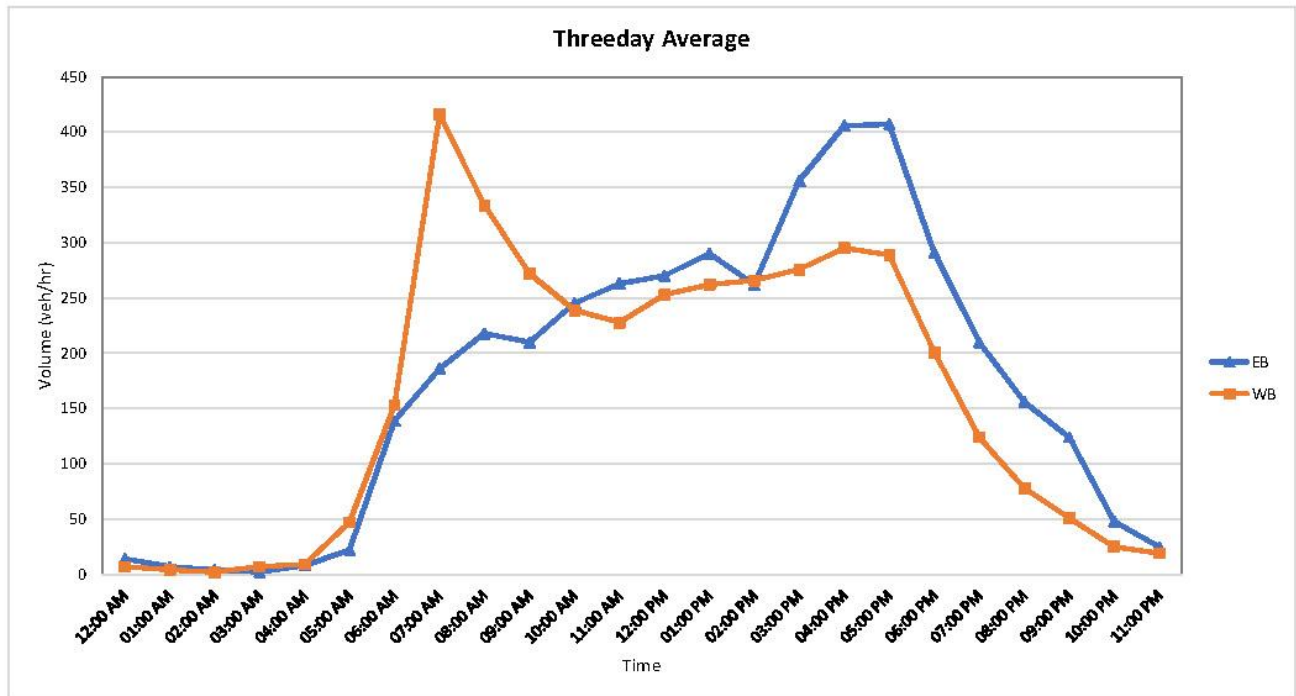




1212-Shangri-La Rd E of Old US 41
Bonita Springs, FL

8250 Pascal Dr
Punta Gorda, FL
Ph# (941) 639 2818
Fax# (941) 639 4851

Time	Tuesday 3/3/2020		Wednesday 3/4/2020		Thursday 3/5/2020		Threeday Average	
	EB	WB	EB	WB	EB	WB	EB	WB
12:00 AM	11	5	13	10	19	7	14	7
01:00 AM	6	4	10	5	6	4	7	4
02:00 AM	1	2	5	2	5	1	4	2
03:00 AM	2	6	1	9	3	7	2	7
04:00 AM	8	11	10	7	7	8	8	9
05:00 AM	22	47	20	43	23	51	22	47
06:00 AM	146	172	135	152	137	135	139	153
07:00 AM	199	387	183	446	176	416	186	416
08:00 AM	219	336	224	325	211	340	218	334
09:00 AM	197	270	231	281	203	265	210	272
10:00 AM	251	270	231	223	254	223	245	239
11:00 AM	267	228	264	226	258	231	263	228
12:00 PM	246	252	271	238	292	268	270	253
01:00 PM	280	285	278	235	311	266	290	262
02:00 PM	269	260	259	257	258	280	262	266
03:00 PM	364	292	340	271	364	264	358	276
04:00 PM	416	310	399	298	404	277	406	295
05:00 PM	423	282	402	281	397	303	407	289
06:00 PM	286	212	297	195	291	196	291	201
07:00 PM	216	120	199	119	216	134	210	124
08:00 PM	152	62	172	80	144	91	156	78
09:00 PM	131	45	96	42	144	67	124	51
10:00 PM	38	29	47	26	60	20	48	25
11:00 PM	25	16	25	19	25	22	25	19
Day Total	4175	3903	4112	3780	4208	3876	4163	3857
Combine Totals	8078		7902		8084		8020	

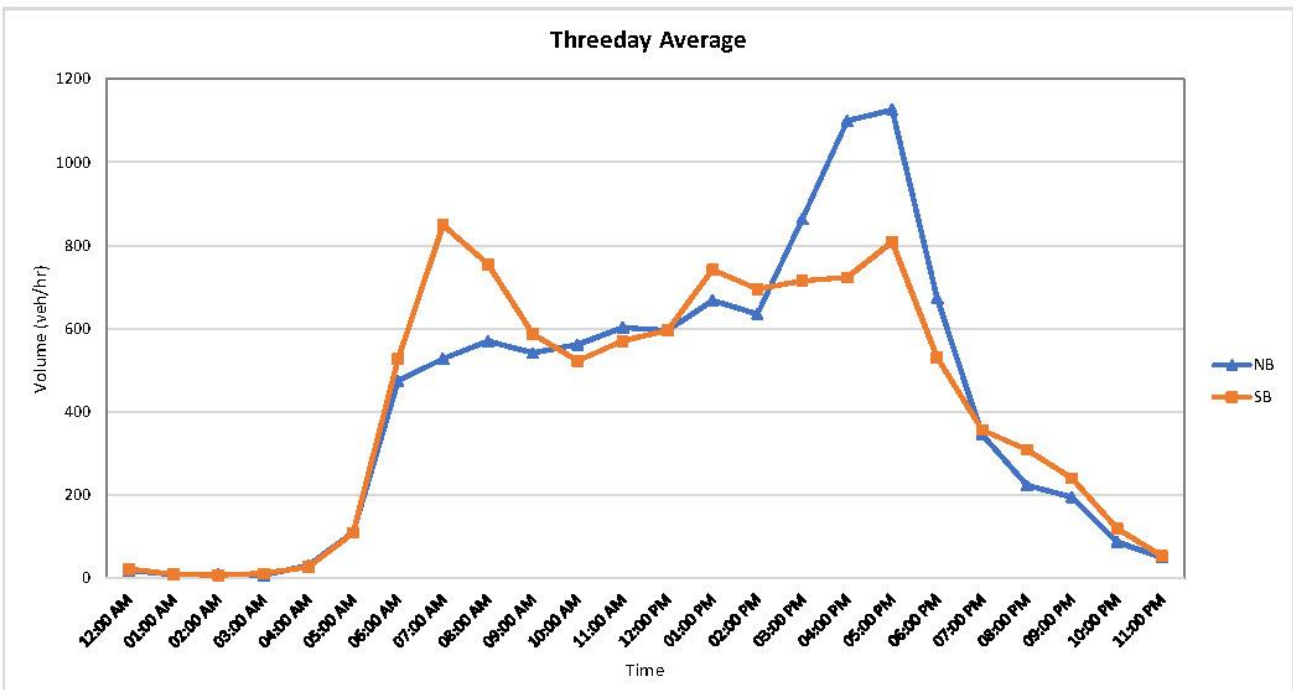




1226-Imperial Pkwy NO Shangri-LA
Bonita Springs, FL

8250 Pascal Dr
Punta Gorda, FL
Ph# (941) 639 2818
Fax# (941) 639 4851

Time	Tuesday 3/3/2020		Wednesday 3/4/2020		Thursday 3/5/2020		Threeday Average	
	NB	SB	NB	SB	NB	SB	NB	SB
	12:00 AM	20	27	20	24	17	19	19
01:00 AM	11	3	6	19	11	9	9	10
02:00 AM	10	7	11	9	11	9	11	8
03:00 AM	7	17	6	9	10	11	8	12
04:00 AM	29	23	34	28	30	30	31	27
05:00 AM	114	110	106	112	114	104	111	109
06:00 AM	470	538	473	526	481	517	475	527
07:00 AM	525	852	538	875	522	819	528	849
08:00 AM	597	774	551	751	562	739	570	755
09:00 AM	526	593	581	566	520	601	542	587
10:00 AM	536	493	558	563	593	514	562	523
11:00 AM	584	575	605	545	620	592	603	571
12:00 PM	570	594	585	591	634	603	596	596
01:00 PM	666	764	655	702	683	759	668	742
02:00 PM	613	670	633	729	680	687	635	695
03:00 PM	836	677	867	698	891	771	864	715
04:00 PM	1046	743	1062	721	1193	705	1100	723
05:00 PM	1112	782	1103	812	1162	829	1126	808
06:00 PM	612	523	682	532	725	539	673	531
07:00 PM	337	390	346	298	356	384	346	357
08:00 PM	211	309	242	289	220	328	224	309
09:00 PM	201	186	174	277	211	259	195	241
10:00 PM	76	109	89	133	98	119	88	120
11:00 PM	42	52	52	55	57	55	50	54
Day Total	9750	9811	9979	9864	10381	10002	10034	9892
Combine Totals	19581		19843		20383		19926	

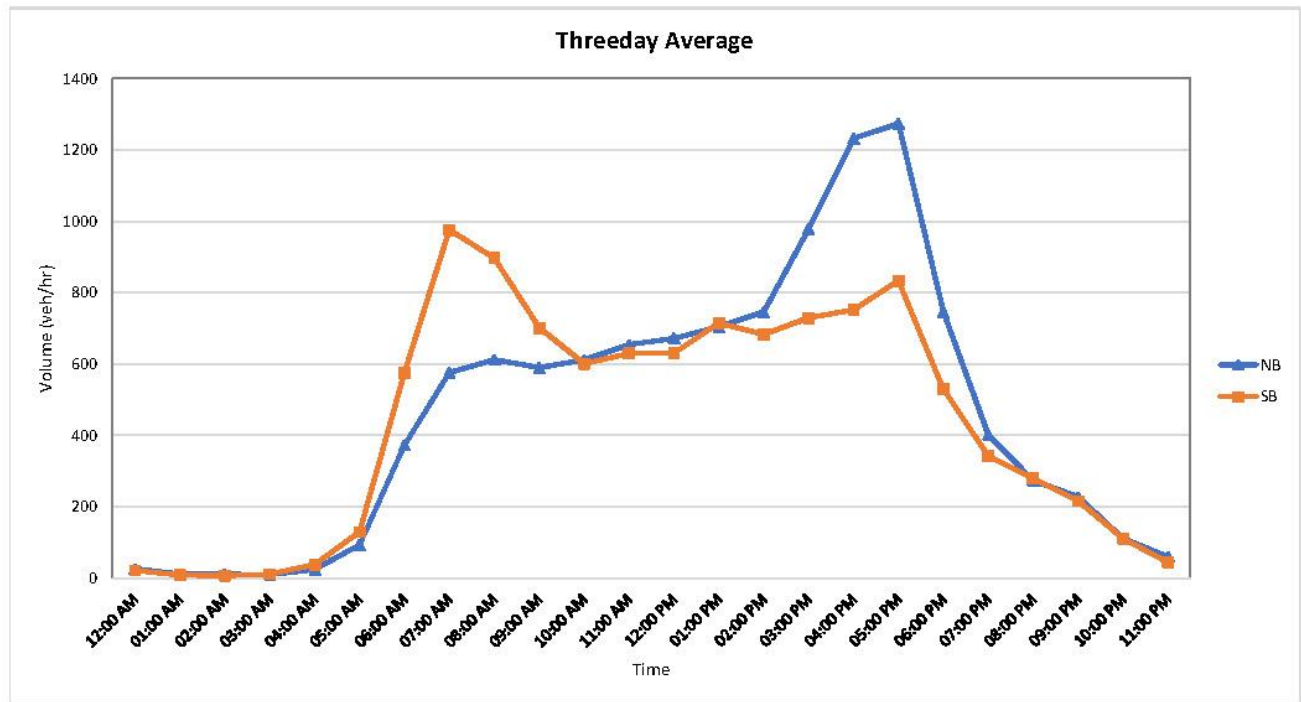


1227 Imperial Pkwy SO Shangri-LA
Bonita Springs, FL



8250 Pascal Dr
Punta Gorda, FL
Ph# (941) 639 2818
Fax# (941) 639 4851

Time	Tuesday 3/3/2020		Wednesday 3/4/2020		Thursday 3/5/2020		Threeday Average	
	NB	SB	NB	SB	NB	SB	NB	SB
	12:00 AM	24	23	30	19	25	22	26
01:00 AM	9	3	8	15	15	7	11	8
02:00 AM	10	5	11	7	11	9	11	7
03:00 AM	10	15	7	8	11	11	9	11
04:00 AM	24	37	28	37	21	40	24	38
05:00 AM	93	132	89	135	97	121	93	129
06:00 AM	374	578	371	588	370	558	372	575
07:00 AM	560	981	585	1009	582	938	576	976
08:00 AM	639	907	603	898	593	886	612	897
09:00 AM	559	709	634	686	576	711	590	702
10:00 AM	605	565	616	644	613	594	611	601
11:00 AM	650	631	648	608	664	647	654	629
12:00 PM	643	624	665	650	708	617	672	630
01:00 PM	694	726	686	676	731	742	704	715
02:00 PM	735	659	746	696	758	693	746	683
03:00 PM	946	677	989	732	1002	777	979	729
04:00 PM	1192	782	1186	742	1317	731	1232	752
05:00 PM	1261	800	1258	846	1303	855	1274	834
06:00 PM	683	528	764	527	790	532	746	529
07:00 PM	385	359	400	300	417	365	401	341
08:00 PM	248	271	314	261	257	305	273	279
09:00 PM	232	167	199	247	250	230	227	215
10:00 PM	88	94	117	120	128	117	111	110
11:00 PM	49	44	58	49	71	40	59	44
Day Total	10713	10318	11012	10500	11310	10548	11013	10455
Combine Totals	21031		21512		21858		21468	



2018 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: DISTRICT
 CATEGORY: 1252 BONITA SPRINGS AREA

WEEK	DATES	SF	MOCF: 0.95 PSCF
1	01/01/2018 - 01/06/2018	1.00	1.05
2	01/07/2018 - 01/13/2018	1.00	1.05
3	01/14/2018 - 01/20/2018	0.99	1.04
4	01/21/2018 - 01/27/2018	0.98	1.03
* 5	01/28/2018 - 02/03/2018	0.97	1.02
* 6	02/04/2018 - 02/10/2018	0.95	1.00
* 7	02/11/2018 - 02/17/2018	0.94	0.99
* 8	02/18/2018 - 02/24/2018	0.94	0.99
* 9	02/25/2018 - 03/03/2018	0.94	0.99
*10	03/04/2018 - 03/10/2018	0.93	0.98
*11	03/11/2018 - 03/17/2018	0.93	0.98
*12	03/18/2018 - 03/24/2018	0.94	0.99
*13	03/25/2018 - 03/31/2018	0.95	1.00
*14	04/01/2018 - 04/07/2018	0.95	1.00
*15	04/08/2018 - 04/14/2018	0.96	1.01
*16	04/15/2018 - 04/21/2018	0.97	1.02
*17	04/22/2018 - 04/28/2018	0.98	1.03
18	04/29/2018 - 05/05/2018	1.00	1.05
19	05/06/2018 - 05/12/2018	1.01	1.06
20	05/13/2018 - 05/19/2018	1.02	1.07
21	05/20/2018 - 05/26/2018	1.03	1.08
22	05/27/2018 - 06/02/2018	1.03	1.08
23	06/03/2018 - 06/09/2018	1.04	1.09
24	06/10/2018 - 06/16/2018	1.04	1.09
25	06/17/2018 - 06/23/2018	1.05	1.11
26	06/24/2018 - 06/30/2018	1.05	1.11
27	07/01/2018 - 07/07/2018	1.06	1.12
28	07/08/2018 - 07/14/2018	1.06	1.12
29	07/15/2018 - 07/21/2018	1.07	1.13
30	07/22/2018 - 07/28/2018	1.06	1.12
31	07/29/2018 - 08/04/2018	1.05	1.11
32	08/05/2018 - 08/11/2018	1.04	1.09
33	08/12/2018 - 08/18/2018	1.03	1.08
34	08/19/2018 - 08/25/2018	1.04	1.09
35	08/26/2018 - 09/01/2018	1.04	1.09
36	09/02/2018 - 09/08/2018	1.05	1.11
37	09/09/2018 - 09/15/2018	1.05	1.11
38	09/16/2018 - 09/22/2018	1.04	1.09
39	09/23/2018 - 09/29/2018	1.03	1.08
40	09/30/2018 - 10/06/2018	1.02	1.07
41	10/07/2018 - 10/13/2018	1.01	1.06
42	10/14/2018 - 10/20/2018	1.00	1.05
43	10/21/2018 - 10/27/2018	1.00	1.05
44	10/28/2018 - 11/03/2018	1.00	1.05
45	11/04/2018 - 11/10/2018	1.00	1.05
46	11/11/2018 - 11/17/2018	1.00	1.05
47	11/18/2018 - 11/24/2018	1.00	1.05
48	11/25/2018 - 12/01/2018	1.00	1.05
49	12/02/2018 - 12/08/2018	1.00	1.05
50	12/09/2018 - 12/15/2018	1.00	1.05
51	12/16/2018 - 12/22/2018	1.00	1.05
52	12/23/2018 - 12/29/2018	0.99	1.04
53	12/30/2018 - 12/31/2018	0.99	1.04

* PEAK SEASON

26-FEB-2019 18:31:28

830UPD

1_1252_PKSEASON.TXT

Appendix E:

**Lee County Generalized Peak Hour Directional Service
Volumes (Excerpts)**

**Lee County
Generalized Peak Hour Directional Service Volumes
Urbanized Areas**

April 2016

c:\input5

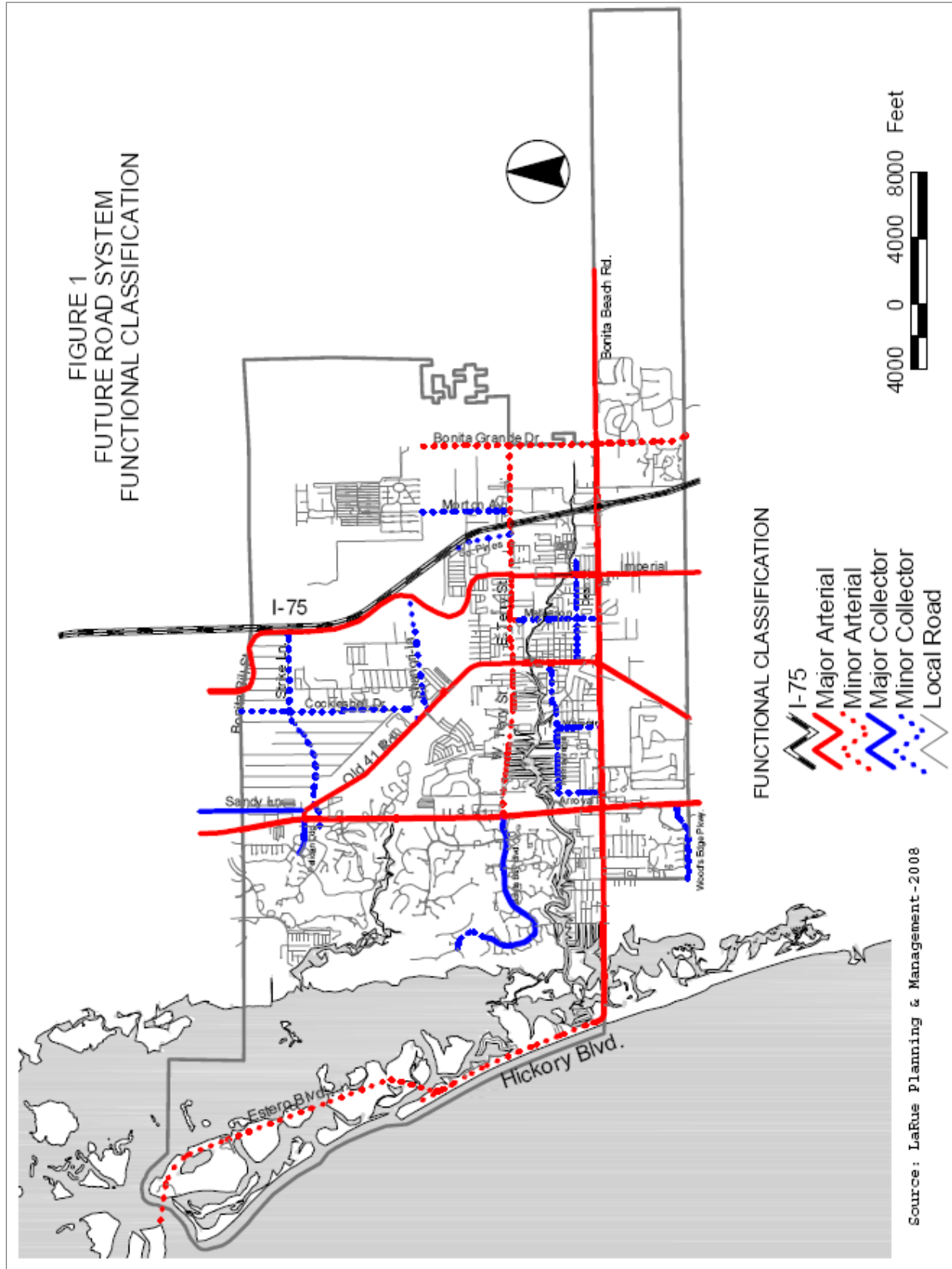
Uninterrupted Flow Highway							
Level of Service							
Lane	Divided	A	B	C	D	E	
1	Undivided	130	420	850	1,210	1,640	
2	Divided	1,060	1,810	2,560	3,240	3,590	
3	Divided	1,600	2,720	3,840	4,860	5,380	
Arterials							
Class I (40 mph or higher posted speed limit)							
Level of Service							
Lane	Divided	A	B	C	D	E	
1	Undivided	*	140	800	860	860	
(1)	2	Divided	*	250	1,840	1,960	1,960
	3	Divided	*	400	2,840	2,940	2,940
	4	Divided	*	540	3,830	3,940	3,940
Class II (35 mph or slower posted speed limit)							
Level of Service							
Lane	Divided	A	B	C	D	E	
1	Undivided	*	*	330	710	780	
(2)	2	Divided	*	*	710	1,590	1,660
	3	Divided	*	*	1,150	2,450	2,500
	4	Divided	*	*	1,580	3,310	3,340
Controlled Access Facilities							
Level of Service							
Lane	Divided	A	B	C	D	E	
1	Undivided	*	160	880	940	940	
2	Divided	*	270	1,970	2,100	2,100	
3	Divided	*	430	3,050	3,180	3,180	
Collectors							
Level of Service							
Lane	Divided	A	B	C	D	E	
(3)	1	Undivided	*	*	310	660	740
	1	Divided	*	*	330	700	780
	2	Undivided	*	*	730	1,440	1,520
	2	Divided	*	*	770	1,510	1,600

Note: the service volumes for I-75 (freeway), bicycle mode, pedestrian mode, and bus mode should be from FDOT's most current version of LOS Handbook.

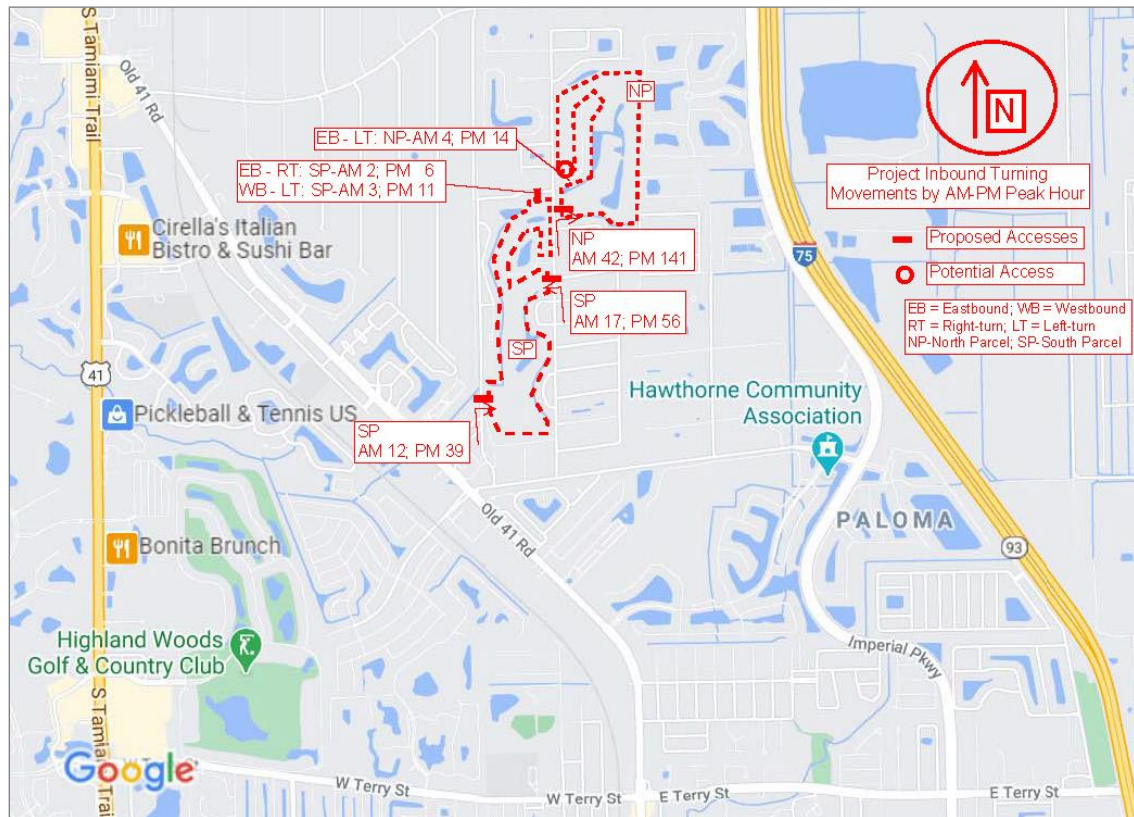
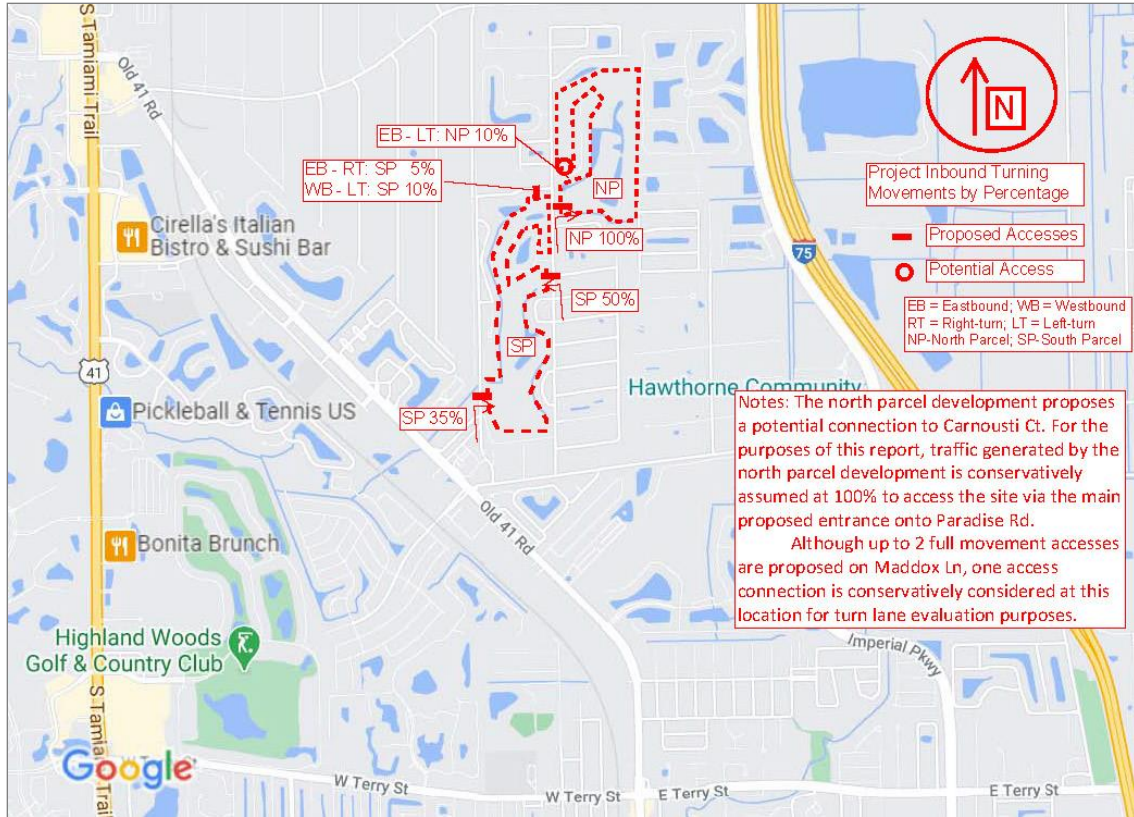
- (1) - Old 41 Rd - from Shangri-La Rd to US 41, posted speed 45 mph
 - Imperial Pkwy - north and south of Shangri-La Rd, posted speed 45 mph
- (2) - Old 41 Rd - south of Shangri-La Rd, posted speed 35 mph
- (3) - Paradise Rd, Cockleshell Dr, Shangri-La Rd, Maddox Ln and Carnousti Ct

Appendix F:

**Bonita Springs Future Road System Functional
Classification**



Appendix G:
Project Turning Movement Exhibits



Appendix H:
Turn Lane Warrant Analysis

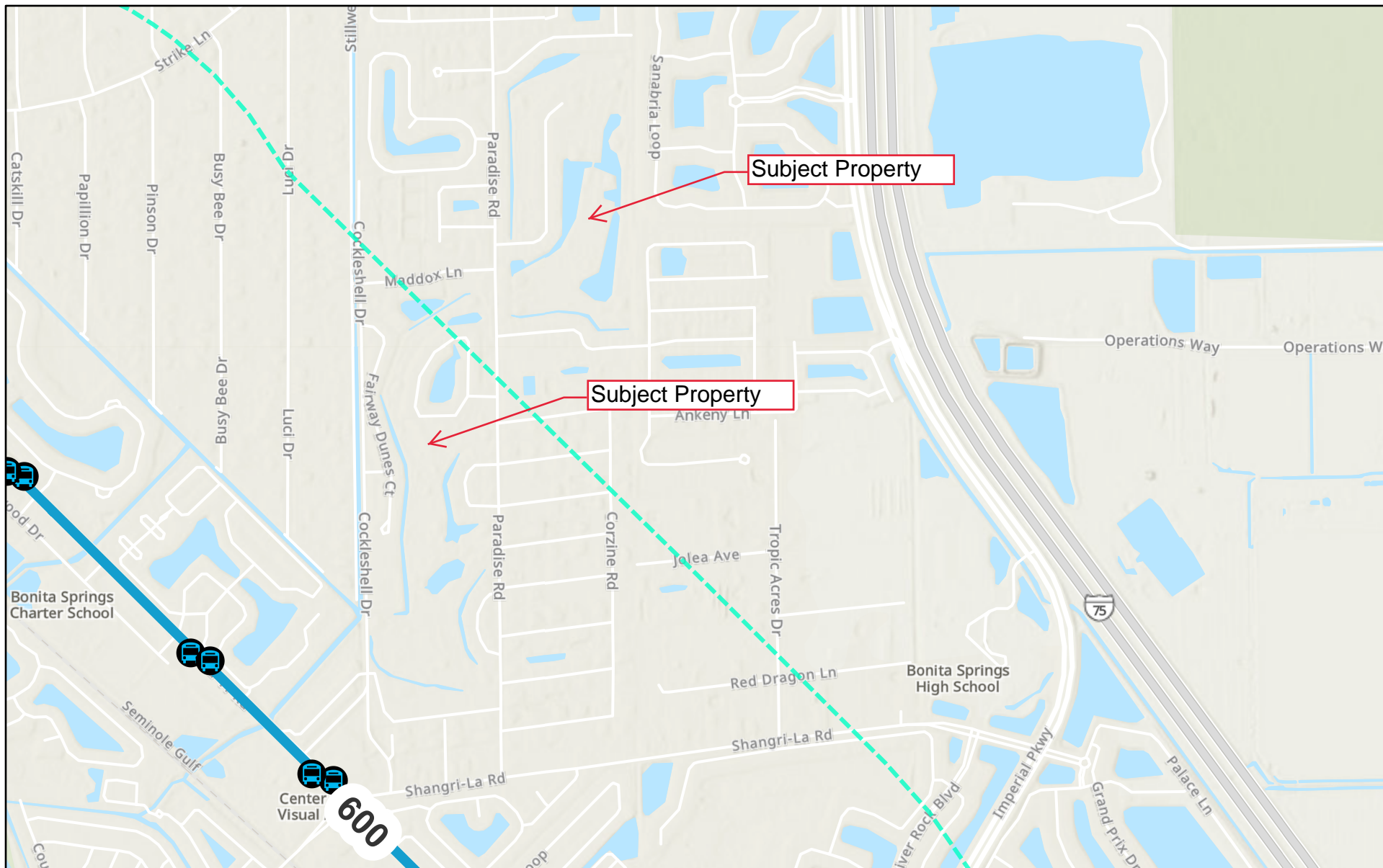
Intersection	Movement	Posted Speed (mph)	AM Peak Hour (vph)	PM Peak Hour (vph)	Traffic Signal Present	Turn Lane Warrant per AC-11-4						
						Speed (mph)		Peak Hour Volume (vph)		Signal		2 Warrants Met?
						Criteria	Warrant	Criteria	Warrant	Criteria	Warrant	
Carnousti Ct and North Parcel Potential Site Access	EB-LT	30	4	14	No	>/=30	Yes	>/=60*	No	No	No	No
Paradise Rd - Local Street												
Paradise Rd and North Parcel Site Access	NB-RT	30	42	141	No	>/=30	Yes	>/=60	Yes	No	Yes	Yes
Paradise Rd - Local Street												
Paradise Rd and South Parcel Site Access	NB-LT	30	17	56	No	>/=30	Yes	>/=60**	No	No	No	No
Paradise Rd - Local Street												
Cockleshell Dr and South Parcel Site Access	NB-RT	30	12	39	No	>/=35	No	>/=45	No	No	No	No
Cockleshell Dr - Collector												
Maddox Ln and South Parcel Site Access	EB-RT	30	2	6	No	>/=30	Yes	>/=60	No	No	No	No
Maddox Ln - Local Street												
Maddox Ln and South Parcel Site Access	WB-LT	30	3	11	No	>/=30	Yes	>/=60*	No	No	No	No
Maddox Ln - Local Street												

Notes: * The opposing through traffic is not expected to exceed the 500 vph threshold; ** Project peak hour volume does not meet warrant threshold. In addition, the opposing through traffic was estimated as 401 vph and 417 vph during AM and PM Peak Hour, respectively (TIS Tables 6A and 6B) which is below the 500 vph threshold.

Bonita Springs Golf Course RPD

Exhibit IV-A

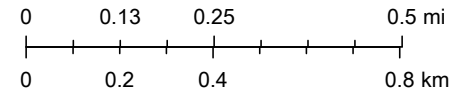
Lee Transit Map



10/13/2020, 12:09:20 PM

1:18,056

Bus Stops ADA Corridor



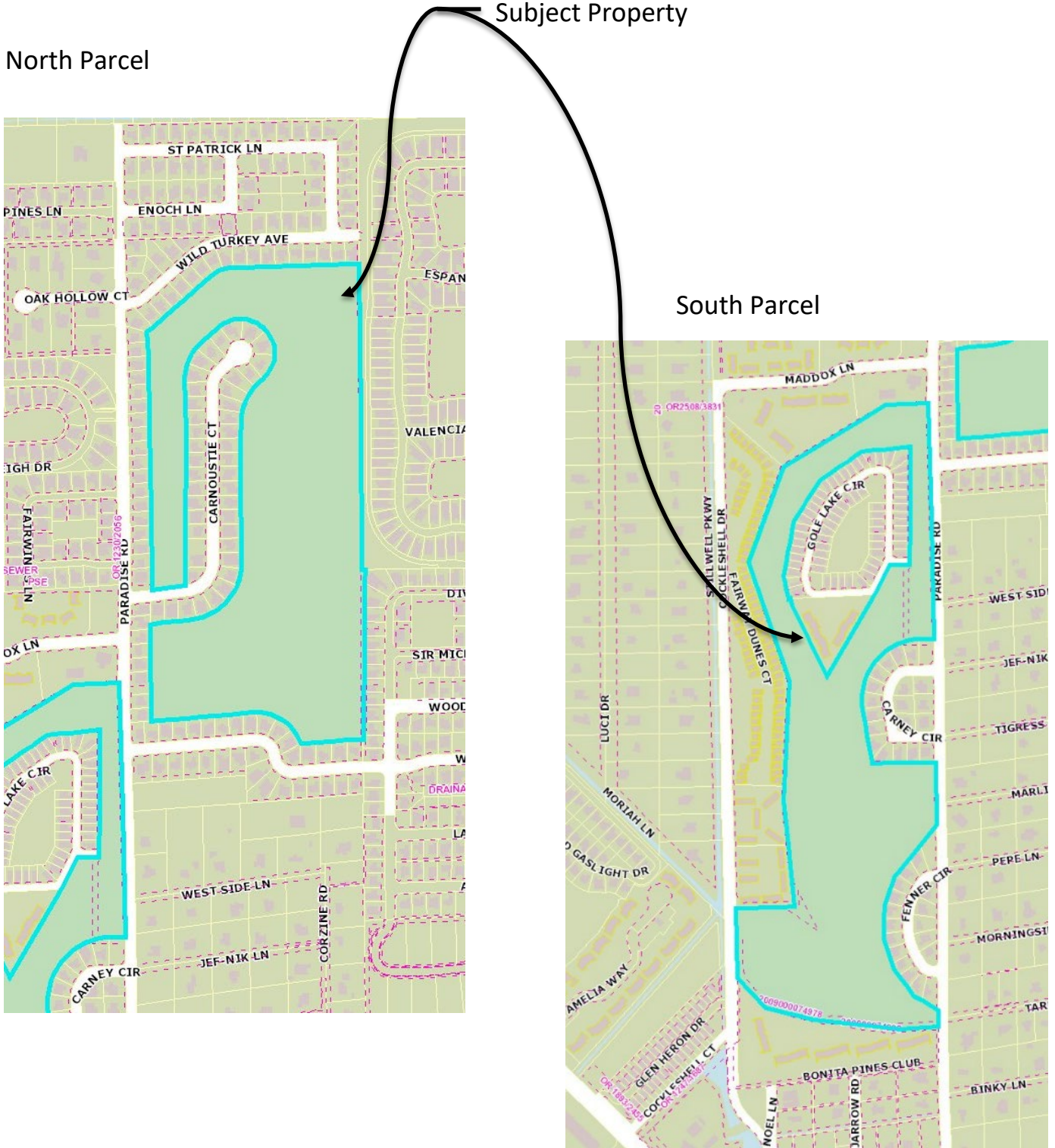
Bus Routes IN the 3/4 Mile ADA Corridor ADA Corridor

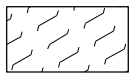

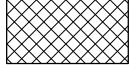

600 NOT in the 3/4 Mile ADA Corridor

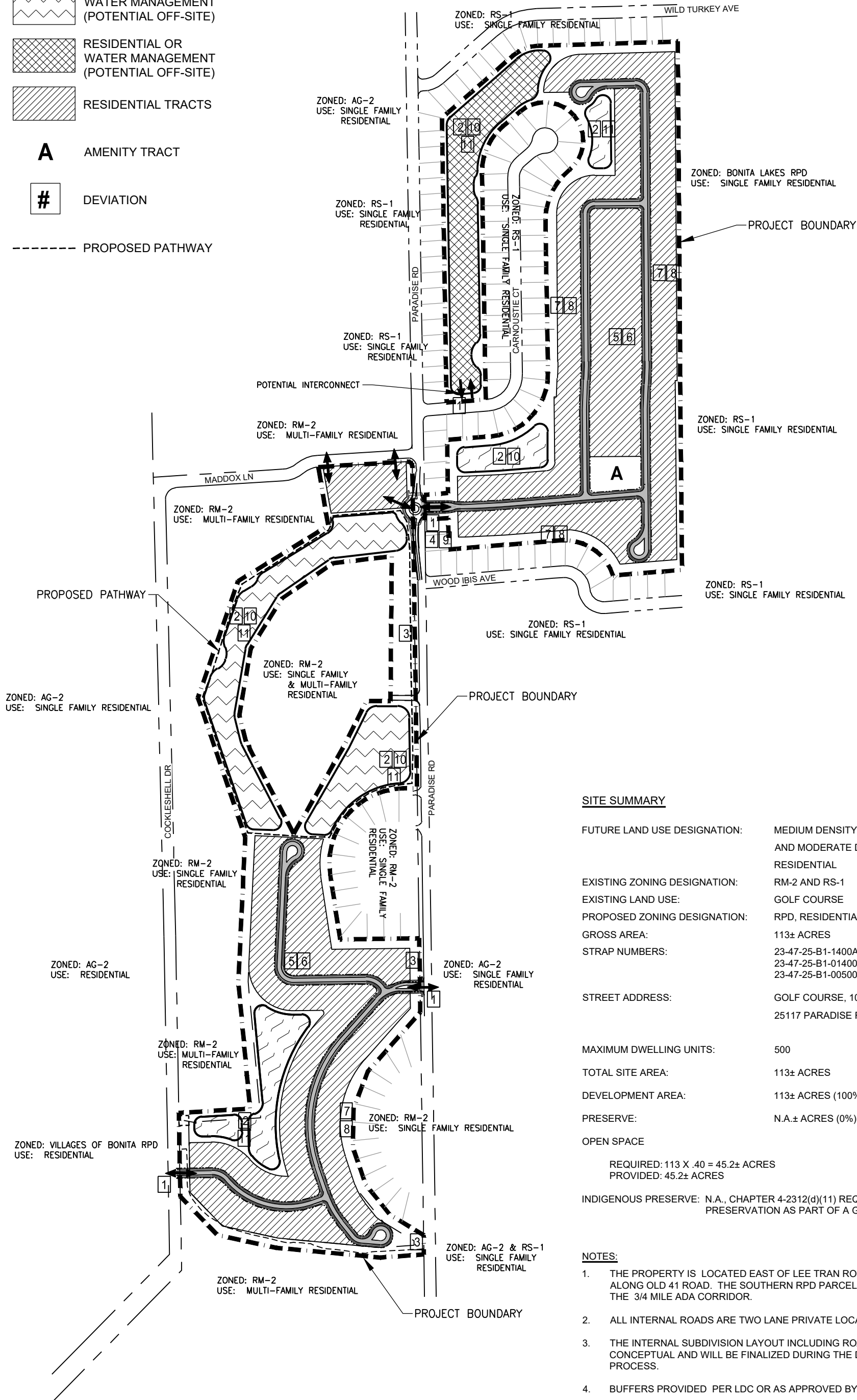
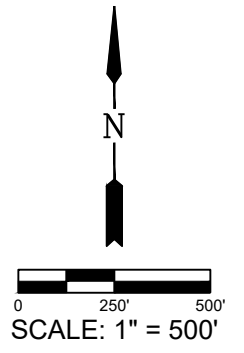
Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS,

Bonita Springs Golf Course RPD

Exhibit IV-C
ROW and Easement Map



-  WATER MANAGEMENT
-  WATER MANAGEMENT (POTENTIAL OFF-SITE)
-  RESIDENTIAL OR WATER MANAGEMENT (POTENTIAL OFF-SITE)
-  RESIDENTIAL TRACTS
- A** AMENITY TRACT
- #** DEVIATION
- PROPOSED PATHWAY



SITE SUMMARY

FUTURE LAND USE DESIGNATION:	MEDIUM DENSITY MULTI-FAMILY RESIDENTIAL AND MODERATE DENSITY SINGLE FAMILY RESIDENTIAL
EXISTING ZONING DESIGNATION:	RM-2 AND RS-1
EXISTING LAND USE:	GOLF COURSE
PROPOSED ZONING DESIGNATION:	RPD, RESIDENTIAL PLANNED DEVELOPMENT
GROSS AREA:	113± ACRES
STRAP NUMBERS:	23-47-25-B1-1400A.0000, 23-47-25-B1-0050A.000, 23-47-25-B1-01400.0860 and 23-47-25-B1-00500.0040
STREET ADDRESS:	GOLF COURSE, 10200 MADDOX LANE AND 25117 PARADISE ROAD
MAXIMUM DWELLING UNITS:	500
TOTAL SITE AREA:	113± ACRES
DEVELOPMENT AREA:	113± ACRES (100%)
PRESERVE:	N.A.± ACRES (0%)
OPEN SPACE	
	REQUIRED: 113 X .40 = 45.2± ACRES PROVIDED: 45.2± ACRES
INDIGENOUS PRESERVE:	N.A., CHAPTER 4-2312(d)(11) REQUIRES NO INDIGENOUS PRESERVATION AS PART OF A GOLF COURSE CONVERSION

NOTES:

1. THE PROPERTY IS LOCATED EAST OF LEE TRAN ROUTE 600, WHICH RUNS ALONG OLD 41 ROAD. THE SOUTHERN RPD PARCEL IS ALSO LOCATED WITHIN THE 3/4 MILE ADA CORRIDOR.
2. ALL INTERNAL ROADS ARE TWO LANE PRIVATE LOCAL ROADS.
3. THE INTERNAL SUBDIVISION LAYOUT INCLUDING ROADS DEPICTED ABOVE ARE CONCEPTUAL AND WILL BE FINALIZED DURING THE DEVELOPMENT ORDER PROCESS.
4. BUFFERS PROVIDED PER LDC OR AS APPROVED BY DEVIATION.

LEGEND



Civil Engineers • Land Surveyors • Planners • Landscape Architects
 Cert. of Auth. EB 0005151 Cert. of Auth. LB 0005151 Business LC 26000266
 Bonita Springs: 239.947.1144 www.GradyMinor.com Fort Myers: 239.690.4380

BONITA SPRINGS GOLF COURSE RPD

**EXHIBIT IV-E
 MASTER CONCEPT PLAN**

SCALE:	1" = 500'
JOB CODE:	BCBSCC-20
DATE:	OCTOBER 2020
FILE NAME:	BCBSCC-20 EXH IV-E (V1)
SHEET	1 OF 1

Bonita Springs Golf Course RPD

Site Development Regulations

Development of this RPD will comply with the following Property Development Regulations:

North Parcel (56.2± acres):

Single-Family:

Minimum Lot Area and Dimensions:

Area: 4,000 square feet

Width: 40 feet

Depth: 100 feet

Minimum Setbacks: (corner lots will only require one front yard)

Front Yard: 25 feet from public roads.

20 feet from internal streets and access drives

10 feet from internal streets and access drives (side load garage only)

Side Yard: 5 feet

Rear Yard: 10 feet

Water body: 20 feet (as measured from control elevation)

Preserve: 20 feet

Perimeter Setback: 25 feet

Accessory Use and Structure setbacks must comply with LDC.

Maximum Lot Coverage: 60 percent

Minimum open space: 10% per lot or parcel

Minimum Building Separation: 10 feet

Maximum Building Height: 2-stories/35 feet

Two Family Attached (Twin Villa):

Minimum lot Area and Dimensions:

Area: 3,500 square feet (per unit)

Width: 25/35 feet (25 feet where offset lot line is utilized).
Depth: 100 feet

Minimum Setbacks:

Front Yard: 25 feet from public roads.
20 feet from internal streets and access drives
Side Yard: 0/5 feet (lesser setback for interior units)
Rear Yard: 10 feet

Water body: 20 feet (as measured from control elevation)

Preserve: 20 feet

Perimeter Setback: 25 feet

Accessory Use and Structure setbacks must comply with LDC.

Maximum Lot Coverage: 60%

Minimum open space: 10% per lot or parcel

Minimum Building Separation: 10 feet

Maximum Building Height: 2-stories/35 feet

Recreation Area/Clubhouse/Amenity Area:

Minimum Setbacks:

Front Yard: 15 feet from public roads.
15 feet from internal streets and access drives
Side Yard: 15 feet
Rear Yard: 15 feet

Water body: 20 feet (as measured from control elevation)

Preserve: 20 feet

Perimeter Setback: 25 feet

Accessory Use and Structure setbacks must comply with LDC.

Maximum lot Coverage: 60%

Minimum open space: 10% per lot or parcel

Minimum Building Separation: 20 feet

Maximum Building Height: 45 feet

South Parcel (56.8± acres):

Single-Family:

Minimum Lot Area and Dimensions:

- Area: 4,000 square feet
- Width: 40 feet
- Depth: 100 feet

Minimum Setbacks: (corner lots will only require one front yard)

- Front Yard: 25 feet from public roads.
20 feet from internal streets and access drives
10 feet from internal streets and access drives (side load garage only)
- Side Yard: 5 feet
- Rear Yard: 10 feet

Water body: 20 feet (as measured from control elevation)

Preserve: 20 feet

Perimeter Setback: 25 feet

Accessory Use and Structure setbacks must comply with LDC.

Maximum Lot Coverage: 60%

Minimum open space: 10% per lot or parcel

Minimum Building Separation: 10 feet

Maximum Building Height: 2-stories/35 feet

Multiple-Family:

Minimum Lot Area and Dimensions:

Area: 22,500 square feet
Width: 150 feet
Depth: 150 feet

Minimum Setbacks:

Front Yard: 25 feet from public roads.
20 feet from internal streets and access drives
Side Yard: 7.5 feet
Rear Yard: 10 feet

Water body: 20 feet (as measured from control elevation)

Preserve: 20 feet

Perimeter Setback: 25 feet

Accessory Use and Structure setbacks must comply with LDC.

Maximum lot Coverage: 45%

Minimum open space: 10% per lot or parcel

Minimum Building Separation: 15 feet

Maximum Building Height: 2 stories/35 feet

Townhouse:

Minimum lot Area and Dimensions:

Area: 2,000 square feet (per unit)
Width: 20 feet
Depth: 100 feet

Minimum Setbacks:

Front Yard: 25 feet from public roads.
20 feet from internal streets and access drives
Side Yard: 0/5 feet (lesser setback for interior units)
Rear Yard: 10 feet

Water body: 20 feet (as measured from control elevation)

Preserve: 20 feet

Perimeter Setback: 25 feet

Accessory Use and Structure setbacks must comply with LDC.

Maximum lot Coverage: 70% internal lot; 60% end lot

Minimum open space: 10% per lot or parcel

Minimum Building Separation: 10 feet

Maximum Building Height: 2 stories/35 feet

Two Family Attached (Twin Villa):

Minimum lot Area and Dimensions:

Area: 3,500 square feet (per unit)

Width: 25/35 feet (25 feet where offset lot line is utilized).

Depth: 100 feet

Minimum Setbacks:

Front Yard: 25 feet from public roads.

20 feet from internal streets and access drives

Side Yard: 0/5 feet (lesser setback for interior units)

Rear Yard: 10 feet

Water body: 20 feet (as measured from control elevation)

Preserve: 20 feet

Perimeter Setback: 25 feet

Accessory Use and Structure setbacks must comply with LDC.

Maximum Lot Coverage: 60%

Minimum open space: 10% per lot or parcel

Minimum Building Separation: 10 feet

Maximum Building Height: 2-stories/35 feet

Bonita Springs Golf Course RPD Rezone

Exhibit IV-G Schedule of Uses

1. Accessory uses and structures
2. Administrative offices
3. Community gardens
4. Dwelling Units:
 - North Parcel:
 - Single Family
 - Two Family Attached (Twin Villa)

 - South Parcel:
 - Multiple Family
 - Single Family
 - Townhouse
 - Two Family Attached (Twin Villa)
5. Entrance Gate
6. Excavation, Water Retention
7. Fences and Walls
8. Food and beverage service, limited
9. Parking lot accessory
10. Recreation Facilities (clubs), Private, On-site with consumption on-premises
11. Signs

Bonita Springs Golf Course RPD Rezone

Exhibit IV-H – Deviations and Justifications

1. Deviation 1 seeks relief from Sec. 4-2312(d)(5) – Golf Course Redevelopment Regulations – Development Approval and Standards which prohibits gates or walls along the project boundary to allow gates at the project entrances and walls along the project boundary.

Justification:

The development is proposing the installation of gates at the vehicular entrances to the site at the locations shown on the master plan. Portions of the proposed buffering plan include the installation walls within buffer areas to help screen adjacent residential uses from the proposed development. The gated entries will not impede public accessibility to other local streets in the vicinity as no grid pattern of streets will be interrupted.

2. Deviation 2 seeks relief from Sec. 3-331(d)(5) – Excavations for Water Retention and Detention which states that, at the discretion of the City Manager or designee, a four foot tall fence may be required around excavations located less than 100 feet from any property under separate ownership to not require fences around water management lakes.

Justification:

The development proposes a series of regional stormwater improvements that will provide lake views for adjacent residential uses. Lake views will be an aesthetic benefit for adjacent residential lots that would be diminished with the required fencing. The lake edge is appropriately designed with a 15' wide flat area at top of bank and 4 to 1 slopes.

3. Deviation 3 seeks relief from Sec. 3-263(b)(2) – Bikeways Facilities and Pedestrian Facilities which requires that the developer construct bike and pedestrian facilities in the public road rights-of-way if proposed in the City's Bicycle and Pedestrian Master Plan to provide an alternative pathways plan.

Justification:

The City's Bicycle and Pedestrian Master Plan show a proposed multi-use pathway within the Paradise Road Right-of-Way (with the existing sidewalk to remain). Due to limited ROW availability on Paradise Road and a lack of downstream connections, the developer has proposed an alternative pathways plan within the development in lieu of constructing the multiuse pathway proposed in the City's Bicycle and Pedestrian Master Plan. The internal paved pathway is located adjacent to the open space lakes and will be available for the use by the general public with connections made to the existing sidewalk along Paradise Road. The development has approximately 2,150 linear feet of frontage on Paradise Road that is interrupted with privately owned

residential lots. The proposed pathway will be approximately 4,300 feet long, with 3,000 feet located internal to the project.

4. Deviation 4 seeks relief from Sec. 3-297(3) – Access to Street Required which requires that any residential development of more than five acres provide two or more means of ingress and egress to the project to allow a single access to the northern residential tract.

Justification:

The configuration of the north residential parcel limits the number of access points available to the single location shown in the master concept plan A potential access point to the north residential parcel is provided from Carnoustie Court; however, that would limit the ability to provide regional stormwater improvements and create additional impacts to surrounding residential uses.

5. Deviation 5 seeks relief from Sec. 3-303(b) – Complete Street Design which establishes the minimum dimensional standards and required facilities for public and privately maintained streets to provide an alternative street design.

Justification:

The master concept plan includes the proposed roadway cross section for the development that meets the intent of the City’s LDC. The street cross sections shown on the MCP support multi-modal transportation and will maintain public health, safety and welfare. Given the existing site constraints, the proposed street design provides 5-foot sidewalks and a shared bike lane which is appropriate for a local roadway with low travel speeds.

6. Deviation 6 seeks relief from Sec. 3-303(e)(14)(1) – Complete Street Design which establishes the requirements for street trees to not require street trees on private streets internal to the development.

Justification:

The development proposes an alternative cross section as shown on the MCP that does not include street trees. The neighboring residential developments do not include or provide street trees within their roadways. This deviation will be consistent with the surrounding development patterns.

7. Deviation 7 seeks relief from Sec. 4-2312(d)(7) – Golf Course Redevelopment Regulations – Development Approval and Standards which requires a 50 foot wide buffer with screening at a minimum height of six feet to allow reduced buffers in locations identified on the MCP and to not require six feet screening for buffers adjacent to the lakes.

Justification:

The development proposes a series of regional stormwater improvements that will provide lake views for adjacent residential uses. Lake views will be an aesthetic benefit

for adjacent residential lots that would be diminished with the required screening. The 50-foot buffer is proposed to be reduced to a minimum of 25' at locations shown on the MCP and 15' when adjacent to off-site preserves. These buffers will be planted to provide the required vegetated screening to sufficiently buffer the low-density development from surrounding uses.

8. Deviation 8 seeks relief from Sec. 4-2312(d)(9) – Golf Course Redevelopment Regulations – Development Approval and Standards which requires the inclusion of a tree lined trail (12 foot minimum width) in instances when the buffer is reduced to less than 50 feet.

Justification:

The project master plan includes locations of a proposed multi-use trail system. In certain instances, in which the perimeter buffer has been reduced to less than 50 feet, and enhanced landscaping is proposed to buffer surrounding land uses from the proposed development rather than including a trail.

9. Deviation 9 seeks relief from Sec. 4-2312(d)(12) – Minimum road width which provides minimum width of any portion of golf course property considered for redevelopment on which a roadway will traverse to meet specific width standards to allow an access road to the northern tract through property that is 129.11 feet wide.

Justification:

The existing property has limited frontage on existing roadways and the deviation is necessary to access the northern tract. As illustrated on the MCP, the development proposes access to the northern tract between Wood Ibis Avenue and Carnoustie Court. The access point into the northern tract is through Lot 86, which is 129.11' wide. The access road will be located and screened to maximize separation and screening to the adjacent residential uses. Additionally, the developer is proposing to construct a traffic circle at this intersection to provide traffic calming to Paradise Road.

10. Deviation 10 seeks relief from Sec. 3-417(b)(1)b.4. – Indigenous Native Vegetation which requires efforts be made to preserve heritage trees and specifies sizing criteria for replacement landscaping for impacted heritage trees to not require replacement trees for heritage trees removed to provide regional drainage improvements.

Justification:

Considerable portions of the project site will be devoted to providing stormwater storage and conveyance for surrounding developments, which provides a significant public benefit to the area. These stormwater lakes have been designed to preserve heritage trees where reasonable; however, some heritage trees will need to be removed in order to provide the regional stormwater improvements. This deviation requests to not require replacement for heritage trees which must be impacted to construct the proposed regional drainage improvements.

11. Deviation 11 seeks relief from Sec. 3-417 (d)(2)c. – use of open space which limits existing or proposed bodies of water, including stormwater management areas to offset up to a maximum of 25 percent of the required open space to allow stormwater management areas to offset up to a maximum of 40 percent of the required open space.

Justification:

The proposed project includes a series of lakes within the former golf course to provide regional drainage enhancements for the surrounding area. These stormwater improvements include the construction of a series of stormwater lakes to provide additional storage, conveyance, and treatment for the surrounding residential areas. These lake areas associated with these stormwater improvements exceed what is required for the golf course redevelopment area but provide a much need public improvement to the community. This deviation would not be needed if the additional lakes for regional stormwater improvements were not proposed as part of this development.



BONITA SPRINGS COUNTRY CLUB RPD REZONE

STORM WATER MANAGEMENT STUDY

REV00

PREPARED BY:

PENINSULA ENGINEERING
2600 GOLDEN GATE PARKWAY
NAPLES, FL 34105

MARCH 2021



DANIEL F. WATERS, PE
LICENSE #60746
CERTIFICATE OF AUTHORIZATION #28275



**BONITA SPRINGS COUNTRY CLUB RPD REZONE
STORMWATER MANAGEMENT STUDY
TABLE OF CONTENTS**

<u>SECTION</u>	<u>PAGE</u>
Project Background And Purpose.....	3
Summary of Existing Drainage Conditions.....	6
Summary of Proposed Drainage Conditions.....	8
Proposed Design Standard Modifications from LDC for Stormwater System Improvements.....	11

DANIEL F. WATERS, PE
LICENSE #60746
CERTIFICATE OF AUTHORIZATION #28275

Project Background And Purpose

This report has been prepared to characterize the performance of existing stormwater functions provided within the Bonita Springs Golf Course (BSGC) property and summarize the conceptual stormwater management system proposed as a part of the requested conversion of the land use at the BSGC site from the existing use to a proposed planned residential development. The BSGC site is comprised of two parcels totaling approximately 113 acres that are individually referred to as the North and South Parcels in this report. The site is located within the City of Bonita Springs and is generally located within the region of the City that is north of Shangri La Road between Old US 41 and Imperial Parkway. The two parcels comprising the site are bisected by the public right-of-way of Paradise Road. See Figure 1 below for the location of the two parcels. The North Parcel is approximately 56 acres and is located east of Paradise Road and is entirely bordered by existing single-family residences. The South Parcel is located between the public rights-of-way for Paradise Road and Cockleshell Drive and is approximately 57 acres. The South Parcel is bordered by a combination of existing single-family residences and multi-family residential development.

The stormwater management system for the BSGC was approved for construction and operation by the South Florida Water Management District in March 1980 as Permit No. 36-00186-S; construction of the golf course and the associated stormwater management system occurred during the same timeframe. The golf course operation has been dormant for approximately the last ten years but in its fallow condition the property continues to provide storage and conveyance of stormwater runoff from portions of the surrounding residential communities.

The master-plan stormwater design for the BSGC included provision to accept stormwater runoff from surrounding residential development areas. Reference Exhibit A for a depiction of the surrounding residential communities that discharge to the BSGC and a generalized depiction of the conveyance routes for each property to the stormwater pump station that serves as the regional outfall.

This Report has been prepared in conjunction with the request to rezone the BSGC property from the dormant golf course use to a proposed planned residential development. Division 43 of the City of Bonita Springs Code of Ordinances governs the redevelopment of golf course uses and requires that “*a pre versus*

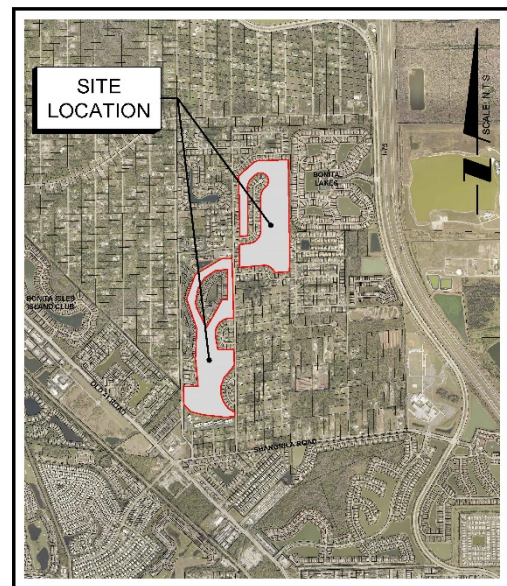


Figure 1 – Location Map

post stormwater runoff analysis” be prepared to “address existing stormwater capacity necessary to maintain or facilitate proper drainage in surrounding developments” (Section 4-2312(d)(4) of the City of Bonita Springs LDC). The regulations for golf course conversions further require that the result of the conversion of the land use from the golf course use to a proposed residential use result in an equivalent or improved stormwater level of service for the surrounding communities. As previously mentioned, Exhibit A provides a visual depiction of the surrounding property areas that currently discharge to the BSGC property and Table 1 below provides the contributing area for each surrounding community into the BSGC site.

TABLE 1 – SUMMARY OF OFFSITE FLOWS TO BSGC SITE	
Community	Contributing Area (acres)
Bonita Springs Country Club and Fairway Estates	50.8
Bonita Golf Club Villas	52.6
Fairway Dunes / Lakeside Hideaway / Eagle Pointe / Fairway Pines Condominium / The Greens of Bonita Springs	37.0
Fairway Dunes / Cypress Plantation	5.6
Carney Circle	7.0
Fenner Circle / Bonita Pines Club	16.5
TOTAL OFFSITE CONTRIBUTING AREA = 169.5 acres	

The applicant is aware of the protracted history of chronic nuisance flooding within the BSGC site and the surrounding residential communities. They are also aware that the City of Bonita Springs has commissioned a study to review existing conditions and propose solutions. With that in mind, The applicant has authorized the concept of a preferred residential development plan with the intent of providing the City of Bonita Springs with an opportunity to relieve the flooding conditions that are currently experienced at the BSGC site and more importantly in the surrounding community. The applicant’s understanding of the current flooding conditions is based upon a combination of information provided by the surrounding residents during the Neighborhood Information Meeting, discussions and meetings with the City of Bonita Springs’ staff, a review of the SFWMD Environmental Resource Permit post-permit compliance files for the area, and general knowledge of the regional drainage conditions. The preferred redevelopment plan of the BSGC site that will provide the greatest opportunity to provide improvements of regional significance to drainage conditions for the surrounding neighborhoods will be one that consolidates the proposed residential development within the contiguous existing golf course site and allows for the narrower portions of the existing golf course site to be exclusively reserved for regional stormwater storage and conveyance, as shown on Exhibit B.



The applicant’s master conceptual redevelopment plan being submitted for the BSGC site is attached as Exhibit C. The primary differences between the master conceptual plan and the preferred development plan are related to access, unit density and mix, lake sizes, and the design standards applied to the perimeter of the project. To maximize the offsite benefit and achieve the goals of the community, the applicant and the City of Bonita will need to work together to refine the opportunities to achieve the benefit in the preferred development plan. Both plans will meet the requirement to provide “an equivalent or improved stormwater level of service for the surrounding communities.”

The preferreds redevelopment plan shown in Exhibit B has concentrated the proposed residential development area within an approximately 42-acre portion of the North Parcel and an approximately 31-acre area on the South Parcel. The aggregate residential development area of 73 acres in the preferred development plan represents approximately 64% of the total BSGC site area of 113 acres. The remaining 36% of the property would be reserved for areas providing stormwater storage, flow conveyance, water quality treatment, and accessways for routine maintenance operations. In order to implement the preferred development plan, design standard modifications from the City of Bonita Springs Land Development Code will be required to construct the stormwater improvements depicted in the applicant’s preferred development plan, including, but not limited to, approval of access through Lot 86. A summary of the existing and proposed drainage conditions is provided in the next sections of this report and a listing of the required design variations from the City of Bonita Springs to implement the preferred land plan is provided at the end of this report.

Summary of Existing Drainage Conditions

A schematic of the existing conveyance routes and storage areas within the existing BSGC site is provided in Exhibit A. The existing conveyance facilities generally consist of narrow ditches that in many instances run along the perimeter of the golf course property and convey flow to the existing wet detention ponds within the golf course site. The system of ditches and ponds typically discharge to existing culverts that cross under existing roadways and between existing homes. The existing culverts are primarily corrugated metal pipe (CMP) and the pipe material has corroded and reached the end of its useful life. The preferred development plan proposes that the applicant work with the City of Bonita Springs to replace all of the existing CMP culverts; because the proposal is to replace the existing culverts, a television inspection of the existing CMP culverts has not been performed to document the existing extent of pipe failure.

As shown on Exhibit A, drainage from the North Parcel and the surrounding residential communities is collected and routed to twin 30" CMP culverts that convey flows under Paradise Road from the North Parcel to the South Parcel. The 30" CMP culverts are located within a drainage easement (granted to the golf course owner) along the south side of Lot 86 of the plat of Unit 1 of the Bonita Springs Country Club. The stormwater flows within the South Parcel are routed through a series of narrow ditches, wet retention ponds, and CMP culverts to an existing stormwater pump station in the southwest corner of the South Parcel (on the south end of the existing Cypress Plantation community).

The stormwater pump station was authorized for construction and operation by SFWMD as a part of the original approval for the construction of the golf course in 1979; the permit allowed for the construction of three 20,000 gpm pumps to discharge stormwater from the pump station to an existing headwater ditch that is a tributary of Spring Creek. The existing SFWMD permit requires that the permittee (the golf course owner) operate and maintain the pump station and authorizes one of the three pumps to be operated at any given time. If the permittee wishes to operate more than a single pump at any time it must have approval from SFWMD prior to operating multiple pumps. The stormwater pump station is currently in a state of disrepair and does not appear to have been operated in the recent past. The preferred development plan will request approval for the construction of a new pump stormwater station and the applicant intends on partnering with the City of Bonita Springs to construct a new stormwater pump station and convey its ownership to the City of Bonita Springs.

Detailed drainage calculations for the original BSGC site and many of the surrounding communities that contribute to the BSGC site are not available in the SFWMD permit files. The minimum road elevations appear to have been established based upon the peak stage of the 5 Year – 1 Day Storm Event and the allowable discharge rate appears to have been established for a 10 Year Storm Event. The regulations governing the construction of stormwater management systems serving new residential development have evolved since the time of the original development of the BSGC site and the surrounding residential

areas. The applicant’s preferred development plan would allow for the applicant to partner with the City of Bonita Springs to potentially elevate the stormwater level of service provided to a 25 Year – 3 Day Storm Event for the BSGC site and the surrounding neighborhoods.

As noted previously, many of the existing conveyances on the BSGC site consist of narrow ditches at the perimeter of the BSGC site (running parallel to the existing residences). The existing ditches are generally adjacent to existing vegetation at the border of the BSGC site and there are not maintenance accessways available to remove fallen debris that could potentially clog the ditch during hurricanes or other tropical storm events. Figure 2 (right) shows a typical perimeter ditch. The applicant’s preferred development plan would provide for designated accessways for maintenance vehicles.



Figure 2 – Typical Ditch Conditions

Summary of Proposed Drainage Conditions

A schematic of the applicant’s preferred development and regional stormwater improvement plan is provided in Exhibit B. The applicant is proposing to partner with the City of Bonita Springs to construct regional stormwater conveyance capacity and significantly increase the volume of stormwater storage provided within the BSGC site. It should be noted that conveyance improvements within individual surrounding communities may be required to ensure that the runoff from the adjacent communities can reach the proposed regional storage and conveyance infrastructure.

In portions of the BSGC site in which residential development is proposed adjacent to existing residences, either a 50 or 25 foot perimeter buffer would be installed between the existing home’s property lines and the proposed residence rear lot lines. A portion of the perimeter buffer will be occupied by proposed stormwater conveyance facilities that would consist of shallow swales (to intercept adjacent rear yard drainage) with culverts underneath to convey flow. The buffer configurations would allow for vehicular access for stormwater maintenance operations such as vacuuming of culverts, swale mowing, and routine inspections. The proposed conveyance facilities would allow for significantly easier maintenance operations as compared to the shallow ditches currently in place that promote aquatic weed growth leading to frequent blockages of flow in the ditches. The construction of the proposed perimeter drainage facilities will require that a significant majority of the perimeter vegetation along the edges of the golf course fairways be cleared to allow for installation of the drainage facilities. It should be noted that much of the perimeter vegetation consists of pine trees which are very susceptible to damage as a result of filling or excavation adjacent to the trees and mortality of a significant number of the pines is likely as a result of the construction of the drainage improvements.

The majority of the buffer areas are 50 feet in width and will include a ten foot wide flat shelf at the property perimeter, a 12 foot wide (dry) swale, and a 28 foot wide (four foot tall) planted berm. See Figure 3 below for a cross section view of the 50 foot perimeter buffer.

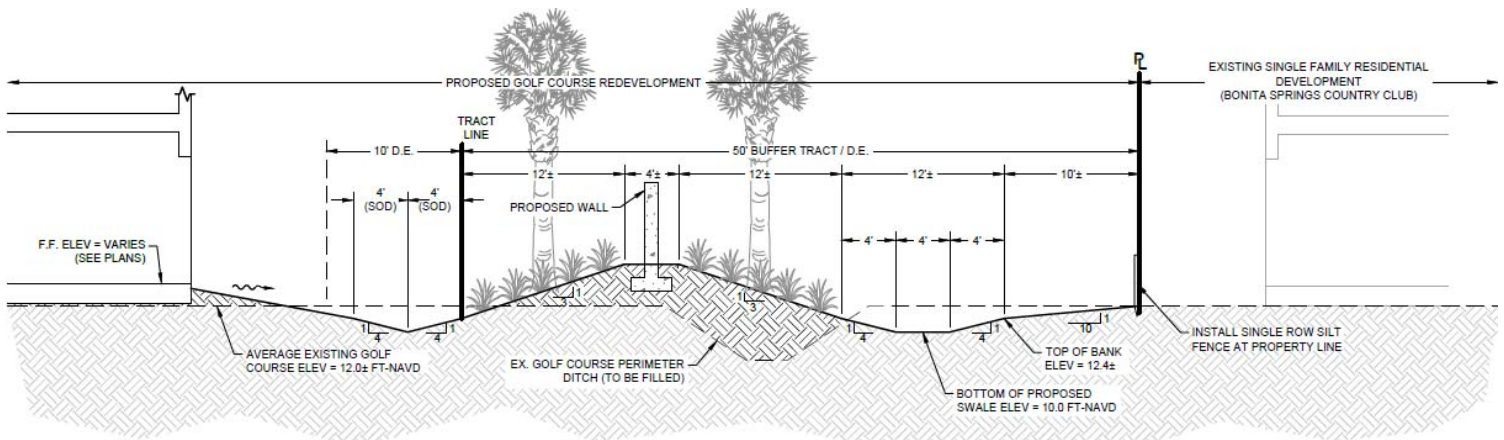


Figure 3 – Typical 50 Foot Buffer Section

Portions of the project perimeter on the North Parcel are proposed to have buffers that are 25 feet in width that will include a 13 foot wide flat shelf at the property perimeter, an eight foot wide (dry) swale, and a four foot wide flat area with a screen wall or fencing. See Figure 4 below for a cross section view of the 25 foot wide perimeter buffer section.

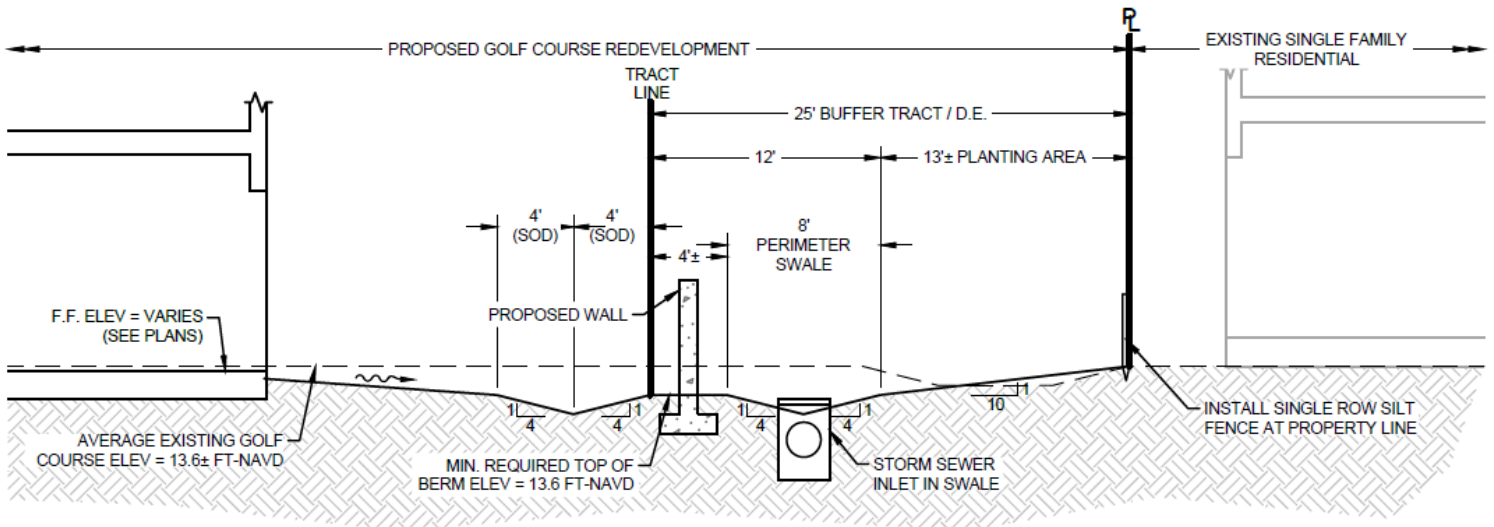


Figure 4 – Typical 25 Foot Buffer Section

The portions of the post development BSGC site that will not have perimeter swales and culverts are typically proposed to be excavated to create lake areas. The typical cross section for proposed lakes adjacent to existing residences is shown in Figure 5 below; the cross section consists of a ten-foot flat shelf at the existing property line and a four to one slope to the proposed average wet season water table elevation of the lake. The combination of the four to one slopes and the ten foot flat shelf will provide adequate room for future maintenance operations. The proposed lake areas would help to achieve multiple stormwater objectives including:

- Creating a significant volume of stormwater storage for the surrounding neighborhoods;
- Providing wide conveyance paths that are free from blockages of flow (from vegetative debris / trash);
- Providing increased residence time for runoff from surrounding neighborhoods resulting in enhancements to water quality treatment;

**BONITA SPRINGS COUNTRY CLUB RPD REZONE
STORMWATER MANAGEMENT STUDY**

- Provide the opportunity to create additional storage below the wet season water table by utilizing the rehabilitated pump station in advance of storm events to pump down the lake levels to below their normal water levels prior to forecasted significant rain events.

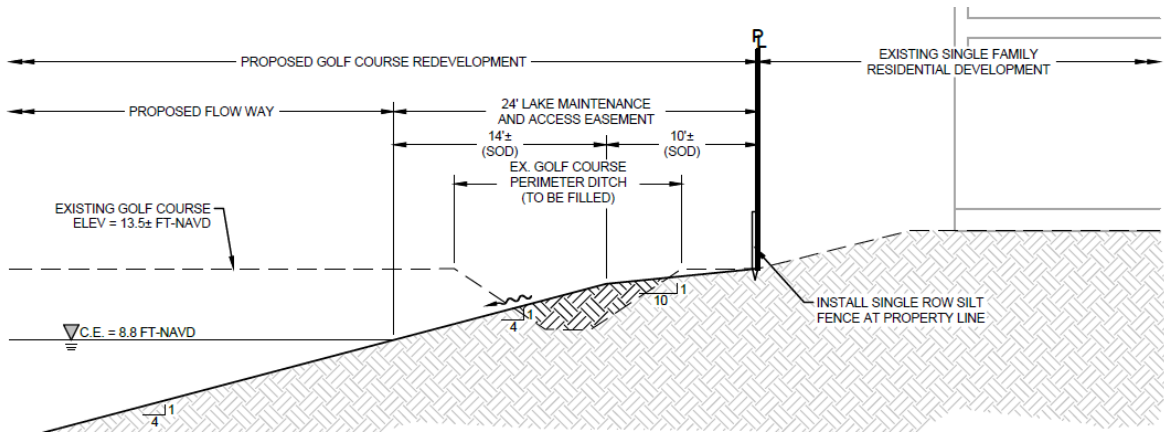


Figure 5 – Typical Lake on Existing Home Cross Section

The ability to operate the pump station in advance of storm events will require cooperation between the applicant and the City of Bonita Springs. The property owner is currently authorized to operate the existing pump at the site in the event of increased storm stages within the BSGC property, but assumption of the pump station operation responsibilities by the City of Bonita Springs would offer the potential for a more flexible operation permit for the pump station from SFWMD as a part of the modified ERP for the redevelopment of the site.

The stormwater pumps at the site are aboveground throw out / discharge pumps located within a concrete pump vault on the southwest corner of the Cypress Plantation development. The preferred development plan would include submersible pumps that would withdraw from a small pond / reservoir within the BSGC site. The change to submersible pumps will provide for dependable and quiet operation of the pump station as compared to the throw out / discharge pumps. The proposed pump station would be powered with electricity under normal operating conditions and have emergency power available from either natural gas or a generator in the event of a disruption in electrical service to the pump station.

Proposed Design Standard Modifications From LDC for Stormwater System Improvements

As noted previously, the implementation of the applicant’s preferred development plan and the associated stormwater improvements will require partnership with the City of Bonita Springs and the granting of deviations from the Land Development Code. The required code deviations and associated explanations / justifications that will be required to implement the plan depicted on Exhibit B are summarized below.

Stormwater Alternative Design Standard	Code Section	Comments
1.	3-329(b)	The LDC prohibits the stormwater system created by the proposed development from being dedicated or accepted by the City of Bonita Springs. A component of the preferred development plan’s stormwater management system will be the replacement of the existing stormwater pump station. The acceptance of the operations of the proposed stormwater pump station by the City of Bonita Springs will potentially allow for more flexibility in the pump station operations including operating the pumps in advance of a storm to draw down the lake system prior to forecast significant rain events.
2.	3-331(c)	The LDC states that approval from the City Council is required to export excavated material to off-site areas. The excavation of the proposed lakes / flow ways will create excess fill material that will not be needed for the construction of the proposed residential development and the applicant proposes to export that material from the project site to off-site areas.
3.	3-331(d)(1)(a)(3)	The requirements for Excavations for Water Retention in the LDC state that proposed excavations must have a minimum setback of 50 feet (measured from the lake edge of water to the property line). Figure 5 above shows the typical proposed condition for lakes adjacent to the property boundary and this proposed condition is consistent with development patterns within the area and existing conditions in which a golf course lake is located adjacent to an existing residence.
4.	3-331(d)(5)	The regulations in the LDC state that the City Manager of designee may require that a (minimum) four foot tall fence be installed around excavations that are located less than 100 feet from any property that is under separate ownership. In addition to the

**BONITA SPRINGS COUNTRY CLUB RPD REZONE
STORMWATER MANAGEMENT STUDY**

		stormwater functions, the lakes are anticipated to provide an aesthetic benefit to the home owners that border the lakes and the installation of fencing would screen the views of the ponds provided. Figure 5 above shows the typical lake configuration with a ten foot wide flat top at the property line and a four to one slope to the edge of water of the lake; this perimeter condition is consistent with existing portions of the BSGC site that have stormwater ponds adjacent to existing homes and is consistent with surrounding development patterns.
5.	4-2312(d)(4)	The LDC requirements for the redevelopment of golf courses prohibit alteration of the topography of the golf course within the 30 foot perimeter / border of the golf course property. The prohibition against topographic alterations is apparently intended to prevent filling in areas adjacent to existing homes to avoid adverse impacts to the existing home site's ability to drain into the golf course stormwater system. That regulation would be appropriate in the case of a properly functioning drainage system, but as noted previously improvements to the existing system of conveyances on the BSGC site will require the installation of new culverts and regrading of conveyances to implement proposed drainage improvements that provide improved function and the ability to maintain the system.
6.	4-2312(d)(5)	The golf course redevelopment regulations prohibit the installation of fences or walls around the perimeter of the golf courses that are proposed to be converted to residential uses. The proposed stormwater improvements will require clearing of the existing vegetation at the property perimeter and the applicant would prefer to reserve the option of installing fences or walls at the project perimeter as a part of the proposed buffering plan. Reference Figures 3 and 4 above for the location of the optional fences and walls.
7.	4-2312(d)(7)	The golf course redevelopment standards require a 50 foot wide buffer (that can be reduced to a minimum of 25 feet) at the perimeter of the proposed residential planned development and specify that the buffer provide screening at a height of six feet. As noted previously, certain areas of the existing golf course are proposed to be excavated to create stormwater facilities (wet detention ponds) that will provide regional stormwater storage and conveyance. The applicant proposes to construct the ponds without visual screening from the existing residences to provide views of the proposed ponds.

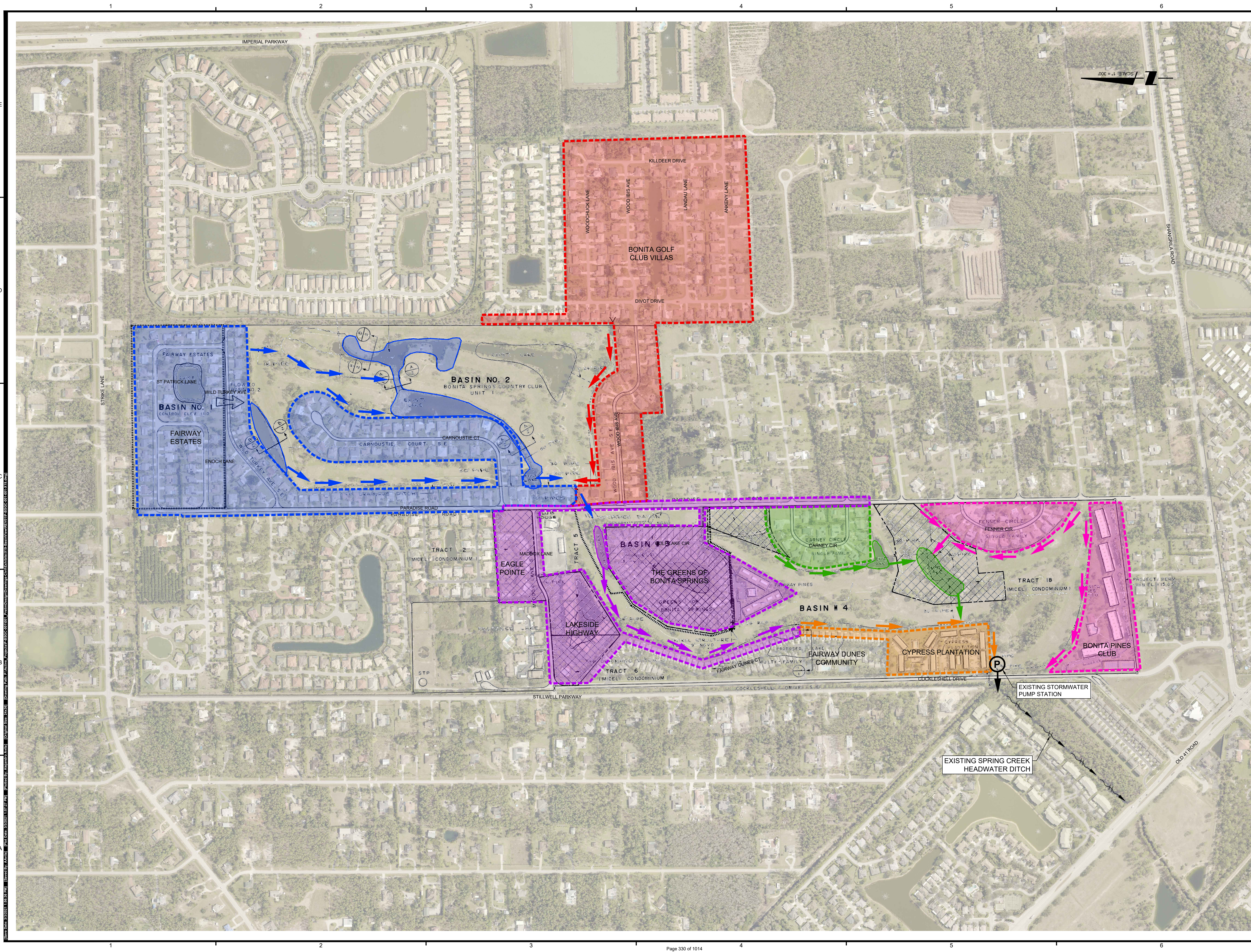


**BONITA SPRINGS COUNTRY CLUB RPD REZONE
STORMWATER MANAGEMENT STUDY**

8.	4-2312(d)(8)	The golf course redevelopment regulations require that buffers be installed as a part of the construction of the planned residential development to provide 80% opacity at a height of six feet. Certain areas of the existing golf course are proposed to be excavated to create stormwater facilities (wet detention ponds) that will provide regional stormwater storage and conveyance. The applicant proposes to construct the ponds without visual screening from the existing residences to provide views of the proposed ponds.
----	--------------	---



EXHIBIT A: EXISTING CONVEYANCES FOR OFFSITE FLOW



BONITA SPRINGS GOLF COURSE RPD

TITLE:
EXHIBIT "A" EXISTING CONVEYANCES FOR OFFSITE FLOW

OWNER/CLIENT/CONSULTANT:
BSGC LAND HOLDINGS, LLC.

REVISIONS:

No.	Revision	Date

NOTES:

DATUM NOTE:
 ALL ELEVATIONS ARE BASED ON NAVD 88
 (NORTH AMERICAN VERTICAL DATUM OF 1988)

Bar Scale: 1" = 300'

SEC: 23 TWP: 47S RGE: 25E
 City: BONITA County: LEE
 Designed by: NATHAN MULLINS
 Drawn by: NATHAN MULLINS
 Date: JANUARY 2021
 Horizontal Scale: 1" = 300'
 Vertical Scale: N.T.S.
 Project Number: P-BSGC-001-001
 File Number: P-BSGC-001-001-X19
C-X19
 Sheet Number: 01 of 01

1
2
3
4
5
6
A
B
C
D
E



EXHIBIT B: EXISTING CONVEYANCES FOR OFFSITE FLOW

BONITA SPRINGS GOLF COURSE RPD

EXHIBIT B: PREFERRED DEVELOPMENT PLAN WITH CONCEPTUAL STORMWATER ROUTING

OWNER/CLIENT/CONSULTANT:

LAND HOLDINGS

REVISIONS:

No.	Revision	Date

NOTES:

PROFESSIONAL SEALS:
 PROFESSIONAL ENGINEER: DANIEL F. WATERS, P.E.
 FLORIDA LICENSE NUMBER: 60746

DATUM NOTE:
 ALL ELEVATIONS ARE BASED ON NAVD 88
 (NORTH AMERICAN VERTICAL DATUM OF 1988)

Bar Scale: 1" = 300'

SEC: 23 TWP: 47S RGE: 25E

City: BONITA SPRINGS County: LEE

Designed by: DANIEL F. WATERS, P.E.

Drawn by: ALEJANDRO AVILA

Date: FEBRUARY 2021

Horizontal Scale: 1" = 300'

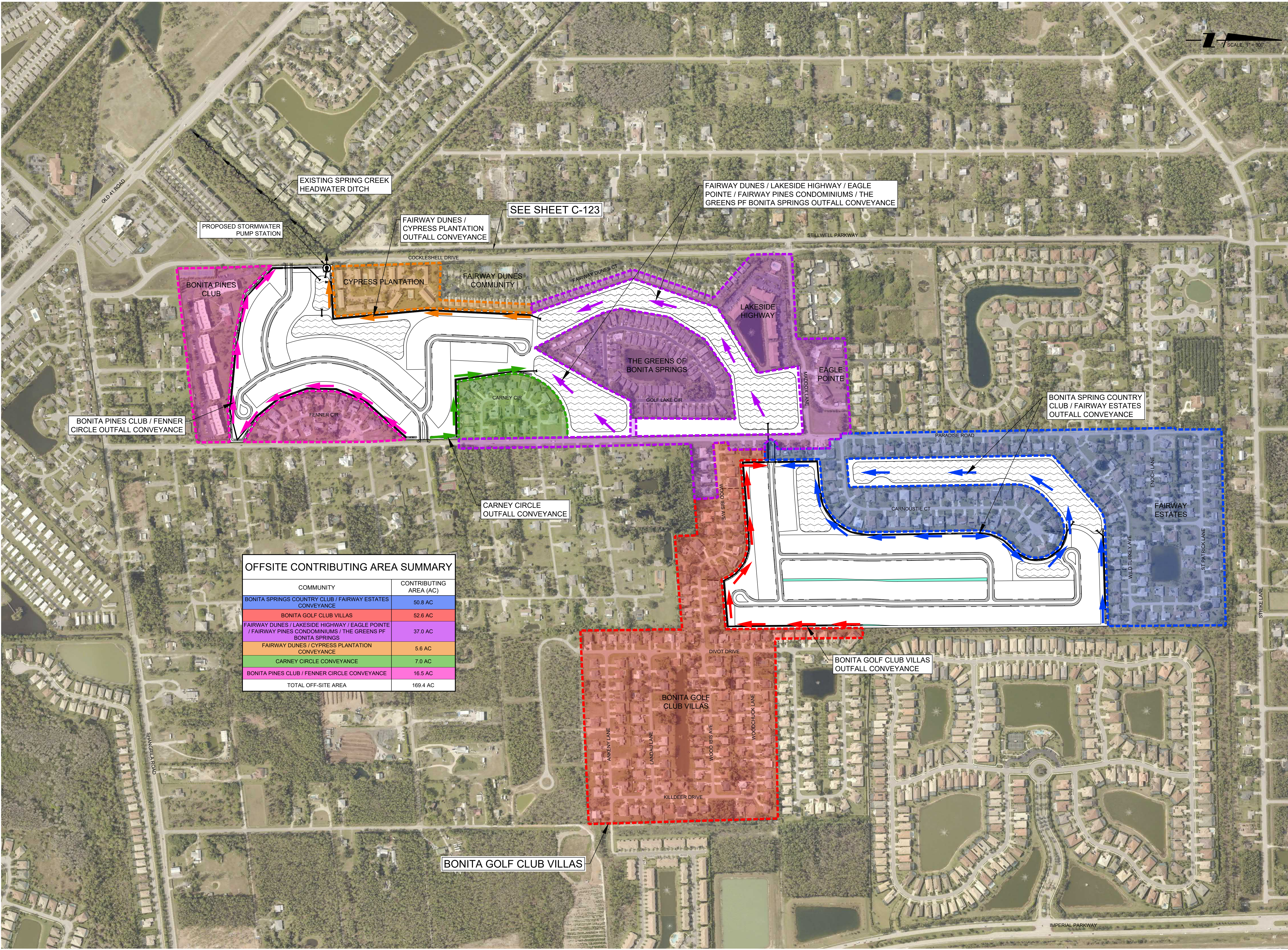
Vertical Scale: N.T.S.

Project Number: P-BSGC-001-002

File Number: P-BSGC-001-002-X07

C-X07

Sheet Number: 01 of 01



OFFSITE CONTRIBUTING AREA SUMMARY

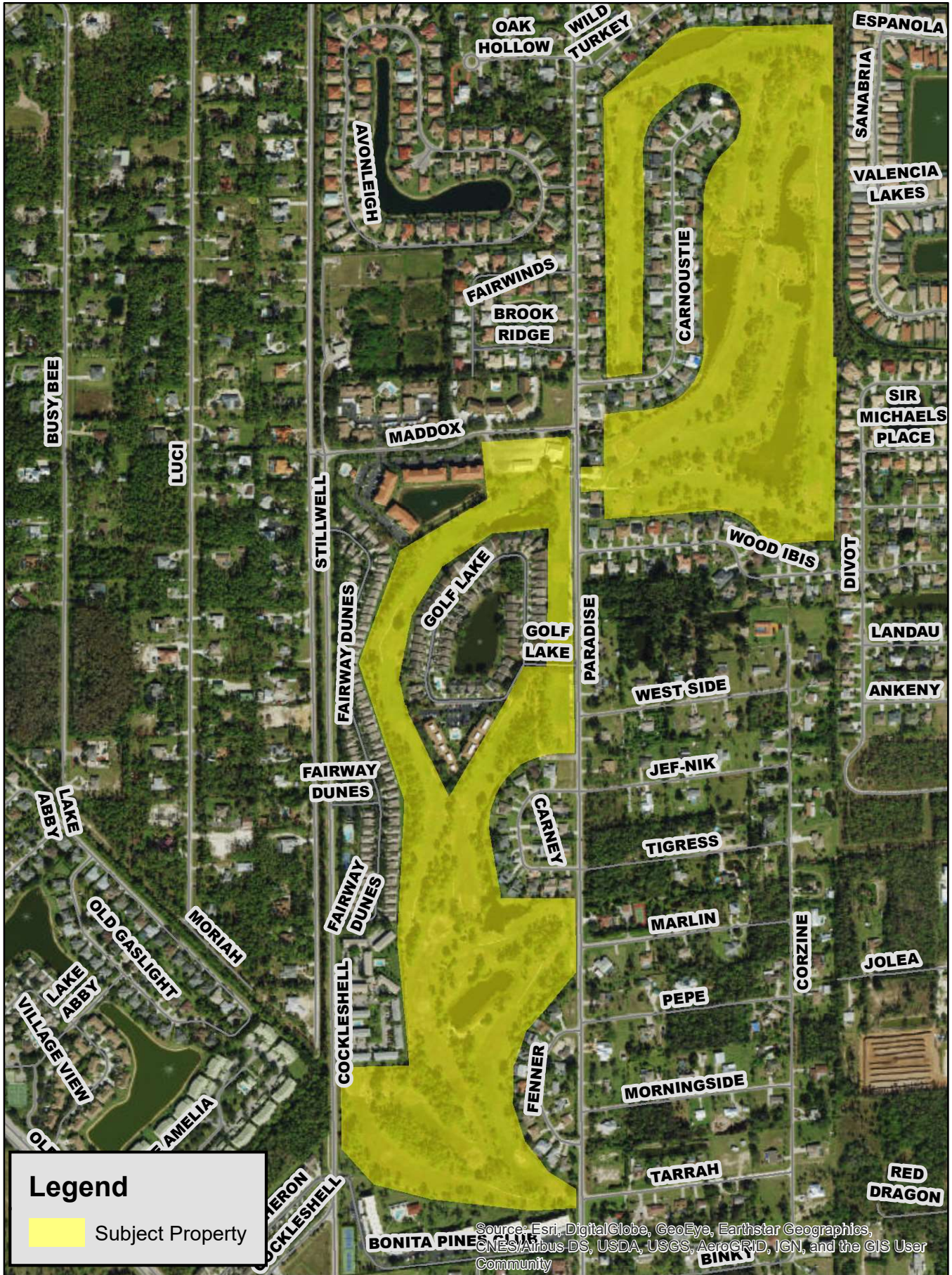
COMMUNITY	CONTRIBUTING AREA (AC)
BONITA SPRINGS COUNTRY CLUB / FAIRWAY ESTATES CONVEYANCE	50.8 AC
BONITA GOLF CLUB VILLAS	52.6 AC
FAIRWAY DUNES / LAKESIDE HIGHWAY / EAGLE POINT / FAIRWAY PINES CONDOMINIUMS / THE GREENS PF BONITA SPRINGS	37.0 AC
FAIRWAY DUNES / CYPRESS PLANTATION CONVEYANCE	5.6 AC
CARNEY CIRCLE CONVEYANCE	7.0 AC
BONITA PINES CLUB / FENNER CIRCLE CONVEYANCE	16.5 AC
TOTAL OFF-SITE AREA	169.4 AC

C:\Users\jwatts\OneDrive\Documents\Projects\2021\2021-02-23\10-BSGC-001-002-X07.dwg (Printed by: jwatts) 2/23/21 10:35:18 AM

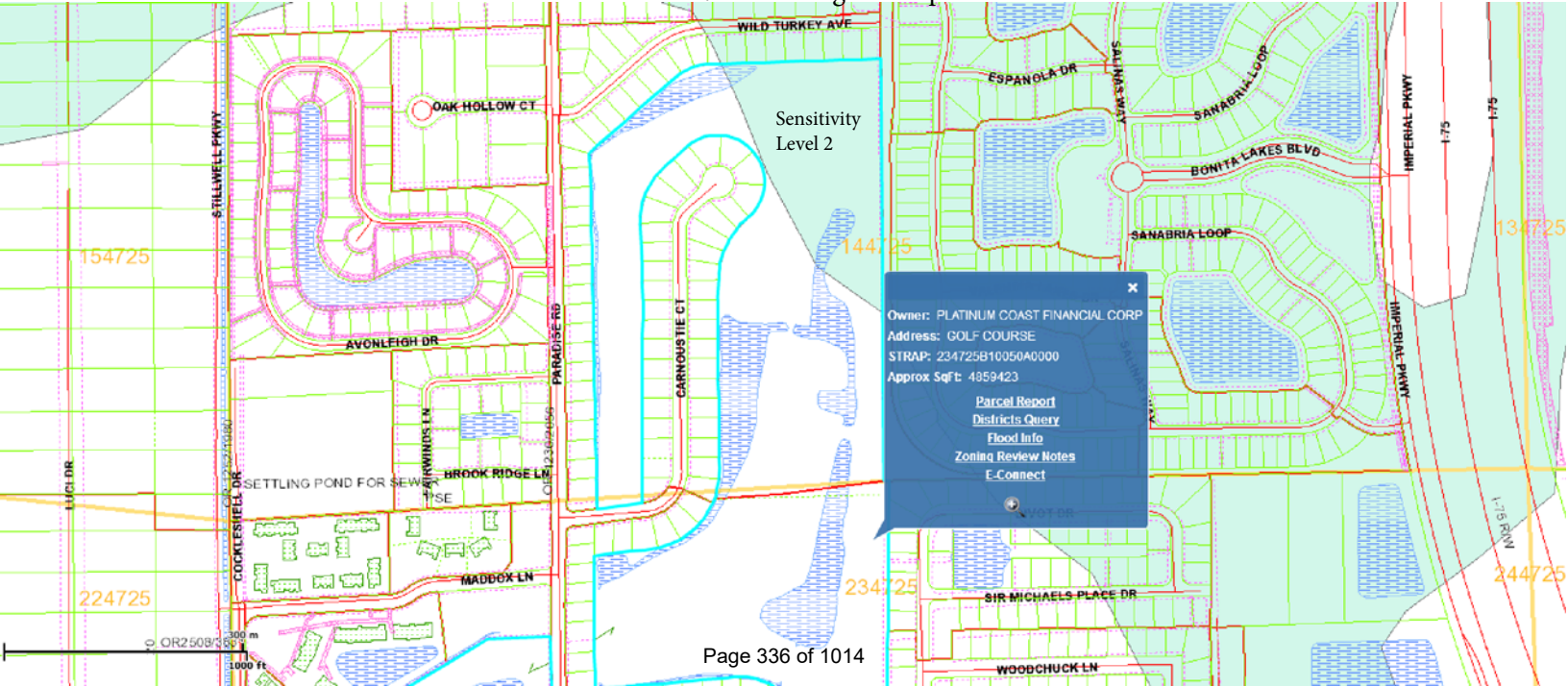


EXHIBIT C: RPD MASTER CONCEPT PLAN

Bonita Springs Golf Course RPD Exhibit IV-N Aerial



Bonita Springs Golf Course RPD
Exhibit IV-O
Historic/Archaeological Map



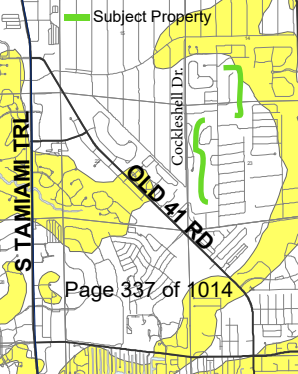
— Subject Property

S TAMIAHI TRL

Cockleshell Dr.


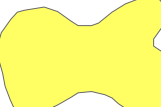

OLD 41 RD

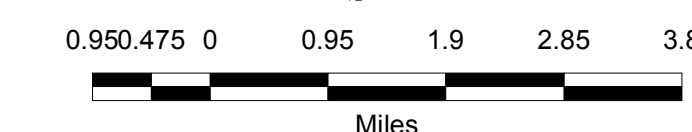
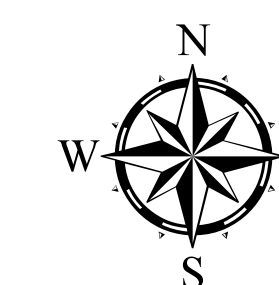
Page 337 of 1014



Lee County Archaeological Sensitivity Map

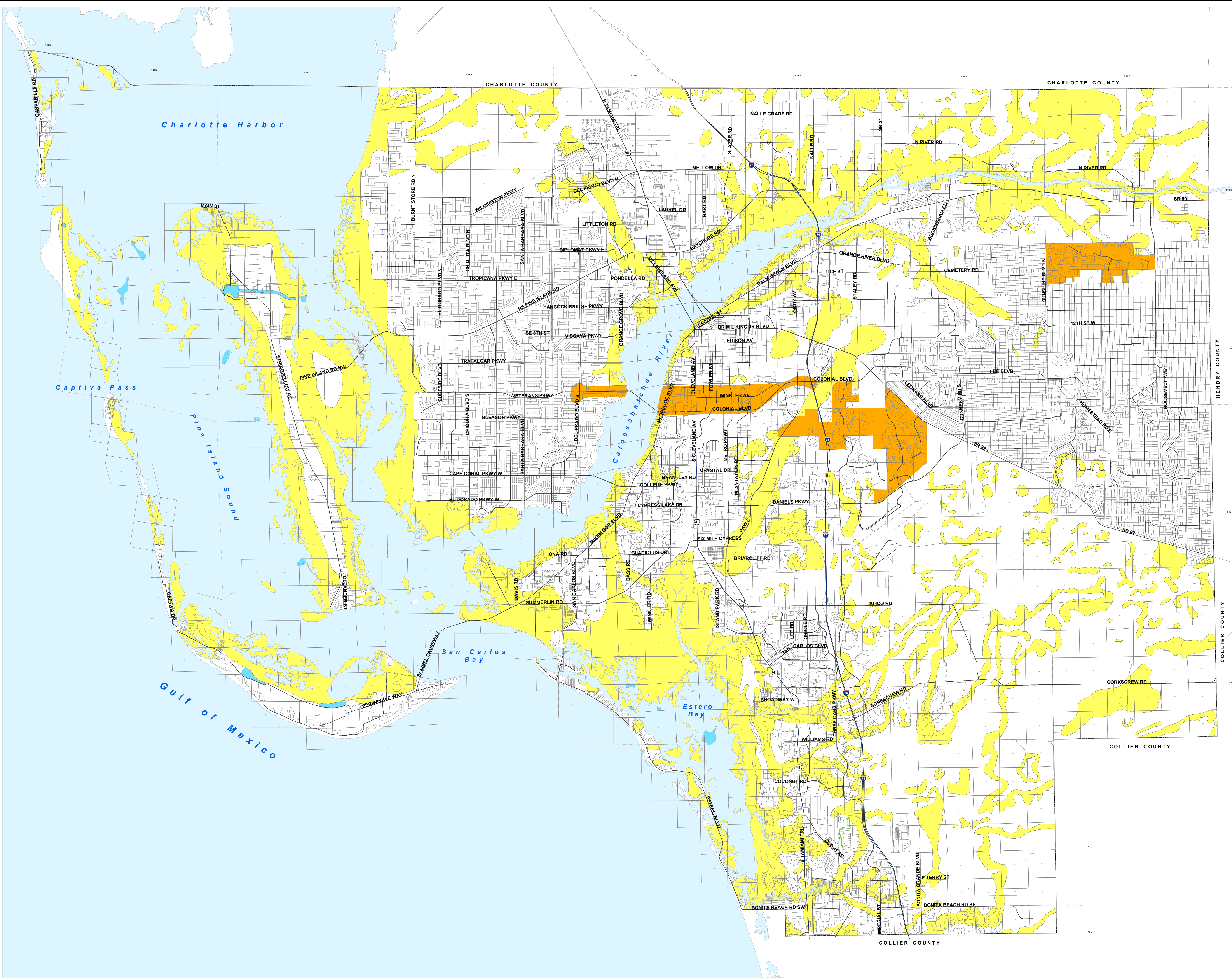
Legend

-  Sensitivity Level 1
-  Sensitivity Level 2
-  Previously Surveyed



Map Generated: December 2014

Adopted December 21, 1988
Land Development Code Chapter 22-106



Bonita Springs Golf Course RPD Rezone

Neighborhood Meeting Documents September 10, 2020

AFFIDAVIT OF COMPLIANCE

Bonita Springs Golf and Country Club Residential Planned Development (RPD)

I hereby certify that pursuant to Ordinance No. 18-15, of the Bonita Springs Land Development Code, I did cause the attached newspaper advertisement to appear and I did give notice by mail to the property owners and/or condominium, home owner and civic associations within 1,000 feet from the subject property whose members may be affected by the proposed land use changes of an application request for a rezoning, PD amendment, variance or special exception, at least 21 days prior to the scheduled Neighborhood Information Meeting. *For the purposes of this requirement, the names and addresses of property owners shall be deemed those appearing on the latest tax rolls of Lee County.* The said notice contained the laymen's description of the site property of proposed change and the date, time, and place of a Neighborhood Information Meeting.

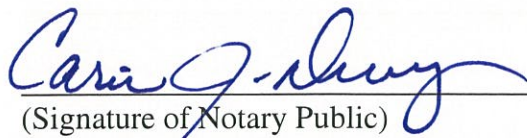
Per the attached letter, property owner's list, and copy of newspaper advertisement which are hereby made a part of this Affidavit of Compliance.



(Sharon Umpenhour as Senior Planning Technician for Q. Grady Minor & Associates, P.A.)

State of Florida
County of Lee

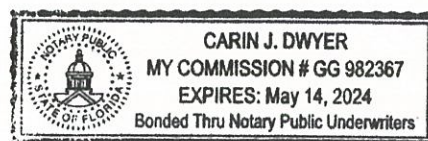
The foregoing Affidavit of compliance was acknowledged before me this 19th day of August, 2020 by Sharon Umpenhour as Senior Planning Technician for Q. Grady Minor & Associates, P.A., who is personally known to me or who has produced _____ as identification.



(Signature of Notary Public)

Carin J. Dwyer
Printed Name of Notary

(Notary Seal)



Attn:
Q. GRADY MINOR & ASSOCIATES, P
3800 VIA DEL REY
BONITA SPRINGS, FL 34134

NOTICE OF PUBLIC NEIGHBORHOOD MEETING

A neighborhood information meeting pursuant to Section 4-28, Bonita Springs Land Development Code will be held September 10, 2020, 5:30 p.m. at Bonita Springs Fire Department, 27701 Bonita Grande Drive, Bonita Springs, FL 34135. Individuals who would like to participate remotely, should contact Sharon Umphenour by phone: 239-947-1144 or email: sumpenhour@gradyminor.com. Project information is posted online at www.gradyminor.com/planning. The neighborhood information meeting will provide general information regarding a proposed Residential Planned Development (RPD) rezone application, which seeks to rezone golf course and vacant property located in a development commonly known as Bonita Springs Golf and Country Club (STRAP Number 23-47-25-B1-0050A.0000). This application proposes to rezone the property from RM-2 (multi-family) and RS-1 (single family), to permit a variety of residential dwelling units to be constructed on the 113± acre property. The subject property (STRAP Number 23-47-25-B1-0050A.0000) is located on the east side of Cockleshell Drive, south of Maddox Lane and east of Paradise Road, south of Wild Turkey Avenue in Section 23, Township 47 South, Range 25 East, Bonita Springs, Florida. If you have questions or comments, please contact Sharon Umphenour at Q. Grady Minor and Associates, P.A., 3800 Via Del Rey, Bonita Springs, Florida 34134, email: sumpenhour@gradyminor.com, phone: 239-947-1144, fax: 239-947-0375. The Neighborhood Information Meeting is for informational purposes only, it is not a public hearing.
AD# 4324199 August 17, 2020

RECEIVED
AUG 21 2020
Q. Grady Minor
& Associates, P.A.

STATE OF FLORIDA COUNTY OF LEE:
Before the undersigned authority personally appeared Nicholas Penstrom, who on oath says that he or she is a Legal Assistant of the News-Press, a daily newspaper published at Fort Myers in Lee County, Florida; that the attached copy of advertisement, being a Legal Ad in the matter of

Notice of Meetings

In the Twentieth Judicial Circuit Court was published in said newspaper in the issues of:

08/17/2020

Affiant further says that the said News-Press is a paper of general circulation daily in Lee County and published at Fort Myers, in said Lee County, Florida, and that the said newspaper has heretofore been continuously published in said Lee County, Florida each day and has been entered as periodicals matter at the post office in Fort Myers, in said Lee County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he or she has never paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Sworn to and Subscribed before me this 17th of August 2020, by legal clerk who is personally known to me.

[Signature]
Affiant

[Signature]
Notary State of Wisconsin, County of Brown
05-18-23

My commission expires

NANCY HEYRMAN
Notary Public
State of Wisconsin

of Affidavits 1

This is not an invoice

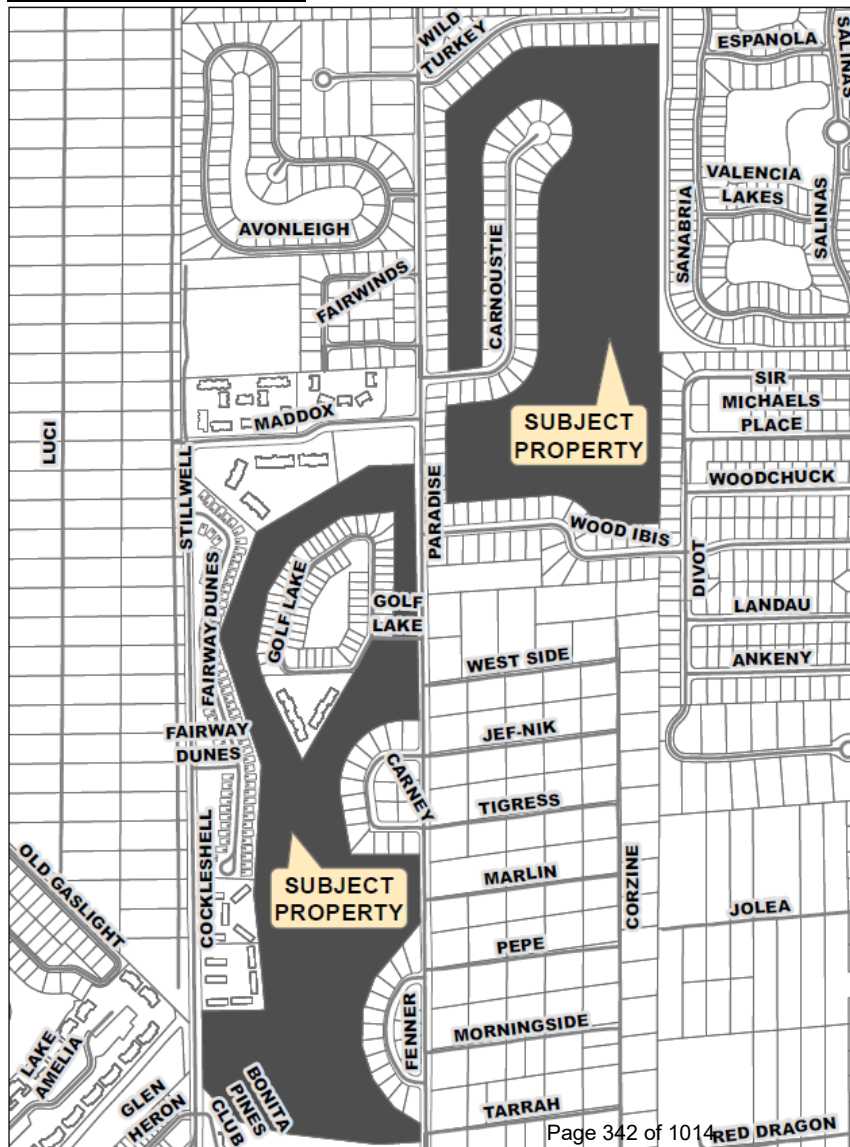
NEIGHBORHOOD INFORMATION MEETING

A neighborhood information meeting pursuant to Section 4-28, Bonita Springs Land Development Code will be held September 10, 2020, 5:30 p.m. at Bonita Springs Fire Department, 27701 Bonita Grande Drive, Bonita Springs, FL 34135. Individuals who would like to participate remotely, should contact Sharon Umpenhour by phone: 239-947-1144 or email: sumpenhour@gradyminor.com. Project information is posted online at www.gradyminor.com/planning.

The neighborhood information meeting will provide general information regarding a proposed Residential Planned Development (RPD) rezone application, which seeks to rezone golf course and vacant property located in a development commonly known as Bonita Springs Golf and Country Club (Strap Number 23-47-25-B1-0050A.0000). This application proposes to rezone the property from RM-2 (multi-family) and RS-1 (single family), to permit a variety of residential dwelling units to be constructed on the 113± acre property. The subject property (STRAP Number 23-47-25-B1-0050A.0000) is located on the east side of Cockleshell Drive, south of Maddox Lane and east of Paradise Road, south of Wild Turkey Avenue in Section 23, Township 47 South, Range 25 East, Bonita Springs, Florida.

If you have questions or comments, please contact Sharon Umpenhour at Q. Grady Minor and Associates, P.A., 3800 Via Del Rey, Bonita Springs, Florida 34134, email: sumpenhour@gradyminor.com, phone: 239-947-1144, fax: 239-947-0375. The Neighborhood Information Meeting is for informational purposes only, it is not a public hearing.

PROJECT LOCATION MAP



Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

OWNER NAME	ADDRESS1	ADDRESS2	CITY	STATE	COUNTRY	ZIP
ABBASI MUHAMMAD J & TRACY L	23244 SANABRIA LOOP		BONITA SPRINGS	FL		34135
ABBOTT JAMES W + PATRICIA R	2009 SCHNEIDER ST NE		CANTON	OH		44721
ABELL MICHAEL RADFORD &	23232 SANABRIA LOOP		BONITA SPRINGS	FL		34135
ABELLO ARTURO R + AURA L	9760 GLEN HERON DR		BONITA SPRINGS	FL		34135
ADAMS DENNIS F + PIEDAD C	PO BOX 368136		BONITA SPRINGS	FL		34135
ADAMS DENNIS L	120 KYNLYN RD		RADNOR	PA		19087
ADAMS LOGAN + BERNICE	2224 LOVELL CT		LEXINGTON	KY		40513
AIBEL JOHN E + SUSAN A	455 COVE TOWER DR UNIT 602		NAPLES	FL		34110
AITA MARTIN + KIM	10134 AVONLEIGH DR		BONITA SPRINGS	FL		34135
ALEXANDER CLIFFORD B JR &	10114 AVONLEIGH DR		BONITA SPRINGS	FL		34135
ALINE JOSEPH R + ANGELA J	25683 OLD GASLIGHT DR		BONITA SPRINGS	FL		34135
ALLEGRA JAMES F +	25767 LAKE AMELIA WAY #202		BONITA SPRINGS	FL		34135
ALLEN BARBARA C	10305 SAINT PATRICKS LN		BONITA SPRINGS	FL		34135
ALONZO LUIS + JEANETTE M	25631 OLD GASLIGHT DR		BONITA SPRINGS	FL		34135
ALOSI BRIAN TR	PO BOX 6219		PLYMOUTH	MA		02362
AMOROSO JOHN ROBERT &	23224 SANABRIA LOOP		BONITA SPRINGS	FL		34135
ANDERSON DAVID C & VICKI	23145 SANABRIA LOOP		BONITA SPRINGS	FL		34135
ANDERSON ELAINE TR	1792 95TH ST		NEW RICHMOND	WI		54017
ANDERSON KAREN TR +	3622 TARTAN CIR		PORTAGE	MI		49024
ANGIUS JOSEPH +	25540 FENNER CIR		BONITA SPRINGS	FL		34135
ANUSBIGIAN MANOUG &	10268 AVONLEIGH DR		BONITA SPRINGS	FL		34135
APPLEGATE DONALD A + KATY	10600 LANDAU LN		BONITA SPRINGS	FL		34135
ARBOGAST JOSHUA S &	9792 GLEN HERON DR		BONITA SPRINGS	FL		34135
ARGOTI CARLOS F + EDNA M	9759 GLEN HERON DR		BONITA SPRINGS	FL		34135
ARPS MARSHA J	25540 FAIRWAY DUNES CT		BONITA SPRINGS	FL		34135
ARRIGO MARK C & GABRIELLE R	25440 CARNEY CIR		BONITA SPRINGS	FL		34135
ARSENAULT MICHAEL J +	10030 MADDOK LANE # 104		BONITA SPRINGS	FL		34135
ASMODEO JOHN + MARCY	25567 LUCI DR		BONITA SPRINGS	FL		34135
ASPINWALL TRUST	25235 GOLF LAKE CIR		BONITA SPRINGS	FL		34135
AU LEO YUIN + MAY SHEUNG	10544 ESPANOLA DR		BONITA SPRINGS	FL		34135
AUGUSTINE DAVID B + DIANE	25140 DIVOT DR		BONITA SPRINGS	FL		34135
AUSTIN ROBERT LEROY &	25199 GOLF LAKE CIR		BONITA SPRINGS	FL		34135
AVRAMIDIS KAREN	4051 GULF SHORE BLVD N #1101		NAPLES	FL		34103
AZUA ALEX & ROCIO	PO BOX 356		BONITA SPRINGS	FL		34133
BADE ERNEST E & ROSE V TR	23216 SANABRIA LOOP		BONITA SPRINGS	FL		34135
BAGWELL THOMAS & TAMMY	10066 HIDDEN PINES LN		BONITA SPRINGS	FL		34135
BAHENA MIGUEL & ROSA M	1812 SE 1ST TER		CAPE CORAL	FL		33990
BAJRAKTAREVIC SENAD	2130 W 9TH ST		BROOKLYN	NY		11223
BAKANOWSKI PETER F +	10251 MADDOX LN APT 413		BONITA SPRINGS	FL		34135
BAKER JEFFREY A TR	9360 OLD BONHOMME RD		OLIVETTE	MO		63132
BAKER PAMELA	25488 CARNEY CIR		BONITA SPRINGS	FL		34135
BALOG ANDREW	460 MCDOWELL RD		LIGONIER	PA		15658
BAMBULE JOHN J + BARBARA A	10312 ST PATRICK LN		BONITA SPRINGS	FL		34135
BANERJEE MAITRI TR	23261 SALINAS WAY		BONITA SPRINGS	FL		34135
BANKS BYRON B &	25370 FAIRWAY DUNES CT		BONITA SPRINGS	FL		34135
BARANSKI JILLIAN +	25490 COCKLESHELL DR #601		BONITA SPRINGS	FL		34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

BARATY DAMIAN	10650 WOODCHUCK LN	BONITA SPRINGS	FL	34135
BARBER WILLIAM C + ELIZABETH D	119 THORN HOLLOW RD	CHESHIRE	CT	06410
BARBERA DONALD + CYNTHIA	25420 STILLWELL PKWY	BONITA SPRINGS	FL	34135
BARILLAS YVONNE ELIZABETH	10564 ESPANOLA DR	BONITA SPRINGS	FL	34135
BARNARD KAREN S	5500 LARRY AVE	VIRGINIA BEACH	VA	23462
BARNES CHRISTOPHER	12000 NW OLD WAGON RD	CARLTON	OR	97111
BARNHART BRETT A & SHELLY A	10610 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
BARONE ROBERT P & MARY E	23269 SALINAS WAY	BONITA SPRINGS	FL	34135
BARRACO JAMES J & LAURIE	10085 HIDDEN PINES LN	BONITA SPRINGS	FL	34135
BARRETT TARA ELISE	25806 COCKLESHELL DR # 217	BONITA SPRINGS	FL	34135
BARRETTE RICHARD G &	23168 SANABRIA LOOP	BONITA SPRINGS	FL	34135
BARRY RAYMOND M + MARGRET TR	1201 HADLEY AVE N APT 215	OAKDALE	MN	55128
BARTELS GLORIA	10456 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
BARTH TRACY A	10301 ST PATRICK LN	BONITA SPRINGS	FL	34135
BARTLEY ROBERT H + ANTOINETTE	25391 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
BARTLEY WILLIAM T SR &	812 RIVER LANE	ANOKA	MN	55303
BARTLEY WILLIAM TSR + DIANNE E	812 RIVER LN	ANOKA	MN	55303
BARTON AMANDA MARLENE	10420 STRIKE LN	BONITA SPRINGS	FL	34135
BARTON DAVID S	10256 ST PATRICK LN	BONITA SPRINGS	FL	34135
BAUTISTA MARIA JULIA LUJAN +	25045 PARADISE RD	BONITA SPRINGS	FL	34135
BAXTER FRANCIS A + CYNTHIA	454 SPRING ST	MARSHFIELD	MA	02050
BAXTER JULIA C	2961 MARALICE DR	CARMEL	IN	46033
BECKER THOMAS TR	4767 MALLARD CREEK DR	MASON	OH	45040
BEECH CORNERS LTD	650 KELTONHURST DR	PATASKALA	OH	43062
BESLEY MELISSA ANN	24880 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
BEHWKH NOMINEE TRUST	5 RIDGEWOOD LANE	MARION	MA	02738
BELL BOBBY R + BARBARA C	25762 LAKE AMELIA WAY #204	BONITA SPRINGS	FL	34135
BELL BRIAN A + LAURENCE	24930 DIVOT DR	BONITA SPRINGS	FL	34135
BELLAMY ROBERT WAYNE &	25623 JARROW RD	BONITA SPRINGS	FL	34135
BELLANTONI FRED & LUCY	25067 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
BELLIN CONNIE L	10620 WOOD IBIS AV	BONITA SPRINGS	FL	34135
BENGTSON JAMES D & ARDELL M L/	3798 CROSSRIDGE WAY	ROSEMOUNT	MN	55068
BENIGNO ANTHONY M + JAMIE L	10660 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
BENNETT NICHOLAS J + AMY M	24900 FAIRWINDS LN	BONITA SPRINGS	FL	34135
BENOIT DONNA H L/E	25398 GOLF LAKE CIR #203	BONITA SPRINGS	FL	34135
BENOLKIN MATTHEW J + ANNE E	25131 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
BERDNIKOV NATALAYA L	7600 N RANGE LINE RD	MILWAUKEE	WI	53209
BERFANGER JARRETT A &	24670 PARADISE RD	BONITA SPRINGS	FL	34135
BERFANGER RON +	PO BOX 771390	NAPLES	FL	34117
BERMUDA PARK CONDO ASSN INC	27800 OLD 41 RD	BONITA SPRINGS	FL	34135
BERRY LAWRENCE TR	25761 LAKE AMELIA WAY UNIT 104	BONITA SPRINGS	FL	34135
BETTS TANNER +	25531 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
BEVAN JOHN F +	93 1ST ST	BONITA SPRINGS	FL	34134
BFH PROPERTY HOLDINGS	28 HARTFORD AVE	MADISON	CT	06443
BILBREY RICHARD + SHERILYNN	10259 SANDY HOLLOW LN	BONITA SPRINGS	FL	34135
BIRMAN GERALDINE M TR	23227 SANABRIA LOOP	BONITA SPRINGS	FL	34135
BIROU LAURA MARIE	8951 BONITA BEACH RD, SUITE 525-303	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

BLACKMAN TERRY L &	25050 DIVOT DR		BONITA SPRINGS	FL	34135
BLACKWELL BRENT D +	10382 WILD TURKEY AVE		BONITA SPRINGS	FL	34135
BLAKE JEFFREY A + BETH	10348 ST PATRICK LN		BONITA SPRINGS	FL	34135
BLANCO ELIEL	10591 LANDAU LN		BONITA SPRINGS	FL	34135
BLANCO JUVENAL + SYNTHIA D	23180 SANABRIA LOOP		BONITA SPRINGS	FL	34135
BLANKENSHIP ROGER D + DONNA M	25195 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
BLIXT RANDALL TR	25802 COCKLESHELL DR # 318		BONITA SPRINGS	FL	34135
BLOKSMA HENDRIK + ELFRIEDE	2529 DAY LILY PL		NAPLES	FL	34105
BOCKHOLT BRIAN JUMIN &	27671 ARROYAL RD #102		BONITA SPRINGS	FL	34135
BOFF DAVID LOUIS + CRYSTAL L	23164 SANABRIA LOOP		BONITA SPRINGS	FL	34135
BOKAR BRENNIA LYNN	25496 COCKLESHELL DR # 305		BONITA SPRINGS	FL	34135
BOLT JERRY R + JOYCE D	10398 WILD TURKEY AVE		BONITA SPRINGS	FL	34135
BOND ROBERT DENNIS	25483 LUCI DR		BONITA SPRINGS	FL	34135
BONDI CYNTHIA A	25500 COCKLESHELL DR #501		BONITA SPRINGS	FL	34135
BONITA LAKES HOMEOWNERS	24201 WALDEN CENTER DR STE 204		BONITA SPRINGS	FL	34134
BONITA LAKES HOMEOWNERS	TOLL BROS INC	24201 WALDEN CENTER DR STE 204	BONITA SPRINGS	FL	34134
BONITA LAKES HOMEOWNERS ASSN I	3365 WOODS EDGE CIR STE 102		BONITA SPRINGS	FL	34134
BONITA PINES CLUB CONDO ASSOC	25802 COCKLESHELL DR		BONITA SPRINGS	FL	34135
BONITA SPRINGS UTILITIES INC	11900 E TERRY ST		BONITA SPRINGS	FL	34135
BOROWSKI JOHN III & ERENIA	10325 ST PATRICK LN		BONITA SPRINGS	FL	34135
BOSCH VIVIAN	5801 SHIRLEY ST		NAPLES	FL	34109
BOSWELL EILEEN	24651 PARADISE RD		BONITA SPRINGS	FL	34135
BOTHWELL JAMES W JR + KAREN M	25120 DIVOT DR		BONITA SPRINGS	FL	34135
BOTT BEVERLY J	24945 CARNOUSHE CT		BONITA SPRINGS	FL	34135
BOWDISH ELLIE JANE	23207 SANABRIA LOOP		BONITA SPRINGS	FL	34135
BOWEN LYNETTE + GARY	24801 PARADISE RD		BONITA SPRINGS	FL	34135
BOWEN MARK J & THERESA A	25732 CORZINE RD		BONITA SPRINGS	FL	34135
BOWLING MARCIA C TR	144 RIDGEVIEW DR		WYOMING	OH	45215
BOYD JEAN C TR	24981 FAIRWINDS LN		BONITA SPRINGS	FL	34135
BOYD MILDRED S +	23340 SANABRIA LOOP		BONITA SPRINGS	FL	34135
BRADFORD MICHAEL L	24709 AMARILLO ST		BONITA SPRINGS	FL	34135
BRADLEY ROBERT + ELAINE TR	622 GOLFERS LN		BARTLETT	IL	60103
BRANDT CHRISTINE L	24680 PARADISE RD		BONITA SPRINGS	FL	34135
BRANDT CHRISTINE L +	25500 COCKLESHELL DR #506		BONITA SPRINGS	FL	34135
BRECKENFELDER BRUCE E &	24925 FAIRWINDS LN		BONITA SPRINGS	FL	34135
BREDAR PATRICK J & TAMARA L	23136 SANABRIA LOOP		BONITA SPRINGS	FL	34135
BREEN JEFFRY K & BEVERLY	25491 FAIRWAY DUNES CT		BONITA SPRINGS	FL	34135
BRENNAN CRAIG R + CATHIE A	25090 DIVOT DR		BONITA SPRINGS	FL	34135
BRESSLER RALPH + CHRISTINE	24932 FAIRWINDS LN		BONITA SPRINGS	FL	34135
BRICKLEY LISA L +	10252 ENOCH LN		BONITA SPRINGS	FL	34135
BRILLATI PAUL L + DEBORAH J	54358 AURORA PARK		SHELBY TOWNSHIP	MI	48316
BRODBECK NANCY E	10101 MADDOX LN, #103		BONITA SPRINGS	FL	34135
BROOKS RUTH	10400 MARLIN LN		BONITA SPRINGS	FL	34135
BROWN AMY	10221 MADDOX LN #121		BONITA SPRINGS	FL	34135
BROWN BEVERLY K TR	24972 FAIRWINDS LN		BONITA SPRINGS	FL	34135
BROWN DAVID EDWARD +	10103 AVONLEIGH DR		BONITA SPRINGS	FL	34135
BROWN DOROTHY M	25157 GOLF LAKE CR		BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

BROWN ERIC + YESENIA	10390 STRIKE LN	BONITA SPRINGS	FL	34135
BROWN KAREN S	9728 GLEN HERON DR	BONITA SPRINGS	FL	34135
BROWN MARTIN D+ SHARON	25710 LAKE AMELIA WAY # 202	BONITA SPRINGS	FL	34135
BROWN PRESTON R + DANA F	25692 STILLWELL PKWY	BONITA SPRINGS	FL	34135
BROWN ROGER & SUSAN	23216 SALINAS WAY	BONITA SPRINGS	FL	34135
BROWN ROGER + SUSAN	23216 SALINAS WAY	BONITA SPRINGS	FL	34135
BROWN ROY S	10528 VALENCIA LAKES DR	BONITA SPRINGS	FL	34135
BROWN SAMUEL + FRANCES	3623 BUCHANAN TRAIL W	GREENCASTLE	PA	17225
BROWNING RICHARD L + TINA L	24971 DIVOT DR	BONITA SPRINGS	FL	34135
BROWNLIE DAVID A + JANET K +	506 VERDE MEADOW DR	FRANKLIN	TN	37067
BRUCE A WITTERT TRUST +	10535 ESPANOLA DR	BONITA SPRINGS	FL	34135
BRYSKIEWICZ CHERYL A	25727 LAKE AMELIA WAY #102	BONITA SPRINGS	FL	34135
BUBIN TERESA + DOUGLAS	10401 TIGRESS LN	BONITA SPRINGS	FL	34135
BUCHANAN FRANKLIN T JR	25548 FENNER CIR	BONITA SPRINGS	FL	34135
BUCK THOMAS I + JANICE	219 E COLLEGE ST	KEWANEE	IL	61443
BUDNICK CYNTHIA H	25480 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
BUKOWSKI DAVID	25357 LUCI DR	BONITA SPRINGS	FL	34135
BUNTING DOUGLAS P + PAMELA H	24999 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
BURDIS MARK A +	25240 DIVOT DR	BONITA SPRINGS	FL	34135
BURENKO MICHAEL P + MARIA A	6702 RICHARDSON RD	FAIRVIEW	PA	16415
BURHANCE JAMES L	10241 MADDOX LN #312	BONITA SPRINGS	FL	34135
BURKARD MICHAEL A + BARBARA A	10280 ST PATRICK LN	BONITA SPRINGS	FL	34135
BURKE DAVID M + MARGARET A	PO BOX 2007	EDGARTOWN	MA	02539
BURLEY KEITH CAMERON	23184 SANABRIA LOOP	BONITA SPRINGS	FL	34135
BUSDICKER VIRGINIA L TR	4051 MARSHALL AVE	SANDUSKY	OH	44870
BUSH BERNARD + BARBARA A	25231 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
BUTLER DAVID G + PATRICIA A	2844 FAIRFIELD AVE	KALAMAZOO	MI	49048
BUTLER JEFFREY S + EVELYNE	10266 ENOCH LN	BONITA SPRINGS	FL	34135
BUZZELL AMY	24971 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
BYRER WILLIAM H + CATHY L	25543 FENNER CIR	BONITA SPRINGS	FL	34135
BYTWORK ALVIN J & YVONNE E	25808 COCKLESHELL DR #114	BONITA SPRINGS	FL	34135
CABREJA CHRISTINE MARIA	23208 SANABRIA LOOP	BONITA SPRINGS	FL	34135
CAFMEYER DOLORES C TR	25804 COCKLESHELL DR APT B111	BONITA SPRINGS	FL	34135
CALCATERRA RAYMOND & CAROLE TR	13752 CARLISLE DR	STERLING HEIGHTS	MI	48312
CALCATERRA RAYMOND J + MARIA A	46188 WINSTON DR	SHELBY TOWNSHIP	MI	48315
CALCATERRA RAYMOND TR	13752 CARLISLE DR	STERLING HEIGHTS	MI	48312
CAMBRA TRAVERS F + NOREEN S	10170 BROOK RIDGE LN	BONITA SPRINGS	FL	34135
CAMP PATRICK R & SHERYL A	25160 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
CAMPA JOSEPH P + MARTHA S	2301 SADDLE BROOK LN	CORTLAND	OH	44410
CAMPANILE NICHOLAS +	23320 SANABRIA LOOP	BONITA SPRINGS	FL	34135
CAMPAU JOYCE A L/E	25561 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
CAMPBELL RICK C + VICKIE A	10301 JEF NIK LN	BONITA SPRINGS	FL	34135
CANONICO FRANK ANTHONY JR &	48 STERLING AVE	HARRISON	NY	10528
CAPOCCIA ADELE CATHERINE +	23268 SANABRIA LOOP	BONITA SPRINGS	FL	34135
CARDIN WILLIAM D + LILIAN M	10251 AVONLEIGH DR	BONITA SPRINGS	FL	34135
CARLANO LINDA R	25160 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
CARLSON CYNTHIA G	25735 LAKE AMELIA WAY #201	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

CARNEY HOMES INC +	2110 PONDELLA RD	CAPE CORAL	FL	33909
CARNEY LEE F JR + DEBORAH J	10151 OAK HOLLOW CT	BONITA SPRINGS	FL	34135
CARNEY-BUSH MARYGRACE KELLY &	714 ROXBURY CT	LAKE ORION	MI	48359
CAROLLO ANN MARIE	46 LAFAYETTE LANE	CHERRY HILL	NJ	08003
CARPENTER'S INVESTMENT COMPANY	5379 SINCLAIR RD	COLUMBUS	OH	43229
CARROLL KATHERINE M	9787 GLEN HERON DR	BONITA SPRINGS	FL	34135
CASAS MALCOW M & TANIA K	10287 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
CASEY GERALD F + DIANE E	6167 STATE ROUTE 79	CHENANGO FORKS	NY	13746
CASMIRRI CHRISTINE	10031 MADDOX LN #101	BONITA SPRINGS	FL	34135
CASMIRRI CHRISTINE	10031 MADDOX LN APT D101	BONITA SPRINGS	FL	34135
CATAMERO VINCENT &	23313 SANABRIA LOOP	BONITA SPRINGS	FL	34135
CATLIN NICOLE	25164 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
CATOE MATTHEW S	10641 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
CAVASENO JONTHAN P +	2430 VANDERBILT BEACH RD STE 103-381	NAPLES	FL	34109
CAVERLY KRISTOPHER L	PO BOX 743	LAKE CITY	MI	49651
CERNY RAYMOND J JR +	10610 LANDAU LN	BONITA SPRINGS	FL	34135
CHALASTRA JOSEPH S &	23144 SANABRIA LOOP	BONITA SPRINGS	FL	34135
CHAN RICHARD + DORENE	34 CAPITOL HEIGHTS RD	OYSTER BAY	NY	11771
CHEATHAM JOHN W	25361 PARADISE RD	BONITA SPRINGS	FL	34135
CHEN YI DI +	26038 REED CT	BONITA SPRINGS	FL	34135
CHERVONI PATRICK J &	10630 LANDAU LN	BONITA SPRINGS	FL	34135
CHILSON PAUL EDWARD &	10121 MADDOX LN #102	BONITA SPRINGS	FL	34135
CHITWOOD JEFFREY L &	10277 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
CHOW CHRISTOPHER NING-YUE &	23203 SANABRIA LOOP	BONITA SPRINGS	FL	34135
CHRISTIANSON KYLE J &	10641 SIR MICHAELS PLACE DR	BONITA SPRINGS	FL	34135
CICHINSKY LEON CASEY	7620 OMNI LANE APT 205	FORT MYERS	FL	33905
CIEPLY JOHN W JR & MARGARET	25855 JARROW RD	BONITA SPRINGS	FL	34135
CINELLI ROBERT J + ANITA M	25153 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
CINOTTI ROBERT W + LOUISE M	10456 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
CITY OF BONITA SPRINGS	9101 BONITA BEACH RD	BONITA SPRINGS	FL	34135
CLARK MICHAEL D + SALLY A	25566 STILLWELL PKWY	BONITA SPRINGS	FL	34135
CLEAR JAMES +	25560 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
CLIFTON ANITA B	25480 COCKLESHELL DR # 1006	BONITA SPRINGS	FL	34135
CLINE WILLIAM L & CAROLE A	10523 VALENCIA LAKES DR	BONITA SPRINGS	FL	34135
COCKRAM PATRICIA	25730 LAKE AMELIA WAY # 102	BONITA SPRINGS	FL	34135
COHEN BRUCE J & MARLE	25810 COCKLESHELL DR #214	BONITA SPRINGS	FL	34135
COHEN PHILIP + JAYNE J	10514 ESPANOLA DR	BONITA SPRINGS	FL	34135
COHN ALEC P	10350 BINKY LN	BONITA SPRINGS	FL	34135
COHN BRUCE RONALD &	211 SALTGRASS DR	GLEN BURNIE	MD	21060
COLASANTE WILLIAM A +	7723 SILVER LAKE CT	WESTERVILLE	OH	43082
COLE JULIE S	10350 TIGRESS LN	BONITA SPRINGS	FL	34135
COLEMAN DAVID	10338 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
COLVIN WILLIAM A & EMILY	25001 PARADISE RD	BONITA SPRINGS	FL	34135
COMERICA BANK + TRUST NA TR	INDUSTRY CONSULTING GROUP INC	PO BOX 8265	TX	76307
COMPRES NICOLE	25727 LAKE AMELIA WAY # 204	BONITA SPRINGS	FL	34135
CONDON ROBERT W & ELLEN A	25808 COCKLESHELL DR # 316	BONITA SPRINGS	FL	34135
CONNELL ROBIN A TR	5655 CREEKVIEW DR	ANN ARBOR	MI	48108

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

CONNER THOMAS M + DORCAS E	10440 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
CONRATH JOHN C & LIBBY TR	25630 STILLWELL PKWY	BONITA SPRINGS	FL	34135
CORNELL JOHN D + JUDITH L	10248 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
CORNING MICHAEL A &	212 PARSONS DR	SYRACUSE	NY	13219
COSTA NICOLA G &	23309 SANABRIA LOOP	BONITA SPRINGS	FL	34135
CRAFT CHANDLER	9700 GLEN HERON DR	BONITA SPRINGS	FL	34135
CRAM DIANE M	25243 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
CRAWFORD NEVIN B + JENNIFER L	10331 ST PATRICK LN	BONITA SPRINGS	FL	34135
CREAK MORRIS D	25280 DIVOT DR	BONITA SPRINGS	FL	34135
CREBS DONALD R + VIRGINIA M	10265 ST PATRICK LN	BONITA SPRINGS	FL	34135
CRICHTON THOMAS & VIRGINIA	10325 WISHINGSTONE CT	BONITA SPRINGS	FL	34135
CRITES OWEN C + CORAROSE L	2413 DUANE AVE NW	MASSILLON	OH	44647
CROSLY CLINTON N	25747 LAKE AMELIA WAY #105	BONITA SPRINGS	FL	34135
CROTEAU BRIAN & JULIEN	25121 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
CROWDER DALE	3029 TROPHY DR #303	NAPLES	FL	34110
CSENGER INGEBORG A TR	24990 DIVOT DR	BONITA SPRINGS	FL	34135
CUMMINS HEATHER M	10570 ANKENY LN	BONITA SPRINGS	FL	34135
CURRY DAVID +	10243 AVONLEIGH DR	BONITA SPRINGS	FL	34135
CURRY DAVID +	25331 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
CYPRESS PLANTATIONS CONDO ASSO	27180 BAY LANDING DR STE 4	BONITA SPRINGS	FL	34135
CYPRESS PLANTATIONS CONDO II	187 FOREST LAKES BLVD	NAPLES	FL	34105
DADKHAH BRIAN S +	10337 WINDLEY KEY TER	BONITA SPRINGS	FL	34135
DAFELDECKER ROBERT K &	24901 FAIRWINDS LN	BONITA SPRINGS	FL	34135
DAHLSTEDT ANDREW O &	25488 COCKLESHELL DR, #704	BONITA SPRINGS	FL	34135
DANG LOI	10560 STRIKE LN	BONITA SPRINGS	FL	34135
DANNY JEFF + MONICA	122 E CRESENT AVE	MAHWAH	NJ	07430
DANNY LUCY	223 CLINTON AVE	CLIFTON	NJ	07011
DAPRATO WENDY J	10630 SIR MICHAELS PLACE DR	BONITA SPRINGS	FL	34135
DASILVA DOMINGOS P +	24950 DIVOT DR	BONITA SPRINGS	FL	34135
DATTA AJAY S TR	10544 VALENCIA LAKES DR	BONITA SPRINGS	FL	34135
DAVIDSON SHAMBLLEN H + AMY L	10291 SANDY HOLLOW LN	BONITA SPRINGS	FL	34135
DAVIO JOSEPH A + CAROLE A	23273 SALINAS WAY	BONITA SPRINGS	FL	34135
DAVIS COLLENE TR	24924 FAIRWINDS LN	BONITA SPRINGS	FL	34135
DAVIS DENNIS SR TR	10101 MADDOX LN UNIT E201	BONITA SPRINGS	FL	34135
DAVIS PATRICK B + KIMBERLY A	10073 HIDDEN PINES LN	BONITA SPRINGS	FL	34135
DAVIS RICHARD B + GLORIA J	3305 ELDERBERRY LN	SPRINGFIELD	IL	62711
DAWSON NICOLENE E	10130 BROOK RIDGE LN	BONITA SPRINGS	FL	34135
DAY REGINA T TR	3311 TWILIGHT LN #4901	NAPLES	FL	34109
DE LA CHAPELLE ANDREW B +	24916 FAIRWINDS LN	BONITA SPRINGS	FL	34135
DEALY JOHN J + KATHLEEN D	13 GEORGIAN DR	CLARK	NJ	07066
DEANE MICHAEL J + KATHERINE A	PO BOX 367688	BONITA SPRINGS	FL	34136
DEFAZIO RALPH J + JEANNE M	25209 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
DEFORGE JEREMIAH +	24710 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
DEGRAW JAMES &	10067 HIDDEN PINES LN	BONITA SPRINGS	FL	34135
DELOREY DANIEL P &	25556 FENNER CIR	BONITA SPRINGS	FL	34135
DELSIGNORE JULIA A TR	188 PRESTON ALLEN RD	LISBON	CT	06351
DEMETRIADES GEORGE T + LARALEE	24777 CARNOUSTIE CT	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

DEMPSEY RICHARD E + DOREEN +	9425 SILVER OAK RD	LA PLATA	MD	20646
DERAMO ITALO + KATHLEEN S	635 WINTER ST	FRAMINGHAM	MA	01702
DERRICO THOMAS C + JUDY A	3 RIDGEWOOD AVE	RIVERSIDE	NJ	08075
DESCHANE THOMAS	25810 COCKLESHELL DR #215E	BONITA SPRINGS	FL	34135
DEVIESE TERESA K	10581 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
DEVITO MARIE A	9 LINCOLN ST	BLOOMFIELD	NJ	07003
DIAZ AURORA B TR	23224 SALINAS WAY	BONITA SPRINGS	FL	34135
DIAZ CARLOS JUAN + EVELYN	10261 ENOCH LN	BONITA SPRINGS	FL	34135
DIAZ ELSA +	25710 LAKE AMELIA WAY #101	BONITA SPRINGS	FL	34135
DIAZ NANCY	37 RICHARD DR E	MOUNT ARLINGTON	NJ	07856
DIELMO VICTOR D TR	23132 SANABRIA LOOP	BONITA SPRINGS	FL	34135
DIGIORGIO VINCENT R &	10385 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
DISCHER PATRICIA L TR	10170 OAK HOLLOW CT	BONITA SPRINGS	FL	34135
DOBRILLA ENRIQUE + JAVITA	23300 SANABRIA LOOP	BONITA SPRINGS	FL	34135
DOBRILLA ENRIQUE M + JAVITA	23300 SANABRIA LOOP	BONITA SPRINGS	FL	34135
DOBRILLA ENRIQUE MARTIN &	23300 SANABRIA LOOP	BONITA SPRINGS	FL	34135
DOLCE ANNE E	24979 PARADISE RD	BONITA SPRINGS	FL	34135
DOLLEY STEVEN A & JANINE R	10621 WOODCHUCK LN	BONITA SPRINGS	FL	34135
DONOGHUE DAVID + MAUREEN	10347 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
DORAN DONALD R & FRANCES C	25808 COCKLESHELL DR #214	BONITA SPRINGS	FL	34135
DORE SMITH DAVID &	10351 PEPE LN	BONITA SPRINGS	FL	34135
DORE-SMITH DAVID A +	10351 PEPE LN	BONITA SPRINGS	FL	34135
DORNETTO JOSEPH C SR &	24978 PARADISE RD	BONITA SPRINGS	FL	34135
DOUD RICHARD L & ROLANDA R	6672 WOODLEA DR	KALAMAZOO	MI	49048
DOUGHERTY TEGWYN WILLIAMS &	10078 HIDDEN PINES LN	BONITA SPRINGS	FL	34135
DOUGLAS WILLIAM K	25292 GALASHIELDS CIR	BONITA SPRINGS	FL	34134
DREIER TIMOTHY E + MARY +	485 7TH AVE N	NAPLES	FL	34102
DUESLER NICHOLAS E &	10581 LANDAU LN	BONITA SPRINGS	FL	34135
DUFFY TARA ANNE	188 LINCOLN AVE	WEST MILFORD	NJ	07480
DUNAWAY PAUL D SR	10351 WEST SIDE LN	BONITA SPRINGS	FL	34135
DUNN ROBERT ALLEN &	25741 LAKE AMELIA WAY # 204	BONITA SPRINGS	FL	34135
DUNNE CHRISTOPHER J	25856 PARADISE RD	BONITA SPRINGS	FL	34135
DUNSTAN LAWRENCE W + ANNE C	10480 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
DURHAM TIMOTHY C & DAWN J	10020 MADDOX LN, #113	BONITA SPRINGS	FL	34135
DZUMARYK DOREEN R	25730 LAKE AMELIA WAY #203	BONITA SPRINGS	FL	34135
EAGLE POINTE ASSOC INC	10200 MADDOX LN	BONITA SPRINGS	FL	34135
EARNEST GREGORY D +	10621 ANKENY LN	BONITA SPRINGS	FL	34135
ECHVERRY FABIOLA MISAS	2109 W TOBAGO CIR	FORT MYERS	FL	33905
EDDY EUGENE W + GERTRUDE M	24733 PARADISE RD	BONITA SPRINGS	FL	34135
EDDY NEAL R TR	4843 RT 219	GREAT VALLEY	NY	14741
EDER JULIA C +	13365 EUROPA CT N UNIT 2	HUGO	MN	55038
EDGINGTON PAUL N + ELLEN L	10340 SAINT PATRICKS LN	BONITA SPRINGS	FL	34135
EGELAND MICHAEL R + KARIN M TR	25398 GOLF LAKE CIR #108	BONITA SPRINGS	FL	34135
EGGER BEVERLY	25196 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
EHLE JOSEPH + WENDY	201 N WILLOW ST	LIVERPOOL	NY	13088
EINEICHNER MARY ANNE TR	12202 ANTHONY DR	SHELBY TWP	MI	48315
EKDAHL MIRABILE SANDRA	25187 GOLF LAKE CIR	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

ELAM JOSEPH TR	25311 PARADISE RD		BONITA SPRINGS	FL	34135
ELGERABLI YGAL +	10570 WOODCHUCK LN		BONITA SPRINGS	FL	34135
ELIBERO PHILIP & SHARON	11 DAVIS DR		LONDONDERRY	NH	03053
ELLEFSON BERNARD R &	10640 SIR MICHAELS PLACE DR		BONITA SPRINGS	FL	34135
ELLSWORTH DANIEL &	1776 SR 9		LAKE GEORGE	NY	12845
EMARD ERIK W	24849 PARADISE RD		BONITA SPRINGS	FL	34135
ENAMORADO JOSE DANIEL &	10532 VALENCIA LAKES DR		BONITA SPRINGS	FL	34135
ENGLAND PHILLIP &	25080 DIVOT DR		BONITA SPRINGS	FL	34135
ENTRUST IRA SW FLORIDA LLC	RONALD LOOSLI	27376 TORTOISE TRL	BONITA SPRINGS	FL	34135
EPPICH ROBERT	11850 LAUREL RD		CHESTERLAND	OH	44026
EPPICH ROBERT + MELANIE	11850 LAUREL RD		CHESTERLAND	OH	44026
ESCOVAR MARIO +	10539 VALENCIA LAKES DR		BONITA SPRINGS	FL	34135
ESLER LEE E + JOAN M	10441 WILD TURKEY AV		BONITA SPRINGS	FL	34135
ESMON DWIGHT + SANDRA B	10250 MORNINGSIDE LN		BONITA SPRINGS	FL	34135
FAIRWAY DUNES CONDO ASSOC INC	PO BOX 2288		BONITA SPRINGS	FL	34133
FAIRWAY PINES CONDO ASSOC	5683 BALKAN CT		FORT MYERS	FL	33919
FAIRWINDS HOMEOWNERS ASSN INC	PO BOX 36624		BONITA SPRINGS	FL	34135
FALCON VANESSA	10207 7TH ST N		NAPLES	FL	34108
FARANDA CARMEN + DEIDRE	25279 CORZINE RD		BONITA SPRINGS	FL	34135
FARMER NEAL J & DIANE R	23137 SANABRIA LOOP		BONITA SPRINGS	FL	34135
FASSINO SEAN & LAUREN	24783 PARADISE RD		BONITA SPRINGS	FL	34135
FAUBION RAYMOND A + JEANNE W	10130 OAK HOLLOW CT		BONITA SPRINGS	FL	34135
FAY JOANNE	25488 COCKLESHELL DR # 703		BONITA SPRINGS	FL	34135
FEDRONICH JASON M &	9772 GLEN HERON DR		BONITA SPRINGS	FL	34135
FENNEMA DAVID B & LYNN E	1069 SWATHER ST SE		GRAND RAPIDS	MI	49508
FENNEMA DAVID E + EVELYN H TR	5862 LEISURE DR SE		KENTWOOD	MI	49548
FERKULA GEORGE P + NORMA J	119 N BROCKWAY AVE		YOUNGSTOWN	OH	44509
FEWLESS JENNIFER	10450 TIGRESS LN		BONITA SPRINGS	FL	34135
FIATO MELANIE & JOSEPH	24810 AVONLEIGH CT		BONITA SPRINGS	FL	34135
FILIPEK GARY	9756 GLEN HERON DR		BONITA SPRINGS	FL	34135
FINGAL DIANE K DERUS &	10084 HIDDEN PINES LN		BONITA SPRINGS	FL	34135
FINK PATRICIA T	25588 STILLWELL PKWY		BONITA SPRINGS	FL	34135
FIorenzo V JAMES & ANNETTE	4211 PRESTWICK DR		ERIE	PA	16506
FIORINA TERRY J & KAREN L L/E	58 OAKTREE LN SE		WARREN	OH	44484
FISCHER LAWRENCE M + GINA M	1550 MUREX DR		NAPLES	FL	34102
FISHER ARLENE FAITH	10261 MADDOX LN #512		BONITA SPRINGS	FL	34135
FISHER BARBARA Y	10410 WOOD IBIS AVE		BONITA SPRINGS	FL	34135
FISHER DOUGLAS	10286 ST PATRICK LN		BONITA SPRINGS	FL	34135
FISHER JACQUELINE A	25496 COCKLESHELL DR #306		BONITA SPRINGS	FL	34135
FISHER JO ANNE L EST	10420 WOOD IBIS AVE		BONITA SPRINGS	FL	34135
FISHER MICHAEL W & LAURIE K +	25608 STILLWELL PKWY		BONITA SPRINGS	FL	34135
FITZGERALD BRIAN	10325 TARRAH LN		BONITA SPRINGS	FL	34135
FITZMAURICE KATHLEEN S	10611 WOODCHUCK LN		BONITA SPRINGS	FL	34135
FLAMMANG JOHN FRANK JR +	23301 SANABRIA LOOP		BONITA SPRINGS	FL	34135
FLANAGAN THOMAS F	25402 GOLF LAKE CIR #212		BONITA SPRINGS	FL	34135
FLANNERY DAVID J + PAULA M	41 DALE DRIVE		MOUNTAIN TOP	PA	18707
FLETES ELVIA	27031 EDEN ROCK CT		BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

FLIES RAYMUND JOSEPH +	23308 SANABRIA LOOP	BONITA SPRINGS	FL	34135
FLORES DONNA MARIE +	10010 MADDOX LN # 115	BONITA SPRINGS	FL	34135
FLORES MARIO AUGUSTO &	23215 SANABRIA LOOP	BONITA SPRINGS	FL	34135
FOLEY EILEEN	25767 LAKE AMELIA WAY #104	BONITA SPRINGS	FL	34135
FOLK DANIEL A + EVELYN M TR	6901 N AYCLIFFE DR	PEORIA	IL	61614
FONTANA CHRISTOPHER D TR	7711 SANTA MARGHERITA WAY	NAPLES	FL	34109
FORBES BRIAN G	766 WEST VALLEY DR	BONITA SPRINGS	FL	34134
FORESTER DOUGLAS E	25547 FENNER CIR	BONITA SPRINGS	FL	34135
FORMAN TINA M + ROBERT	24965 FAIRWINDS LN	BONITA SPRINGS	FL	34135
FOSTER DOUGLAS B +	25069 PARADISE RD	BONITA SPRINGS	FL	34135
FOX JAMES F + CAROL S	150 MALLARD COVE RD	LOWVILLE	NY	13367
FOX JUDITH L & PATRICK O	8 GASLIGHT DR	ALBANY	NY	12205
FRANIA LEONARD J & SANDRA R +	25480 COCKLESHELL DR #1002	BONITA SPRINGS	FL	34135
FRANK E FICO TRUST +	1464 CHESTNUT CROSSING	LEMONT	IL	60439
FRANKE HORST + MARGOT	10301 MORNINGSIDE LN	BONITA SPRINGS	FL	34135
FRAVEL RICHARD H TR	1301C SHALLCROSS AVE	WILMINGTON	DE	19806
FREITAS ANDREW J	25530 FAIRWAY DUNES CT, #57	BONITA SPRINGS	FL	34135
FRENCH DAVID M + JOYCE A TR	7452 W O AVE	KALAMAZOO	MI	49009
FRENKEL BORIS &	6553 WOODHAWK DR	MAYFIELD HEIGHTS	OH	44124
FRIEDMAN SCOTT R &	23280 SANABRIA LOOP	BONITA SPRINGS	FL	34135
FRITZENKOETTER KLAUS	25762 LAKE AMELIA WAY #102	BONITA SPRINGS	FL	34135
FRY JEAN R +	25808 COCKLESHELL DR #118	BONITA SPRINGS	FL	34135
FUCHS MICHAEL + SHERRI	10451 JEF NIK LN	BONITA SPRINGS	FL	34135
FULPER PRESERVATION	281 ROCKTOWN-LAMBERTVILLE RD	LAMBERTVILLE	NJ	08530
FUNK CONLEY J + LINDA	24951 DIVOT DR	BONITA SPRINGS	FL	34135
FUNSTON JANET J L/E	25230 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
FUSCO FRANK F II & MARY K	3409 RIVER PLACE DR	COLUMBUS	OH	43221
GABEL THOMAS W & ANDREA L	10173 SHANGRI-LA RD	BONITA SPRINGS	FL	34135
GABRIEL FRANK G JR +	23284 SANABRIA LOOP	BONITA SPRINGS	FL	34135
GAGIN CHRISOTPHER J TR	970 WINDHAM CT	BOARDMAN	OH	44512
GAGNON GEORGE A	25762 LAKE AMELIA WAY #202	BONITA SPRINGS	FL	34135
GAMBREL JOHN R II &	10150 BROOK RIDGE LN	BONITA SPRINGS	FL	34135
GAPP JAMES + LAURIE E	1608 RALEIGH DR	BURNSVILLE	MN	55337
GAWALDO ROSE E	25767 LAKE AMELIA WAY #204	BONITA SPRINGS	FL	34135
GAYARRE WENDY R	24961 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
GAZZE EDWARD A & KATHRYN J	57 MCBRY DR	DOVER	DE	19901
GEHLY PAULA MARIE TR	23200 SANABRIA LOOP	BONITA SPRINGS	FL	34135
GELLER GEORGE & AMBER	10271 ST PATRICK LN	BONITA SPRINGS	FL	34135
GENDRON MICHAEL + GAIL	231 PROSPECT AVE	NORTH KINGSTOWN	RI	02852
GENTILE JUSTIN JUDE	25482 COCKLESHELL DR #1106	BONITA SPRINGS	FL	34135
GENTILE VIRGINIA	25168 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
GETSCH AMY R & DANIEL D	11711 ASTER WAY	WOODBURY	MN	55129
GETSCH DAVID D + DIANNE H	7530 DOGWOOD AVE	EXCELSIOR	MN	55331
GIGANTE JOYCE E	23197 SANABRIA LOOP	BONITA SPRINGS	FL	34135
GILGALLON JOHN CRAIG &	8326 GOLFSIDE DR	COMMERCE TOWNSHIP	MI	48382
GILLES LARRY W + JOYCE K	23196 SANABRIA LOOP	BONITA SPRINGS	FL	34135
GILLMOR AARON MICHAEL GODETTE	24998 CARNOUSTIE CT	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

GIORDANO LEONA + RUSSELL E	10521 WOODLAWN DR	PORTAGE	MI	49002
GIORGETTI PIER	60 CRICKERBROOK LN	FAIRFIELD	CT	06824
GLASS JEFFREY & JENNIFER	10260 ENOCH LN	BONITA SPRINGS	FL	34135
GLATT GARY M + CAROLE W	10551 SIR MICHAELS PLACE DR	BONITA SPRINGS	FL	34135
GLAZIER ALAN A + SHERI D	25460 STILLWELL PKWY	BONITA SPRINGS	FL	34135
GLORE RACHAEL L	25496 COCKLESHELL DR #302	BONITA SPRINGS	FL	34135
GLORIA J LENTZ TRUST +	4811 ISLAND POND CT # 605	BONITA SPRINGS	FL	34134
GODLOVE JAY + MARIE	10271 AVONLEIGH DR	BONITA SPRINGS	FL	34135
GOEBEL KENNETH N & LINDA A	W350N8921 NORWEGIAN RD	OCONOMOWOC	WI	53066
GOETZ DIANE	49 MOUNTAINSIDE DR	RANDOLPH	NJ	07869
GOETZE FREDERICK &	9740 GLEN HERON DR	BONITA SPRINGS	FL	34135
GOGARTY TERENCE + CAROL ANN	10021 MADDOX LN #201	BONITA SPRINGS	FL	34135
GOLDBERG MERYL TR	23124 SANABRIA LOOP	BONITA SPRINGS	FL	34135
GOLDEN ROBERT C & JANE B TR	10020 MADDOX LN #114	BONITA SPRINGS	FL	34135
GOLDSTEIN JOHN M	10279 SANDY HOLLOW LN	BONITA SPRINGS	FL	34135
GOLF VILLAS OF BONITA SPRINGS	10085 MADDOX LANE	BONITA SPRINGS	FL	34135
GOLON JOHN + ROSEMARY D	16 TIMBER LN	ELLINGTON	CT	06029
GONZALEZ ANTONIO M	10300 TARRAH LN	BONITA SPRINGS	FL	34135
GONZALEZ AURELIO	9775 GLEN HERON DR	BONITA SPRINGS	FL	34135
GONZALEZ DAYAN & JANICE	10247 AVONLEIGH DR	BONITA SPRINGS	FL	34135
GOOCH JOHN R + LAURA V TR	25159 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
GOOD JEFFREY D & JANE E	650 MORNINGSTAR DR	PORTAGE	WI	53901
GORDON BARRY H TR	820 MCKINLEY POINTE LN	KNOXVILLE	TN	37934
GORING MICHELLE	25710 LAKE AMELIA WAY #102	BONITA SPRINGS	FL	34135
GORMAN BRIAN	227 DOLPHIN COVE CT	BONITA SPRINGS	FL	34134
GOTHEN ROBERT C JR &	25482 COCKLESHELL DR #1101	BONITA SPRINGS	FL	34135
GOULD GREGORY + SANDRA	10091 HIDDEN PINES LN	BONITA SPRINGS	FL	34135
GOWELL LAWRENCE M &	2411 LAKE AVE UNIT 31	NORTH MUSKEGON	MI	49445
GRABOWSKI EDWARD C + JOANNE M	1315 BIRCHHILL RD	MOUNTAINSIDE	NJ	07092
GRADEK ARNOLD W +	1301 THIRD AVE	NEW BRIGHTON	PA	15066
GRAF PAUL H &	4746 MARTIN RD	STURGEON BAY	WI	54235
GRAHAM CLARA ANNE TR	25201 DIVOT DR	BONITA SPRINGS	FL	34135
GRALL EMIL H & NETTI J TR	10361 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
GRALL EMIL H + NETTIE J TR	10301 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
GRAMER RONALD G + DEBRA L	1460 WOLF RIVER DR	FREMONT	WI	54940
GRANT MARGARET S TR	24701 PARADISE RD	BONITA SPRINGS	FL	34135
GRANTHAM DONELLA	10241 MADDOX LN #323	BONITA SPRINGS	FL	34135
GRAVLEY DAVID A &	13509 TRIPOLI CT	ESTERO	FL	33928
GRECO PHILIP A + SUSAN MARY	23129 SANABRIA LOOP	BONITA SPRINGS	FL	34135
GREEN HOWARD L + MARCIA JO	8525 VIA CARIBALDI CIR #201	ESTERO	FL	33928
GREENS OF BONITA SPGS DEV INC	BONITA SPRINGS GOLF + COUNTRY	BONITA SPRINGS	FL	34135
GREENWAY JAMES R TR	23141 SANABRIA LOOP	BONITA SPRINGS	FL	34135
GREER JOSEPH B & MARSHA L	25071 DIVOT DR	BONITA SPRINGS	FL	34135
GRELLA JENNIFER LYNN	25321 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
GRENON LARRY E & KIM G	109 HOMESTEAD LN	EAST FALMOUTH	MA	02536
GRIFFIN REBECCA	25482 COCKLESHELL DR #1105	BONITA SPRINGS	FL	34135
GRIFFITH BETTY J	25657 OLD GASLIGHT DR	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

GRIMM RICHARD T + INGEBOG E	4N100 THORNTREE RD	SAINT CHARLES	IL	60174
GROMNICKI EDMUND M	10304 ST PATRICK LN	BONITA SPRINGS	FL	34135
GROSS CARL J + CAROL J	676 SOUTHWICK RD	SOMERDALE	NJ	08083
GROVES GREGORY G	24945 PARADISE RD	BONITA SPRINGS	FL	34135
GRUETTEMAYER MICHAEL E +	25727 LAKE AMELIA WAY # 101	BONITA SPRINGS	FL	34135
GRUVER MATTHEW + TAMMI	10401 MARLIN LN	BONITA SPRINGS	FL	34135
GRZEBIELUCHA PAUL +	23296 SANABRIA LOOP	BONITA SPRINGS	FL	34135
GUALARIO ANTHONY J JR	25607 LUCI DR	BONITA SPRINGS	FL	34135
GUARINO PAUL & BEVERLY	258 RYE ST	BROAD BROOK	CT	06016
GUERRA ISIDORO + ELVIA L	25452 PARADISE RD	BONITA SPRINGS	FL	34135
GUILD GORDON E	23236 SANABRIA LOOP	BONITA SPRINGS	FL	34135
GUTKNECHT THOMAS J + SUSAN M	10401 MORNINGSIDE LN	BONITA SPRINGS	FL	34135
GUTTENBERGER JEFFREY F TR	23217 SALINAS WAY	BONITA SPRINGS	FL	34135
HAAS CONSTANCE L TR	10536 VALENCIA LAKES DR	BONITA SPRINGS	FL	34135
HAFNER FRANK H TR	5000 PROVIDENCE DR	THE COMMONS ROOM 210		
HAINES KERMIT TILLMAN &	10611 LANDAU LN	SANDUSKY	OH	44870
HALE SHARON L	24881 PARADISE RD	BONITA SPRINGS	FL	34135
HALTERMAN ALLEN & VIRGINIA	7905 E FOXBORO DR	BONITA SPRINGS	FL	34135
HALTERMAN GARY & SABINE B	25806 COCKLESHELL DR # 313	COAL CITY	IL	60416
HAMED MICHAEL C & JUDITH D +	10411 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
HAMILTON JOHN R & KAREN J	1853 KIMBERLY CIRCLE	BONITA SPRINGS	FL	34135
HAMILTON MICHAEL +	25163 PARADISE RD	RIVER FALLS	WI	54022
HAMILTON WILLIAM STUART	25580 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
HAMMAN KENNETH W + JOAN	5100 WASHAKLE TR	BONITA SPRINGS	FL	34135
HANCOCK SANDRA H TR	10373 WOOD IBIS AVE	BRIGHTON	MI	48116
HAPKA THOMAS + DEANNE	N128W17714 HOLY HILL	BONITA SPRINGS	FL	34135
HARDEBECK BARBARA J	25170 GOLF LAKE CIR	GERMANTOWN	WI	53022
HARDT TERRY A	9439 SOUTH EVERS	BONITA SPRINGS	FL	34135
HARDY HARRY G + JARUWAN	10281 SAINT PATRICKS LN	BONITA SPRINGS	FL	34135
HARNED LYNN B & MARJORIE E TR	3008 GRAND BLVD	EVERGREEN PARK	IL	60805
HAROLD CYNTHIA D	11233 COIMBRA LN	BONITA SPRINGS	FL	34135
HARTCORN WARREN H + ELEONORE H	25198 GOLF LAKE CIR	CEDAR FALLS	IA	50613
HARTY RICHARD M & LINDA J	25756 LAKE AMELIA WAY #101	BONITA SPRINGS	FL	34135
HARVEY ADELAIDE M TR	10410 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
HASKINS BETSY	10300 JEF NIK LN	BONITA SPRINGS	FL	34135
HATLAS PAUL M	10571 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
HAUGEN KENNETH LANCE &	1329 17 1/2 AVE SW	BONITA SPRINGS	FL	34135
HAUPTLY ROBERT C +	PO BOX 104	MINOT	ND	58701
HAYNER CHARLES L + EVA M	10804 N 300 E LOT 2	WATERLOO	IA	50704
HEAPE JEFFREY N + YVONNE S	25672 STILLWELL PKWY	ROME CITY	IN	46784
HEATH BARRY L & SUSAN C	25307 PARADISE RD	BONITA SPRINGS	FL	34135
HEDER JACQUELINE L	24750 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
HEINEMEYER RYAN NEIL	24815 PARADISE RD	BONITA SPRINGS	FL	34135
HELLER KAYE L	25101 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
HELLER WENDELL T & BETTY C +	11555 N COLLEGE AVE	BONITA SPRINGS	FL	34135
HENNING MOLLY	25761 LAKE AMELIA WAY #205	CARMEL	IN	46032
HENSLEY NEELY	10600 STRIKE LN	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

HERMANSEN JAMES C TR	1829 100TH ST	NEW RICHMOND	WI	54017
HERNANDEZ JONATHAN &	PO BOX 366608	BONITA SPRINGS	FL	34136
HERNANDEZ-RODRIGUEZ JUAN	10241 ENOCH LN	BONITA SPRINGS	FL	34135
HERRINGSHAW DOUGLAS H + SUSAN	1191 RILEY RD	CARO	MI	48723
HERRON ARTHUR P III	10261 MADDOX LN #511	BONITA SPRINGS	FL	34135
HEYER DAVID S & BARBARA G	25398 GOLF LAKE CIR # 105	BONITA SPRINGS	FL	34135
HICKEY RYAN PATRICK +	24896 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
HINES PATRICIA S TR	10272 AVONLEIGH DR	BONITA SPRINGS	FL	34135
HINTZ RICHARD D + PAMELA L	3819 KENS LN	MIDLAND	MI	48642
HOADLEY ROBERT F JR	10631 WOODCHUCK LN	BONITA SPRINGS	FL	34135
HOBBS RONALD S + LISA M	25648 OLD GASLIGHT DR	BONITA SPRINGS	FL	34135
HODAI GERGELY	25740 LAKE AMELIA WAY UNIT 204	BONITA SPRINGS	FL	34135
HODGE FLORA	PO BOX 366804	BONITA SPRINGS	FL	34136
HOFFMAN LAURIE S TR	23212 SANABRIA LOOP	BONITA SPRINGS	FL	34135
HOLLANDER LAWRENCE & SALLIE	23220 SANABRIA LOOP	BONITA SPRINGS	FL	34135
HOLMES RANDALL L TR	PO BOX 367895	BONITA SPRINGS	FL	34136
HOMETOWN RADIO INC	21046 BOSCO CT	ESTERO	FL	33928
HOMUTH FREDERICK J + MARSHA	24940 FAIRWINDS LN	BONITA SPRINGS	FL	34135
HON THOMAS SR	25802 COCKLESHELL DR # 311	BONITA SPRINGS	FL	34135
HOOPS NICHOLAS TROY + JENNIFER	10494 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
HOOS SANDRA S TR	24908 FAIRWINDS LN	BONITA SPRINGS	FL	34135
HOPE LUTHERAN CHURCH	25999 OLD 41 RD	BONITA SPRINGS	FL	34135
HOPKINS RANDY G + GWENDOLYN A	10110 AVONLEIGH DR	BONITA SPRINGS	FL	34135
HORAN JOHN & JENNIFER	10400 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
HORN DANIEL H	25810 COCKLESHELL DR #218	BONITA SPRINGS	FL	34135
HOUDYSHELL MICHAEL	25432 CARNEY CIR	BONITA SPRINGS	FL	34135
HOWER MICHAEL + LISA	10591 WOODCHUCK LN	BONITA SPRINGS	FL	34135
HUBBELL THOMAS K + ELIZABETH J	10400 TIGRESS LN	BONITA SPRINGS	FL	34135
HUFF ROBERT L & MARY A	25808 COCKLESHELL DR #215	BONITA SPRINGS	FL	34135
HUGHES DOUGLAS R + KAREN	25456 CARNEY CIR	BONITA SPRINGS	FL	34135
HUGHES SHIRLEY A +	25871 PARADISE RD	BONITA SPRINGS	FL	34135
HUJSA HOWARD & IRENE	23228 SANABRIA LOOP	BONITA SPRINGS	FL	34135
HULL SHARON J	10361 SAINT PATRICKS LN	BONITA SPRINGS	FL	34135
HUMBLE ROSE MARY	10610 SIR MICHAELS PLACE DR	BONITA SPRINGS	FL	34135
HUNNAM GREG	25334 STILLWELL PKWY	BONITA SPRINGS	FL	34135
HURLEY JOHN & LAURA	25190 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
HURST JAMES T	10341 MORNINGSIDE LN	BONITA SPRINGS	FL	34135
HUTCHINGS EDGAR M +	24801 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
HUTZLER JEFFERY & JEAN	23188 SANABRIA LOOP	BONITA SPRINGS	FL	34135
INTERNATIONAL CAPITAL	20 N MARTINGALE RD STE 180	SCHAUMBURG	IL	60173
IRWIN TERRY ALLAN &	7115 FRENCH HILL RD NW	DOVER	OH	44622
IVANITSKI MICHAEL J	23312 SANABRIA LOOP	BONITA SPRINGS	FL	34135
IZELL RANDALL & BRITTANY	25546 LUCI DR	BONITA SPRINGS	FL	34135
JACKSON DIANE E	25492 COCKLESHELL DR, #105	BONITA SPRINGS	FL	34135
JACKSON EDWIN D + ALBERTA H	25761 LAKE AMELIA WAY UNIT 102	BONITA SPRINGS	FL	34135
JACOBSEN BRIAN L TR	42 CASTLEROCK LN	BLOOMINGDALE	IL	60108
JAHRAUS JOEL P	23255 SANABRIA LOOP	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

JAKSE JOSEPH J	5495 YORK COUNTY ROAD		COLUMBUS	OH	43221
JEANS PHILIPPE &	10281 ENOCH LN		BONITA SPRINGS	FL	34135
JEFFRAY CHRISTOPHER RUSSELL +	10590 ANKENY LN		BONITA SPRINGS	FL	34135
JEMISON TRACEY F	1118 HUDSON ST APT 4		HOBOKEN	NJ	07030
JENKINS H DAVIS + NORMA C	PO BOX 149		BRIDGEPORT	WV	26330
JENSEN ERIC L & JUDITH E TR	10575 ESPANOLA DR		BONITA SPRINGS	FL	34135
JHAWAR SURESH C TR	G-M ENTERPRISES	525 KLUG CIR	CORONA	CA	92880
JIMENEZ RAFAEL D +	25260 DIVOT DR		BONITA SPRINGS	FL	34135
JOHNSON ALEX C +	25496 COCKLESHELL DR, #304		BONITA SPRINGS	FL	34135
JOHNSON DAVID L + DEBRA	10351 BINKY LN		BONITA SPRINGS	FL	34135
JOHNSON FREDERICK M	5335 LARCH LN N		PLYMOUTH	MN	55442
JOHNSON GARY & ANGELA	24700 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
JOHNSON HEATHER M	10409 WILD TURKEY AVE		BONITA SPRINGS	FL	34135
JOHNSON MELISSA &	3652 PALOMINO RD		MELBOURNE	FL	32934
JOHNSON MYLES J	788 S MAGNOLIA AVE APT 14		EL CAJON	CA	92020
JOHNSON NOREEN L	25441 CARNEY CIR		BONITA SPRINGS	FL	34135
JOHNSON ROBERTA J	25398 GOLF LAKE CIR #208		BONITA SPRINGS	FL	34135
JOHNSON VIRGINIA W TR	791 N SOUTH LONG LAKE RD		TRAVERSE CITY	MI	49685
JOHNSTON MICHAEL G +	400 QUARY LANE NE UN E		WARREN	OH	44483
JONES CARI LYNN	24719 PARADISE RD		BONITA SPRINGS	FL	34135
JONES DAVID M	3A SUNSET DR		ESSEX JUNCTION	VT	05452
JONES JAY R + MARY C	10471 WILD TURKEY AVE		BONITA SPRINGS	FL	34135
JONES MICHAEL JAY + KATHRYN R	25663 OLD GASLIGHT DR		BONITA SPRINGS	FL	34135
JONES THOMAS K + JANET C	25755 LAKE AMELIA WAY #102		BONITA SPRINGS	FL	34135
JORDAN JOHN M + MARY C	1571 POWDERHORN DR		VOLO	IL	60020
JORESKE KEITH	13885 LAZY LN		FORT MYERS	FL	33905
JORISSEN LEE G + JULIE FIELDS	24940 DIVOT DR		BONITA SPRINGS	FL	34135
JURKOVIC EDWARD J & LAURA M	10516 VALENCIA LAKES DR		BONITA SPRINGS	FL	34135
JUST GERARD J +	10347 ST PATRICK LN		BONITA SPRINGS	FL	34135
KAISER EDWARD SR + DOLORES TR	2043 FAIRWAY BLVD		HUDSON	OH	44236
KALINOWSKI JOHN F + PEGGY C	2359 LIGHTHOUSE COVE		WICHITA	KS	67205
KAMBO ENTELA	24917 FAIRWINDS LN		BONITA SPRINGS	FL	34135
KAMEN WILLIAM W + KATHRYN A	9735 GLEN HERON DR		BONITA SPRINGS	FL	34135
KANGAS JOHN E + KAROL	25651 LUCI DR		BONITA SPRINGS	FL	34135
KARAS FRANCES L/E	PSC #2 BOX 7864		APO	AE	09012
KARWACKI THOMAS W &	10540 VALENCIA LAKES DR		BONITA SPRINGS	FL	34135
KASPRZAK CHERYL	PO BOX 990461		NAPLES	FL	34116
KATHLEEN D MAJOR TRUST	24850 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
KAUFFMAN JAMES W + BEVERLY KAY	23292 SANABRIA LOOP		BONITA SPRINGS	FL	34135
KEAGINS DANIEL R + DEBRA J	25624 OLD GASLIGHT DR		BONITA SPRINGS	FL	34135
KEELING KATHRYN D	25210 DIVOT DR		BONITA SPRINGS	FL	34135
KELLER YVONNE A	25176 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
KELLY MARION JOAN	25163 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
KEMP KEVIN DOUGLAS +	24753 PARADISE RD		BONITA SPRINGS	FL	34135
KERSEY MICHAEL &	790 29TH ST SW		NAPLES	FL	34117
KIMBALL BRAD EDWARD	25716 STILLWELL PKWY		BONITA SPRINGS	FL	34135
KING JOHN EDWARD & JEANETTE	10565 ESPANOLA DR		BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

KINKEAD JOHN & TERESA	10130 AVONLEIGH DR		BONITA SPRINGS	FL	34135
KINSEY KATHLEEN KARLIN &	23223 SANABRIA LOOP		BONITA SPRINGS	FL	34135
KIPP MARC A	24915 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
KIRK BRADLEY D	24960 WINDWARD BLVD		BONITA SPRINGS	FL	34134
KLENK CAROL M TR	25186 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
KLEPK JOSEPH P & LISA M	190 E CARBON ST		COAL CITY	IL	60416
KLING ERICH A + GAIL M TR	11 E SALEM RD		FISHKILL	NY	12524
KNIZE PETER M + APRIL C	23281 SALINAS WAY		BONITA SPRINGS	FL	34135
KOHL BARBARA J	25808 COCKLESHELL DR #213		BONITA SPRINGS	FL	34135
KOHN JOANNE	25211 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
KOHUT KENNETH M + SUSAN A	5281 BUTTERNUT RIDGE DR		INDEPENDENCE	OH	44131
KOLK PATRICK RUSSELL	27400 MATHESON AVE		BONITA SPRINGS	FL	34135
KOLSTEDT ROBERT H JR L/E +	10235 AVONLEIGH DR		BONITA SPRINGS	FL	34135
KOOPMAN GEORGE + VICKI	10650 SIR MICHAELS PLACE DR		BONITA SPRINGS	FL	34135
KOPALA RICHARD + BARBARA A	24946 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
KORNOELJE J KENNETH +	24774 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
KOROLEVA INNA A	10611 SIR MICHAELS PLACE DR		BONITA SPRINGS	FL	34135
KOSCHALK SUSAN G & JASON	19782 BEAULIEU CT		FORT MYERS	FL	33908
KOSILLA TERESA G &	25496 CARNEY CIR		BONITA SPRINGS	FL	34135
KOSKELA GARY & GABRY MONICA	752 SPRING DR		NORTHVILLE	MI	48167
KOTTKE GORDON V + CAROLE K TR	23148 SANABRIA LOOP		BONITA SPRINGS	FL	34135
KRAUS FREDERICK E + KARIN R	120 CROSSWINDS DR		CAMILLUS	NY	13031
KREITNER JAMES WESLEY	10208 ROCKVILLE PIKE APT 402		ROCKVILLE	MD	20852
KROPUS RYAN	25673 LUCI DR		BONITA SPRINGS	FL	34135
KRUHM LARRY EUGENE +	25494 COCKLESHELL DR #206		BONITA SPRINGS	FL	34135
KUBLICK GERALD R JR + SALLY J	10283 SANDY HOLLOW LN		BONITA SPRINGS	FL	34135
KUEHL KEVIN L &	10641 WOODCHUCK LN		BONITA SPRINGS	FL	34135
KUFTA ROBERT W + VIVIAN G +	1750 BREWER RD		LEONARD	MI	48367
KULLICK VALERIE A	10640 WOODCHUCK LN		BONITA SPRINGS	FL	34135
KUNKLE SANDRA L	25441 LUCI DR		BONITA SPRINGS	FL	34135
KYNOCH GRACE M	24708 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
LACHNER THOMAS E TR	BOX 368347		BONITA SPRINGS	FL	34136
LACHNER THOMAS F TR	25110 BERNWOOD #106		BONITA SPRINGS	FL	34135
LADUKE DONALD C + BARBARA A TR	55600 ZUHIKE RD		CHESTERFIELD	MI	48051
LAHRMER SCOT F TR	5672 COX SMITH RD		MASON	OH	45040
LAKESIDE HIDEAWAY AT BONITA	COMPASS GROUP	3701 N TAMIAMI TRL	NAPLES	FL	34103
LAM THU HANG THI	1854 IVORY CANE PT		NAPLES	FL	34119
LAMAR LINDA J	67200 SISSON ST		WASHINGTON	MI	48095
LAMENDOLA MICHAEL & KAREN	10351 TIGRESS LN		BONITA SPRINGS	FL	34135
LAMEY RICHARD W & DIANA	8139 CADWALADER AVE		ELKINS PARK	PA	19027
LAMIRANDE ROGER A TR	1383 BLUE JAY PL		NEW RICHMOND	WI	54017
LANA KUPFERSCHMID REV TRUST +	23261 SANABRIA LOOP		BONITA SPRINGS	FL	34135
LANDAU LAKEVIEW LLC	10600 CHEVROLET WAY STE 211		ESTERO	FL	33928
LANDENHAGEN MICHAEL + ANGELIKA	10401 SHANGRILA RD		BONITA SPRINGS	FL	34135
LANG ALAN J	10241 MADDOX LN #321		BONITA SPRINGS	FL	34135
LANGE RICH + LANA	25398 GOLF LAKE CIR #106		BONITA SPRINGS	FL	34135
LANGMAIER FREDERICK + CANDACE	10534 ESPANOLA DR		BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

LANGMAIER FREDERICK +CANDACE +	23160 SANABRIA LOOP	BONITA SPRINGS	FL	34135
LANSDEN THOMAS M + HEIDI S	25030 DIVOT DR	BONITA SPRINGS	FL	34135
LAPENSEE DENNIS P + DEBRA L	10031 MADDOX LN #105	BONITA SPRINGS	FL	34135
LAPERRIERE ROBERT E &	23125 SANABRIA LOOP	BONITA SPRINGS	FL	34135
LAPOINTE PAUL K + CAROL J TR	20542 ENFIELD CR	FOREST LAKE	MN	55025
LARSON CARL R JR TR	25380 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
LARSON JAMES L +	25808 COCKLESHELL DR # 312	BONITA SPRINGS	FL	34135
LARSON ROBERT W + MICHELYN TR	5256 W 106TH ST	BLOOMINGTON	MN	55437
LASDAY ALAN & MARIA TR	23228 SALINAS WAY	BONITA SPRINGS	FL	34135
LATFY CAROL A TR	25205 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
LAWINGER JOANN K TR	10014 COTTONWOOD LN N	MAPLE GROVE	MN	55369
LAWLESS JOHN A	25747 LAKE AMELIA WAY #205	BONITA SPRINGS	FL	34135
LAYCOCK THOMAS B +	25420 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
LAYDEN ROY L + LAURA J	10270 ST PATRICK LN	BONITA SPRINGS	FL	34135
LE VICTOR T +	10286 ENOCH LN	BONITA SPRINGS	FL	34135
LEACH KENNETH PAUL &	1333 PINKHAM RD	EAST BURKE	VT	5832
LEBLANC STEPHEN J +CHRISTINE A	10259 AVONLEIGH DR	BONITA SPRINGS	FL	34135
LECAROZ ALLEN L & DENISE E	PO BOX 6	WILMOT	NH	03287
LEE ROBERT & RANDI	25190 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
LEFEBVRE PAULA M TR	10020 MADDOX LN #210	BONITA SPRINGS	FL	34135
LEHMANN JUNE MILLER &	25623 PARADISE RD	BONITA SPRINGS	FL	34135
LEMMONS ROBERT J + KATHLEEN M	25000 DIVOT DR	BONITA SPRINGS	FL	34135
LEMUS ALBINA	25356 STILLWELL PKWY	BONITA SPRINGS	FL	34135
LEMUS FRANCISCO JAVIER JR	25736 STILLWELL PKWY	BONITA SPRINGS	FL	34135
LENARD MARK D & ROBYN L	10406 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
LENGO DUNG ANH	10300 WEST SIDE LN	BONITA SPRINGS	FL	34135
LENNON PATRICIA A +	10468 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
LERCH THOMAS + JANICE	52895 CLINTON OAK LN	UTICA	MI	48316
LESUEUR FRANK G + CHERYL H	11018 REEDY CREEK RD	BRISTOL	VA	24202
LEZEAU WOLF BOURJOLLY	9723 GLEN HERON DR	BONITA SPRINGS	FL	34135
LIBBY BRIAN J	10239 AVONLEIGH DR	BONITA SPRINGS	FL	34135
LILES TIFFANY +	27233 J C LN	BONITA SPRINGS	FL	34135
LINVILLE WILLIE C JR	10278 WILD TURKEY AV	BONITA SPRINGS	FL	34135
LISOWSKI GLORIA	10011 MADDOX LN # 103	BONITA SPRINGS	FL	34135
LITKE GARY JEROME TR	20439 FENSTON AVENUE NORTH	FOREST LAKE	MN	55025
LOBERG MARGARET A	25486 COCKLESHELL DR # 805	BONITA SPRINGS	FL	34135
LOCKE BRADLEY A	25767 LAKE AMELIA WAY #101	BONITA SPRINGS	FL	34135
LOCKHART JOYCE M	25141 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
LODOVICO ANTONIO + DANETTE M	2211 ARDMORE BLVD	PITTSBURGH	PA	15221
LOMBARDI DENNIS TR	10300 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
LOMICKA ALAN K & JANET L TR	25642 OLD GASLIGHT DR	BONITA SPRINGS	FL	34135
LONGO JIMMIE S + LAURA	348 W KATHLEEN DR	PARK RIDGE	IL	60068
LOPEZ JACQIE L	25482 COCKLESHELL DR #1103	BONITA SPRINGS	FL	34135
LOPEZ ORTIZ DAVID E &	24707 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
LORENTZSON HAROLD C + BEVERLY	6922 LAKE ELORA DR	CANYON	MN	55717
LORENZ JACK	25735 LAKE AMELIA WAY #102	BONITA SPRINGS	FL	34135
LORIMER DUSTAN M &	25488 COCKLESHELL DR #705	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

LOVE JAIME + GERI	25161 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
LOYOLA MARCO &	10580 ANKENY LN	BONITA SPRINGS	FL	34135
LOZADA DAVID R	10661 WOODCHUCK LN	BONITA SPRINGS	FL	34135
LUCAS CAROL I	10350 JEF NIK LN	BONITA SPRINGS	FL	34135
LUCAS WILLIAM & MARY ANN L/E	25490 COCKLESHELL DR #602	BONITA SPRINGS	FL	34135
LUCKOW PAMELA	25070 DIVOT DR	BONITA SPRINGS	FL	34135
LUKACH JOHN P JR + LYNDA L	10244 AVONLEIGH DR	BONITA SPRINGS	FL	34135
LUNDBERG GRANT N SR	25174 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
LUNDGREN KEVIN D + LAURIE	10171 OAK HOLLOW CT	BONITA SPRINGS	FL	34135
LUTHER ROBERT J + FRANCES A	25137 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
LUZNY GREGORY A &	10021 MADDOX LN #B-101	BONITA SPRINGS	FL	34135
LYALL GLEN S + EVELYNN J	24801 AVONLEIGH CT	BONITA SPRINGS	FL	34135
LYNCH MICHAEL JEROME L/E	23213 SALINAS WAY	BONITA SPRINGS	FL	34135
LYNN ROBERT E	907 WALTON DR	PLAINFIELD	IN	46168
LYONS JERRY C + JOAN M	25402 GOLF LAKE CIR #111	BONITA SPRINGS	FL	34135
MACGONIGLE STEWART J	25619 OLD GASLIGHT DR	BONITA SPRINGS	FL	34135
MACKER MARY A	PO BOX 96	SOMERS	MT	59932
MADDOX JOSEPH + ROSE D	23128 SANABRIA LOOP	BONITA SPRINGS	FL	34135
MADDOX LANE PROPERTIES LLC	3 EAST GENESSEE ST	AUBURN	NY	13021
MAFFEI JOHN	24734 CARMOUSTIE CT	BONITA SPRINGS	FL	34135
MAGDALENO AMBER OLGALEE	10590 WOODCHUCK LN	BONITA SPRINGS	FL	34135
MAGILL JOHN W	37 MAIN ST	BOYLSTON	MA	01505
MAGUIRE DANIEL T	10620 WOODCHUCK LN	BONITA SPRINGS	FL	34135
MAJESKI THOMAS C + LARUE R	46057 BARTLETT DR	CANTON	MI	48187
MANDY SUZANNE TR	25158 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
MARCH JASON E & BRITTANY P	10289 AVONLEIGH DR	BONITA SPRINGS	FL	34135
MARCHESSEAUPT PHILIPPE +DENISE	24956 FAIRWINDS LN	BONITA SPRINGS	FL	34135
MARIN GUSTAVO A	10451 BINKY LN	BONITA SPRINGS	FL	34135
MARKGRAFF HELENA L/E	25802 COCKLESHELL DR	BONITA SPRINGS	FL	34135
MARKS ADAMS + MATTEA	25735 LAKE AMELIA WAY #203	BONITA SPRINGS	FL	34135
MARLAND WILLIAM J + MARTHA H	6639 GLEN ARBOR WAY	NAPLES	FL	34119
MARLOW RONALD S + CAROL A	10470 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
MARRARA MARY LOU TR	25804 COCKLESHELL DR, #218	BONITA SPRINGS	FL	34135
MARSAGLIA SHIRLEY TR	2691 BLOOMFIELD DR	LISLE	IL	60532
MARTELL TERRY A TR +	PO BOX 367837	BONITA SPRINGS	FL	34136
MARTIN VINCENT + DONNA	10280 ENOCH LN	BONITA SPRINGS	FL	34135
MARTINEZ RAUL A + CARISSA A	26034 REED CT	BONITA SPRINGS	FL	34135
MARY M LYNCH TR	1255 PASADENA AVE UNIT 811	SAINT PETERSBURG	FL	33707
MARZEC HENRY + ZOFIA	23 WEISS RD	UPPER SADDLE RIVER	NJ	07458
MASLANKA DAVID J + NORINNE J	10339 ST PATRICK LN	BONITA SPRINGS	FL	34135
MASON RACHEL	24973 FAIRWINDS LN	BONITA SPRINGS	FL	34135
MASON ROBERT SCOTT	1623 W AYRES AVE	PEORIA	IL	61606
MASSEY GLEN A & PATRICIA	23256 SANABRIA LOOP	BONITA SPRINGS	FL	34135
MATHEWS TOD E + DONNA P	PO BOX 366494	BONITA SPRINGS	FL	34136
MATHIESON DORETHY A	10121 MADDOX LN #104	BONITA SPRINGS	FL	34135
MATSKO MICHAEL +	9732 GLEN HERON DR	BONITA SPRINGS	FL	34135
MAURO THOMAS R + MARY C	560 PACING WAY	WESTBURY	NY	11590

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

MAYLE PHOEBE +	27439 IMPERIAL OAKS CIR	BONITA SPRINGS	FL	34135
MAZULA STEPHEN N +	10661 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
MAZZEO JOHN D + GAIL	24815 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
MCCABE KEVIN S	10011 MADDOX LN # 102	BONITA SPRINGS	FL	34135
MCCANN BRENDA L +	25440 STILLWELL PKWY	BONITA SPRINGS	FL	34135
MCCLOSKEY JOHN SR + LINDA E	25093 PARADISE RD	BONITA SPRINGS	FL	34135
MCCORMACK KIM	10241 MADDOX LN #322	BONITA SPRINGS	FL	34135
MCCOY MATTHEW W + CHRISTINE A	935 FLAG POLE HILL	MARION	OH	43302
MCCUISTION FREDERICK A + JUDY	25566 LUCI DR	BONITA SPRINGS	FL	34135
MCDERMOTT THOMAS F &	PO BOX 343	MATTITUCK	NY	11952
MCDONALD PAUL D + VIRGINIA SUE	24866 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
MCDONALD TIMOTHY J &	23264 SANABRIA LOOP	BONITA SPRINGS	FL	34135
MCFADDEN RANDALL J	10350 TARRAH LN	BONITA SPRINGS	FL	34135
MCGARRY MARK K + SHARON L	8642 SOUTH LAKEVIEW RD	TRAVERSE CITY	MI	49684
MCGONIGLE HELEN TR	11491 E FIRST ST	CONNEAUT LAKE	PA	16316
MCGREGOR TODD THOMAS +	23175 SANABRIA LOOP	BONITA SPRINGS	FL	34135
MCKEE CHRISTOPHER A	10263 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
MCKIOU DOWAIN V TR	309 GRANT DR	MASCOUTAH	IL	62258
MCKNIGHT JAMES K II	1304 HAMOR ST	FLATWOODS	KY	41139
MCMULLEN ROBERT A JR	10354 WILD TURKEY AV	BONITA SPRINGS	FL	34135
MEANEY DANIEL +	25810 COCKLESHELL DR #217	BONITA SPRINGS	FL	34135
MEANS DAVID R & LINDA C	10190 BROOK RIDGE LN	BONITA SPRINGS	FL	34135
MEAZA PROPERTIES LLC	2100 N LINCOLN PARK W APT 4CS	CHICAGO	IL	60614
MEDINA DAVID & EDITH	10650 LANDAU LN	BONITA SPRINGS	FL	34135
MEDINA MARIO	10401 BINKY LN	BONITA SPRINGS	FL	34135
MEITZ MAXINE A	24980 DIVOT DR	BONITA SPRINGS	FL	34135
MEJIA SARA CARMEN CARPINTERO	4535 SANTIAGO	BONITA SPRINGS	FL	34134
MELLON RICHARD + LINDA	10581 ANKENY LN	BONITA SPRINGS	FL	34135
MELODY MICHAEL	10125 SHANGRI LA RD	BONITA SPRINGS	FL	34135
MELTON FELIX D III + SELENA M	25301 CORZINE RD	BONITA SPRINGS	FL	34135
MELTON LENORA K	10450 BINKY LN	BONITA SPRINGS	FL	34135
MELTON TRINITY RAE	10350 WEST SIDE LN	BONITA SPRINGS	FL	34135
MENDIOLAZA JOSE LUIS	23325 SANABRIA LOOP	BONITA SPRINGS	FL	34135
MERCHANT DOREEN A	25740 LAKE AMELIA WAY #203	BONITA SPRINGS	FL	34135
MESSING DANIEL FRANCIS &	309 BELMONT ST	QUINCY	MA	02170
METCALFE LOUISE S TR	10248 ENOCH LN	BONITA SPRINGS	FL	34135
METZ EDWARD JR	25461 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
MEYER FRANK W & ALISON A	10545 ESPANOLA DR	BONITA SPRINGS	FL	34135
MEYERS RICHARD PAUL	2195 BAYVIEW PL	WAYZATA	MN	55391
MFB HOLDINGS LLC	13260 IMMOCKALEE 6-40	NAPLES	FL	34120
MIER ROBERT W & MONICA A	10344 E SHARON DR	SCOTTSDALE	AZ	85260
MIGUEL TRACY XANTHE	25563 FENNER CIR	BONITA SPRINGS	FL	34135
MILLER GARY E	9764 GLEN HERON DR	BONITA SPRINGS	FL	34135
MILLER KEITH M	10072 HIDDEN PINES LN	BONITA SPRINGS	FL	34135
MILLER LEONARD L JR &	10621 SIR MICHAELS PLACE DR	BONITA SPRINGS	FL	34135
MILLER LINWOOD & BARBARA L TR	10531 VALENCIA LAKES DR	BONITA SPRINGS	FL	34135
MILLER LYNN M	25761 LAKE AMELIA WAY #203	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

MILLER MICHAEL J &	25188 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
MILLER THOMAS J + CATHERINE M	1874 HEATHER CT		WEST SAINT PAUL	MN	55118
MIRALLES ANTONIO +	25856 JARROW RD		BONITA SPRINGS	FL	34135
MIRKES NANCY J TR	25281 FAIRWAY DUNES CT		BONITA SPRINGS	FL	34135
MISHRA UMA B & SHANTILATA	10520 VALENCIA LAKES DR		BONITA SPRINGS	FL	34135
MITCHELL MARY M &	CMR 409	BOX 443	APO	AE	09053
MLSL LLC	6945 LAKEVIEW DR		YALAHA	FL	34797
MOHANTY AJAYA K +	6667 AVIGNON BLVD		FALLS CHURCH	VA	22043
MOLANO JOSE & GRACIELA	10311 ST PATRICK LN		BONITA SPRINGS	FL	34135
MOLINARO ALFRED + BARBARA	1344 128TH STREET		LEMONT	IL	60439
MONSALVE JORGE I +	10251 MADDOX LN #422		BONITA SPRINGS	FL	34135
MONTALVO JESSICA	10651 LANDAU LN		BONITA SPRINGS	FL	34135
MOORE ROBERT + PATRICIA	25804 COCKLESHELL DR APT B112		BONITA SPRINGS	FL	34135
MOORMAN THOMAS + DONNA	25154 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
MOORMAN TIMOTHY A +	10225 SHANGRI-LA RD		BONITA SPRINGS	FL	34135
MORANDE ROBERT J + ALYS R	23265 SALINAS WAY		BONITA SPRINGS	FL	34135
MORPHIS LARRY + DORIS D	10347 WILD TURKEY AVE		BONITA SPRINGS	FL	34135
MORPHIS LARRY R & DORIS D	10347 WILD TURKEY AVE		BONITA SPRINGS	FL	34135
MORRISON JOHN W TR	2171 TEAL CT SE		GRAND RAPIDS	MI	49546
MOTES DAVID G + ANDREA K	10301 WEST SIDE LN		BONITA SPRINGS	FL	34135
MOYER PATRICIA A	25741 LAKE AMELIA WAY #105		BONITA SPRINGS	FL	34135
MRAZ THOMAS A + ANITA L	25555 FENNER CIR		BONITA SPRINGS	FL	34135
MUELLER ALBERT J + MARY LOU	10111 MADDOX LN # H102		BONITA SPRINGS	FL	34135
MUELLER RONALD J & DENISE M	23260 SANABRIA LOOP		BONITA SPRINGS	FL	34135
MULFORD GAYLE A	10261 MADDOX LN #513		BONITA SPRINGS	FL	34135
MUND MICHAEL A & DEBRA L	10275 AVONLEIGH DR		BONITA SPRINGS	FL	34135
MURPHY JOSEPH P & TERRI S	10131 BROOK RIDGE LN		BONITA SPRINGS	FL	34135
MURPHY JUDITH D	25488 COCKLESHELL DR # 701		BONITA SPRINGS	FL	34135
MURPHY MARY TR	10251 ST PATRICK LN		BONITA SPRINGS	FL	34135
MURPHY ROGER P & LEA ANN +	5705 VALLEY RD		AMES	IA	50014
MURPHY TERESA	24948 FAIRWINDS LN		BONITA SPRINGS	FL	34135
MURRAY DONALD K III +	10600 ANKENY LN		BONITA SPRINGS	FL	34135
MUSTO LOUIS J JR + DRUANNE R	186 BROWNS PASTURE RD		STRAFFORD	NH	03884
MYERS DAVID K + CAROLYN S	243 BRENTON DR		NEWARK	OH	43055
MYERS JOHN R + SALLY	PO BOX 2452		BONITA SPRINGS	FL	34133
NABBS BERNARD + PATRICIA A +	24630 S TAMIAMI TRAIL UNIT A		BONITA SPRINGS	FL	34134
NABSTEDT SCOTT S + RITA M	25492 COCKLESHELL DR #104		BONITA SPRINGS	FL	34135
NAFD0F21 LLC	2316 PINE RIDGE RD # 453		NAPLES	FL	34109
NAGLE-SCOTT LINDA S &	25141 PARADISE RD		BONITA SPRINGS	FL	34135
NBA LLC	24988 FAIRWINDS LN		BONITA SPRINGS	FL	34135
NEAL PAULA N & WENDIE K	25451 CARNEY CIR		BONITA SPRINGS	FL	34135
NEIDIG LAWRENCE F JR + SALLY E	114 SASSAFRAS DR		SLIPPERY ROCK	PA	16057
NEIERT TAYLOR +	25117 PARADISE RD		BONITA SPRINGS	FL	34135
NEILSON WILLIAM F	25761 LAKE AMELIA WAY #201		BONITA SPRINGS	FL	34135
NEILSON WILLIAM I JR +	90 GROVE ST		PUTNAM	CT	06260
NEMBARD OWEN G	10601 SIR MICHAELS PLACE DR		BONITA SPRINGS	FL	34135
NESPECA ERNEST P	23437 CORAL BEAN CT		BONITA SPRINGS	FL	34134

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

NESSSELHAUF THOMAS + DEBORAH TR	25486 COCKLESHELL DR #802	BONITA SPRINGS	FL	34135
NEWCUMB WILLIAM J & GAIL A	10020 MADDOX LN # 110	BONITA SPRINGS	FL	34135
NEWMAN KENNETH A	10325 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
NEWTON WILLIAM R	25178 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
NGUYEN JESSICA HOANG	25314 STILLWELL PKWY	BONITA SPRINGS	FL	34135
NGUYEN KIEN THANH	13625 EAGLE RIDGE DR APT 318	FORT MYERS	FL	33912
NGUYEN TUAN HUU &	25021 PARADISE RD	BONITA SPRINGS	FL	34135
NICCUM KERRY L + CAROL J	25171 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
NIELSEN HARALD P +	25213 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
NIEMAN PATRICIA TR	25762 LAKE AMELIA WAY #101	BONITA SPRINGS	FL	34135
NIETO PAULINO & ARACELI	10277 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
NOLL MARY E	10031 MADDOX LN #102	BONITA SPRINGS	FL	34135
NOLTE BENJAMIN J TR	25250 CORZINE RD	BONITA SPRINGS	FL	34135
NORRIS DAVID C + KAREN M	10118 AVONLEIGH DR	BONITA SPRINGS	FL	34135
NORTON ROBERT T & JOY E TR	24960 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
NUNNINK LEO A + SHIRLEY A	25481 PARADISE RD	BONITA SPRINGS	FL	34135
NUNNINK SHIRLEY A TR	25481 PARADISE RD	BONITA SPRINGS	FL	34135
NUZZO MICHAEL	440 GLEN AVE	ELLWOOD CITY	PA	16117
OBRIEN JOHN A III	25496-303 COCKLESHELL DR	BONITA SPRINGS	FL	34135
OBRIEN LEONARD R	25416 CARNEY CIR	BONITA SPRINGS	FL	34135
OBRIEN LEONARD ROBERT	25416 CARNEY CIR	BONITA SPRINGS	FL	34135
OCONNELL ELLEN J	25371 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
OCONNOR WILLIAM F & KAREN P	23304 SANABRIA LOOP	BONITA SPRINGS	FL	34135
OETTMEIER DELORIS E	25480 COCKLESHELL DR #1005	BONITA SPRINGS	FL	34135
OGLE BARBARA J +	24981 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
OGNEOVSKI CYNTHIA C &	10 WOOD SPRING HILL DR	HONEOYE FALLS	NY	14472
OLBERDING DUANE A + JUDY A	10335 SAINT PATRICK LN	BONITA SPRINGS	FL	34135
OLDFIELD THOMAS + MARYANN	55 TYNEMOUTH DR	LUMBERTON	NJ	08048
OLEARY MARY LU TR +	1211 WESTON DR	ARLINGTON HEIGHTS	IL	60004
OLGUIN PAULINA &	25808 COCKLESHELL DR #117	BONITA SPRINGS	FL	34135
OLSEN MURIEL A	24800 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
OLSON DON B & BETTE J	10233 AVONLEIGH DR	BONITA SPRINGS	FL	34135
OLSON RONALD + CELESTE M	21232 BRAXFIELD LOOP	ESTERO	FL	33928
OLYMPUS ESTATE INC	4912 BAYBRIDGE BLVD	ESTERO	FL	33928
OMALLEY MERRY J & MICHAEL G	10290 STRIKE LN	BONITA SPRINGS	FL	34135
ONTOLCHIK ROBERT J + JAN L	23328 SANABRIA LOOP	BONITA SPRINGS	FL	34135
OPRANDY DEBORAH L	10011 MADDOX LN #104	BONITA SPRINGS	FL	34135
ORKOVITZ LAWRENCE E + LINDA A	10426 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
OSBORNE VANROY JR + AMY JO	25579 FENNER CIR	BONITA SPRINGS	FL	34135
OTTO MARILYN +	10301 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
OVERTON BRIAN ALAN	10426 WILD TURKEY AVE	BONITA SPRINGS	FL	34135
OWENS STUART F	25559 FENNER CIR	BONITA SPRINGS	FL	34135
PAAVO CHARLES M + CAROL H TR	45194 PINETREE DR	PLYMOUTH	MI	48170
PACETTI MATTHEW +	10301 BINKY LN	BONITA SPRINGS	FL	34135
PACH RONALD + ALICE	1511 W STRASBURG RD	WEST CHESTER	PA	19382
PACH RONALD F + ALICE L	1511 W STRASBURG RD	WEST CHESTER	PA	19382
PACI PATRICIA A	25231 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

PALACIOS ROMAN	10285 AVONLEIGH DR		BONITA SPRINGS	FL	34135
PALAVIN KENNETH JAMES	25498 COCKLESHELL DR # 404		BONITA SPRINGS	FL	34135
PALLADINO LETITIA A + JOSEPH M	25755 LAKE AMELIA WAY # 104		BONITA SPRINGS	FL	34135
PALMER DOREEN A	584 WOODHOUSE AV		WALLINGFORD	CT	06492
PALMIERI GABRIEL III TR	39 MANOR DR		NORTH HAVEN	CT	06473
PALUMBO CHRISTINE E	25492 COCKLESHELL DR #101		BONITA SPRINGS	FL	34135
PANDOLFI CAROL A &	9780 GLEN HERON DR		BONITA SPRINGS	FL	34135
PANEK RICHARD W + MARLENE R	25155 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
PANZERI PETER	24867 PARADISE RD		BONITA SPRINGS	FL	34135
PAPPALARDO MONICA	10570 SIR MICHAELS PLACE DR		BONITA SPRINGS	FL	34135
PARADISE WOODS ASSN	247 N COLLIER BLVD STE 202		MARCO ISLAND	FL	34145
PARENTEAU GREGORY & DONNA	22724 355TH ST SE		ERSKINE	MN	56535
PARISI ALEX & KRISTEN L	9727 GLEN HERON DR		BONITA SPRINGS	FL	34135
PARKINSON WESLEY ROBERT &	25539 FENNER CIR		BONITA SPRINGS	FL	34135
PARKS MARLIN RENARD +	179 KEELSON DR		DETROIT	MI	48215
PARKS SHARON J	25189 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
PARRAZALEZ DULCE	25808 COCKLESHELL DR #217		BONITA SPRINGS	FL	34135
PARRIS ALAN K + PATRICIA A	10121 MADDOX LN #105		BONITA SPRINGS	FL	34135
PARRISH HARLAN &	10279 AVONLEIGH DR		BONITA SPRINGS	FL	34135
PARTRIDGE JULIAN E	23324 SANABRIA LOOP		BONITA SPRINGS	FL	34135
PASS MITCHELL P & CARLY A	25250 DIVOT DR		BONITA SPRINGS	FL	34135
PASS PAUL + PAMELA	10591 ANKENY LN		BONITA SPRINGS	FL	34135
PATRICIA A SKARR TRUST +	LAURA SKARR CHICK	860 JOHNSTOWN LN APT B	WHEATON	IL	60189
PATTERSON BRIAN THOMAS	25221 FAIRWAY DUNES CT		BONITA SPRINGS	FL	34135
PATTERSON DEBRA K	25150 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
PATTERSON DENNIS D + JANET B	10650 WOOD IBIS AVE		BONITA SPRINGS	FL	34135
PAULEY LUTHER C + KAREN S	10276 ST PATRICK LN		BONITA SPRINGS	FL	34135
PAULEY RUBY L TR	25810 COCKLESHELL DR APT E117		BONITA SPRINGS	FL	34135
PAULHUS ELISABETH A &	10640 WOOD IBIS AVE		BONITA SPRINGS	FL	34135
PAULSEN PEGGY H TR	2034 BRANDON RD		GLENVIEW	IL	60025
PAVEY MASHELLE MARIE TR	10355 DAWN AVE		NAPERVILLE	IL	60564
PCFC-BONITA LLC	961 TRAIL TERRACE DR		NAPLES	FL	34103
PEARLMAN RICHARD &	23252 SANABRIA LOOP		BONITA SPRINGS	FL	34135
PECOR JOSEPH M TR	W326N3954 NORTHLAKE DR		HARTLAND	WI	53029
PEDERSON DONALD G & JOAN G TR	7500 YORK AVE S UNIT 239		EDINA	MN	55435
PEDIT THOMAS A & KATHRYN A	10451 TIGRESS LN		BONITA SPRINGS	FL	34135
PEIL AARON & VANESSA ELAINE	10631 ANKENY LN		BONITA SPRINGS	FL	34135
PEPPERS JASON +	10250 ST PATRICK LN		BONITA SPRINGS	FL	34135
PEPPERS KAREN M +	9731 GLEN HERON DR		BONITA SPRINGS	FL	34135
PEREZ BALDEMAR J	4899 ROYAL PALM DR		ESTERO	FL	33928
PEREZ JOSE MARIA +	23331 SANABRIA LOOP		BONITA SPRINGS	FL	34135
PERFETTO ANTHONY J+ KEARSTON K	25623 NOEL LN		BONITA SPRINGS	FL	34135
PERFETTO VINCENT G + TRUCEAL M	25624 JARROW RD		BONITA SPRINGS	FL	34135
PERIATT LISA MARIE	10506 VALENCIA LAKES DR		BONITA SPRINGS	FL	34135
PERINO MICHAEL	9771 GLEN HERON DR		BONITA SPRINGS	FL	34135
PERKINS LEONARD + MARTHA E	937 STATE HIGHWAY 3		BAR HARBOR	ME	04609
PERKINS VICTOR E &	162 RIVERVIEW LN		TALLADEGA	AL	35160

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

PERRY ALLEN PAUL &	24710 PARADISE RD		BONITA SPRINGS	FL	34135
PERRY DEBORAH ELIZABETH H &	25746 LAKE AMELIA WAY #203		BONITA SPRINGS	FL	34135
PERRY DEBRA M	10425 WILD TURKEY AVE		BONITA SPRINGS	FL	34135
PESSOLANO PAUL + ELIZABETH	25220 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
PETELER GEORGE P III + CLAIRE	24961 PARADISE RD		BONITA SPRINGS	FL	34135
PETERS DONALD HARVEY	10131 MADDOX LN #201		BONITA SPRINGS	FL	34135
PETERS HAROLD V + LAURA J	23140 SANABRIA LOOP		BONITA SPRINGS	FL	34135
PETERS ROBERT J + MARLA J	5605 S GRAND PRAIRIE DR		SIoux FALLS	SD	57108
PETRILLA PAUL R	3110 N AVE		PARMA	OH	44134
PETROSKY NANCY TR	VERNE PETROSKY	2894 E CROWN DR	TRAVERSE CITY	MI	49685
PFEIFER WILLIAM J + BRIGITTE	6668 HARTS RD		NILES	IL	60714
PHELAN MARILYN K TR	23231 SANABRIA LOOP		BONITA SPRINGS	FL	34135
PHILLIPS MARK E	13035 TORCH RIVER RD		RAPID CITY	MI	49676
PHILLIPS MORTON J JR + MARIE	25630 OLD GASLIGHT DR		BONITA SPRINGS	FL	34135
PIERFELICE LOUIS J +	10333 WOOD IBIS AVE		BONITA SPRINGS	FL	34135
PIERRO GAIL	204 OAKDENE AVE		TEANECK	NJ	07666
PINK DONNA M TR	725 GULFSHORE DR		DESTIN	FL	32541
PIPER ROGER L + VICTORIA J	10651 WOODCHUCK LN		BONITA SPRINGS	FL	34135
PIRRO RICHARD W + MARY M	24731 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
PIZZA PATSY J + MARIE E	24980 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
PIZZO STEPHEN + GINA M	23332 SANABRIA LOOP		BONITA SPRINGS	FL	34135
PIZZUTI PROPERTIES LLC	308 SPIDER LILY LN		NAPLES	FL	34119
PLATINUM COAST FINANCIAL CORP	961 TRAIL TERRACE DR		NAPLES	FL	34103
POGGI PETER L TR	25505 LUCI DR		BONITA SPRINGS	FL	34135
POLAK JOEL K + ANGELA M	10580 WOODCHUCK LN		BONITA SPRINGS	FL	34135
POLITO STEPHEN M + HELEN	2174 POST AVE		LYNDHURST	NJ	07071
POORMAN STEVEN L + PATRICE	9712 DON DR		NORTH HUNTINGDON	PA	15642
POPP FREDERICK W SR TR	25162 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
PORDUM REBECCA L & FRANCIS	7476 DERBY RD		DERBY	NY	14047
POTTER WILLIAM H JR + ANNE G	10263 AVONLEIGH DR		BONITA SPRINGS	FL	34135
PRATS JUAN R & TALYN S	25398 STILLWELL PKWY		BONITA SPRINGS	FL	34135
PRESSELLER PAUL	10300 WILD TURKEY AVE		BONITA SPRINGS	FL	34135
PREVATTE SHIRLENE ANNETTE L/E	10030 MADDOX LN # 304		BONITA SPRINGS	FL	34135
PROVOAST JOHN & NELZABETH	9736 GLEN HERON DR		BONITA SPRINGS	FL	34135
PRUDENTE FLORENCE T	25161 FAIRWAY DUNES CT		BONITA SPRINGS	FL	34135
PUKALO MARK J & CELESTE M	24 KALLA LN		EAST AURORA	NY	14052
PYTEL JEFFERY M + THERESA M	23265 SANABRIA LOOP		BONITA SPRINGS	FL	34135
QUERCI JOHN C	23271 SANABRIA LOOP		BONITA SPRINGS	FL	34135
QUINN PATRICK D	9739 GLEN HERON DR		BONITA SPRINGS	FL	34135
RANDALL DAVE & RUTH	25484 COCKLESHELL DR #906		BONITA SPRINGS	FL	34135
RANDINELLI TODD J + MARILUISE	25831 PARADISE RD		BONITA SPRINGS	FL	34135
RATH LINDA LOU	25500 FAIRWAY DUNES CT		BONITA SPRINGS	FL	34135
RAYMONDI JAMES + SAMANTHA	4533 BEVERLY AVE NE		CANTON	OH	44714
RAZO LAURA & LEOBARDO	9704 GLEN HERON DR		BONITA SPRINGS	FL	34135
RAZZANO FRANK	10457 WILD TURKEY AVE		BONITA SPRINGS	FL	34135
REGALADO GERARDO	26630 CAPE VERDE LN		BONITA SPRINGS	FL	34135
REILLY DANIEL A + MARJORIE A	1214 SEA GIRT AVE		SEA GIRT	NJ	08750

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

REILLY WILLIAM C + DOROTHY D	23335 SANABRIA LOOP	BONITA SPRINGS	FL	34135
REINCKE CHAD A & JAMIE O	10601 WOODCHUCK LN	BONITA SPRINGS	FL	34135
RENSBERGER MICHAEL L &	23183 SANABRIA LOOP	BONITA SPRINGS	FL	34135
RENZA ROBERT A + KRISTINA E	10240 STRIKE LN	BONITA SPRINGS	FL	34135
REPULLO JOHN D	10601 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
RETTENMYER NANCY M TR	25494 COCKLESHELL DR # 201	BONITA SPRINGS	FL	34135
REYNEN RICHARD D + JUDITH A	25762 LAKE AMELIA WAY #103	BONITA SPRINGS	FL	34135
RICE EDWARD J + DIANNA L	25588 LUCI DR	BONITA SPRINGS	FL	34135
RICHARD STEPHEN + JANICE	25408 CARNEY CIR	BONITA SPRINGS	FL	34135
RICHARDSON HARRY G &	9751 GLEN HERON DR	BONITA SPRINGS	FL	34135
RICHARDSON THOMAS W + PATRICIA	25855 NOEL LN	BONITA SPRINGS	FL	34135
RICK ELIZABETH A TR	25575 FENNER CIR	BONITA SPRINGS	FL	34135
RICKSTROM KEVIN L + KATHY	23192 SANABRIA LOOP	BONITA SPRINGS	FL	34135
RIEMAN THOMAS K JR + REANNA C	24929 PARADISE RD	BONITA SPRINGS	FL	34135
RITZ BRADFORD +	10149 SHANGRILA RD	BONITA SPRINGS	FL	34135
RIVARD DOUGLAS H + KATHERINE E	2286 100TH ST	NEW RICHMOND	WI	54017
RIZZO PHIL B	10236 AVONLEIGH DR	BONITA SPRINGS	FL	34135
ROBBINS BRUCE E + DIANE M	10319 ST PATRICK LN	BONITA SPRINGS	FL	34135
ROBBINS JAMES A TR	25341 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
ROBERTSON LANA K +	10425 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
ROBERTSON NAOMI A	10611 ANKENY LN	BONITA SPRINGS	FL	34135
ROCHA MICHAEL + WENDY	6 GARY DR	MATTAPOISETT	MA	02739
ROCZKO ANN C +	23316 SANABRIA LOOP	BONITA SPRINGS	FL	34135
RODD DOUGLAS C	10401 JEF NIK LN	BONITA SPRINGS	FL	34135
RODERICK JAMES A + MYLA A	25510 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
RODRIGUES JOSEPH MICHAEL &	23240 SANABRIA LOOP	BONITA SPRINGS	FL	34135
RODRIGUEZ JENNY &	6275 W 24TH AVE APT #202	HIALEAH	FL	33016
ROETTKER DONALD J & PEGGY L	5700 BLACKWOLF RUN	CINCINNATI	OH	45247
ROGERS EILEEN S	25191 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
ROGERS FRANK +	PO BOX 23	GALESBURG	IL	61402
ROMAN HORST L + CHRISTINE TR	43666 COLUMBIA DR	CLINTON TOWNSHIP	MI	48038
ROMANO MARK	25192 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
ROMANO NICHOLAS + LOIS ANN	8718 INDEPENDENCE DR	STERLING HEIGHTS	MI	48313
ROMERO MARIA FABIOLA	PO BOX 1871	BONITA SPGS	FL	34133
RONAN JOHN T + MARCIA J	25130 DIVOT DR	BONITA SPRINGS	FL	34135
ROONEY MARVIN L + MARTHA	5049 STILLWATER BLVD N	STILLWATER	MN	55082
ROSKUSKI JOSEPH R TR	27020 PINETRAIL COURT	BONITA SPRINGS	FL	34135
ROSS WILLIAM F & JEANNE M	25402 GOLF LAKE CIR #115	BONITA SPRINGS	FL	34135
ROSSELL GREGG A & LEAH R	1900 E BROADWAY APT 117	WAUKESHA	WI	53186
ROTHENBERG LAWRENCE + MARILYN	24957 FAIRWINDS LN	BONITA SPRINGS	FL	34135
ROTIGEL JENNIFER V TR	25237 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
ROTNICKI RICHARD & RONDA	10515 VALENCIA LAKES DR	BONITA SPRINGS	FL	34135
ROUSE DOUGLAS W	470 BERRY PATCH LN	WHITE LAKE	MI	48386
ROUSSEAU JOHN J + NATALIA F	25755 LAKE AMELIA WAY, 202	BONITA SPRINGS	FL	34135
ROYALTY LARRY T &	1419 LOCUST ST	QUINCY	IL	62301
RUBINO MICHAEL E & LINDSEY	25482 LUCI DR	BONITA SPRINGS	FL	34135
RUBRECHT WOLFGANG + ALIA M TR	6 SAGEBRUSH CT	STREAMWOOD	IL	60107

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

RUDE GREG & CAROLE	681 SHEILA PL	LOMBARD	IL	60148
RUEL RICHARD W JR + SUE ANN	10131 OAK HOLLOW CT	BONITA SPRINGS	FL	34135
RUIZ GLORIA E	25804 COCKLESHELL DR #312	BONITA SPRINGS	FL	34135
RUPP CRYSTAL + MARK II	10591 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
RUSSELL JOHN & CAROL	17703 GLOBE THEATER DR	OLNEY	MD	20832
RUSSELL ROBERT R + SALLY K	10283 AVONLEIGH DR	BONITA SPRINGS	FL	34135
RUSSO JO ANN & FRANKLIN D +	9776 GLEN HERON DR	BONITA SPRINGS	FL	34135
RUTKOWSKI DAWN M + PAUL	10141 MADDOX LN #202	BONITA SPRINGS	FL	34135
RYCZAJ WILLIAM J JR &	25802 COCKLESHELL DR #114	BONITA SPRINGS	FL	34135
RYCZAJ WILMA J	25808 COCKLESHELL DR #211	BONITA SPRINGS	FL	34135
SALG MONIKA F L/E	10401 WESTSIDE LN	BONITA SPRINGS	FL	34135
SALIBA GISELE I TR	PO BOX 475	WESTWOOD	MA	02090
SALVATORE DENISE A &	25651 OLD GASLIGHT DR	BONITA SPRINGS	FL	34135
SALWACH BERNADETTE	10270 ENOCH LN	BONITA SPRINGS	FL	34135
SANOW CHARLES R JR	10627 S SPRINGFIELD	CHICAGO	IL	60655
SANTA WILLIAM D	21046 BOSCO CT	ESTERO	FL	33928
SANTIAGO JOSTINO R &	25567 FENNER CIR	BONITA SPRINGS	FL	34135
SARAVIA NORA S	25767 LAKE AMELIA WAY # 102	BONITA SPRINGS	FL	34135
SATER ARTHUR L + SHARRON K	25421 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
SAUCE RONALD F + PATRICIA L	10231 MADDOX LN #211	BONITA SPRINGS	FL	34135
SAUNDERS ALAN DENNIS +	10271 SANDY HOLLOW LN	BONITA SPRINGS	FL	34135
SAVIN JUDITH C	25484 COCKLESHELL DR #902	BONITA SPRINGS	FL	34135
SAVINO JOSEPH F + COLLEEN I	10505 ESPANOLA DR	BONITA SPRINGS	FL	34135
SCHAEFER ELOISE N +	25756 LAKE AMELIA WAY #202	BONITA SPRINGS	FL	34135
SCHAUER FRANZ P TR	25808 COCKLESHELL DR #116	BONITA SPRINGS	FL	34135
SCHECHTER ANDRE TR	26721 DUBLIN WOODS STE 1	BONITA SPRINGS	FL	34135
SCHEIN HARVEY L & ELAINE F	10515 ESPANOLA DR	BONITA SPRINGS	FL	34135
SCHELL RICHARD I + SHANNON	10350 SAINT PATRICKS LN	BONITA SPRINGS	FL	34135
SCHINKEL STEPHEN + BARBARA	200 WINDSOR DR	EATONTOWN	NJ	07724
SCHLEEDE CHRISTOPHER + DIANE	5951 CURRY RD EXT	SCHENECTADY	NY	12303
SCHLOSS MARY	9071 BONITA BEACH RD, #102	BONITA SPRINGS	FL	34133
SCHMIDT PAUL R &	24701 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
SCHONERT LEE E + LADONNA	5026 RUBY AVE	RACINE	WI	53402
SCHROEDER STEVEN R &	10054 HIDDEN PINES LN	BONITA SPRINGS	FL	34135
SCHULTE JOE G &	148 STACY CIR	WACONIA	MN	55387
SCHULTZ ANDREW	10251 ENOCH LN	BONITA SPRINGS	FL	34135
SCHWEFEL THOMAS O TR	N7302 COUNTY RD F	OCONOMOWOC	WI	53066
SCOBAY JAMES A +	10590 SIR MICHAELS PL DR	BONITA SPRINGS	FL	34135
SCOTT MARK A + JULIA A	24970 DIVOT DR	BONITA SPRINGS	FL	34135
SEIFERS BRAD	25211 DIVOT DR	BONITA SPRINGS	FL	34135
SEIFERS BRAD D	25211 DIVOT DR	BONITA SPRINGS	FL	34135
SEITZ TROY + JENNIFER	8937 WILLOWBY XING	MAPLE GROVE	MN	55311
SEREDA MIKHAIL	9767 GLEN HERON DR	BONITA SPRINGS	FL	34135
SERIO ROY T + SHIRLEY A TR	25806 COCKLESHELL DR #114	BONITA SPRINGS	FL	34135
SERNA JENNIFER +	25206 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
SETTOS DIMITRIOS & AMANDA	10460 STRIKE LN	BONITA SPRINGS	FL	34135
SEUFERT ROBERT J TR	25490 COCKLESHELL DR, #604	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

SEUFERT SVETLANA L/E	25490 COCKLESHELL DR # 604		BONITA SPRINGS	FL	34135
SHAWINSKY PETER J	25398 GOLF LAKE CIR # 201		BONITA SPRINGS	FL	34135
SHEETS CAROLE M	9731 SW 115TH AVE		MIAMI	FL	33176
SHELDON PAUL M + LINDA M	23205 SALINAS WAY		BONITA SPRINGS	FL	34135
SHELLY KEVIN L	24981 DIVOT DR		BONITA SPRINGS	FL	34135
SHELLY ROGER M + CHRISTINE L	25290 DIVOT DR		BONITA SPRINGS	FL	34135
SHERMAN LORRAINE M	10255 ENOCH LN		BONITA SPRINGS	FL	34135
SHIRLEY MARY V TR	25401 FAIRWAY DUNES CT		BONITA SPRINGS	FL	34135
SHOCK SANDRA	25464 CARNEY CIR		BONITA SPRINGS	FL	34135
SHOPE RICHARD L + VIRGINIA M	2925 GREENBRIAR LN		ALLENTOWN	PA	18103
SHUMEJDA LORA C	PO BOX 367629		BONITA SPRINGS	FL	34136
SIERTS MICHAEL + SHEILA B	PO BOX 366116		BONITA SPRINGS	FL	34136
SIGSTAD BONITA A TR	20601 EVERTON WAY N		FOREST LAKE	MN	55025
SIKORSKI ALAN E +	24782 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
SIMON ARTURO	10400 TARRAH LN		BONITA SPRINGS	FL	34135
SIMON PABLO ESTEBAN	10410 STRIKE LN		BONITA SPRINGS	FL	34135
SIMS TERRY LYNN	10141 MADDOX LN #201		BONITA SPRINGS	FL	34135
SINCHAK MICHAEL E & JAYNE M	16240 W DIANE WAY		MANHATTAN	IL	60442
SIR MICHAELS PLACE HO ASSN INC	SUNVAST MGMT + SVCS INC	381 INTERSTATE BLVD	SARASOTA	FL	34240
SIR MICHAELS PLACE HOME ASSN	CAMBRIDGE MGMT	2335 TAMIAMMI TRL N STE 402	NAPLES	FL	34103
SIROTIC ALDO + NIVES	1507 LINCOLN AVE		NEW HYDE PARK	NY	11040
SIZEMORE KAREN I	25802 COCKLESHELL DR APT A118		BONITA SPRINGS	FL	34135
SKENDO PLATON + DRITA	10631 LANDAU LN		BONITA SPRINGS	FL	34135
SKERETT WALDEMAR & MARIA	346 PLAZA RD N # B		FAIR LAWN	NJ	07410
SKILES HARVEY E + LILLY R	10630 WOOD IBIS AVE		BONITA SPRINGS	FL	34135
SKONE RONALD J TR +	1218 MARINA DR		AMERY	WI	54001
SLATER MARK S & TRACY C	25804 COCKLESHELL DR #215		BONITA SPRINGS	FL	34135
SLEEPER STEPHAN D + BONNIE E	24716 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
SMILEY PATRICK W	10457 WOOD IBIS AVE		BONITA SPRINGS	FL	34135
SMITH ANITA M TR	915 MCCONNOICHE CT		WEST DUNDEE	IL	60118
SMITH CARL +	25496 COCKLESHELL DR #301		BONITA SPRINGS	FL	34135
SMITH KEVIN R + VANESSA	24895 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
SMITH ROBERT F JR &	25541 FAIRWAY DUNES CT		BONITA SPRINGS	FL	34135
SMITH ROBERT SIDNEY &	23272 SANABRIA LOOP		BONITA SPRINGS	FL	34135
SMREK PHILIP P +	20 LAKE POINTE CIR		CANFIELD	OH	44406
SNYDER FRANCIS J + MARGARET TR	4632 ROUTE 98		GREAT VALLEY	NY	14741
SOBEZAK DENNIS R + PAULA L	3141 SYLVESTER DR		HARTLAND	WI	53029
SOLIMINE JENNIFER ANN +	23276 SANABRIA LOOP		BONITA SPRINGS	FL	34135
SOMERS SCOTT A	25448 CARNEY CIR		BONITA SPRINGS	FL	34135
SOMERS WILLIAM + STEFANY	10400 MORNINGSIDE LN		BONITA SPRINGS	FL	34135
SONNENBERG WILLIAM L &	25152 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
SOUTH RIVERSIDE LLC	27282 SOUTH RIVERSIDE DR		BONITA SPRINGS	FL	34135
SOUTHLANDS HOMEOWNERS ASSN	11680 BONITA BEACH RD SE		BONITA SPRINGS	FL	34135
SP HOLDINGS OF SW FLORIDA LLC	11150 LIVINGSTON RD		NAPLES	FL	34105
SPANISH LAKES INC	23150 FASHION DR # 236		ESTERO	FL	33928
SPEAKMAN DAVID F + JOYCE A	24683 PARADISE RD		BONITA SPRINGS	FL	34135
SPECK MICHAEL A +	7142 AKRON RD		LOCKPORT	NY	14094

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

SPENCER ROBERT B II	10141 MADDOX LN #102	BONITA SPRINGS	FL	34135
SPLKE KATHLEEN	PO BOX 366393	BONITA SPRINGS	FL	34136
SPINNER THOMAS L & MARIA A	16 GETTYSBURG CT	ALLENTOWN	NJ	08501
SPRIGGS DANIEL EDWARD &	24585 PARADISE RD	BONITA SPRINGS	FL	34135
STAAB BRIAN + KAREN	25740 LAKE AMELIA WAY # 102	BONITA SPRINGS	FL	34135
STAFFORD SANDRA	25441 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
STAIGER GARTH D JR	10601 ANKENY LN	BONITA SPRINGS	FL	34135
STANDISH GEORGE T & LINDA M	12 PLEASANTSIDE DR	WAYLAND	NY	14572
STANEK PAUL F TR	10201 SHANGRI-LA RD	BONITA SPRINGS	FL	34135
STAPLETON PHILIP +	31400 BELLEVUE DR	BELLEVUE	IA	52031
STAROPOLI MATTHEW C + BRUNILDA	19 SHERWOOD DR	NANUET	NY	10954
STAYTON RICHARD DEAN &	2103 SYCAMORE DR	HARRISBURG	PA	17112
STEEH ROBERT J + DIANE B	6635 SNOWSHOE LN	BRIGHTON	MI	48116
STEELE KATHRYN MAYER	25761 LAKE AMELIA WAY UNIT 105	BONITA SPRINGS	FL	34135
STEGER LINDA L	25850 PARADISE RD	BONITA SPRINGS	FL	34135
STEPHENS RYAN J + MICHELLE J	23209 SALINAS WAY	BONITA SPRINGS	FL	34135
STONE WENDY D	25741 LAKE AMELIA WAY # 103	BONITA SPRINGS	FL	34135
STRAIGHT FINANCIAL LLC	24266 RODAS DR	BONITA SPRINGS	FL	34135
STRENFEL TONYA L	24964 FAIRWINDS LN	BONITA SPRINGS	FL	34135
STRILBYCKIJ ANNA	25746 LAKE AMELIA WAY #103	BONITA SPRINGS	FL	34135
STROPE SCOTT M &	9746 GLEN HERON DR	BONITA SPRINGS	FL	34135
STRUM GERALD L + SHARON TR	8236 W ROSE LAKE	CANYON	MN	55717
STUCK DEBORAH E & JAMES A	96 PEAR BLOSSOM LANE	CAMDEN	DE	19934
SULLIVAN BARBARA ANN &	25746 LAKE AMELIA WAY #104	BONITA SPRINGS	FL	34135
SULZER ERICH + URSULA	10264 AVONLEIGH DR	BONITA SPRINGS	FL	34135
SUMMERALL SCOTT +	12751 DEVONSHIRE LAKES CIR	FORT MYERS	FL	33913
SUTTER ROBERT H + JANICE	4854 W 350 S	BERNE	IN	46711
SUVAGI LLC	2022 HARROW GATE DR	WOODSTOCK	IL	60098
SWAN BARBARA J	24960 DIVOT DR	BONITA SPRINGS	FL	34135
SWEENEY ROBERT J + JOYCE E	1725 W WARDLOW RD	HIGHLAND	MI	48357
SWIGER CHRISTINE ADELE MOORE	10450 JEF NIK LN	BONITA SPRINGS	FL	34135
SWIGGUM PHILIP M + PAULA D +	4747 BEACON HILL RD	EAGAN	MN	55122
SWINDERMAN KALEB RAY	10275 SAINT PATRICK LN	BONITA SPRINGS	FL	34135
SYKES TIMOTHY J	25488 COCKLESHELL DR APT 702	BONITA SPRINGS	FL	34135
SYMONS MATTHEW J &	10570 LANDAU LN	BONITA SPRINGS	FL	34135
SZALA DORIS J	25730 LAKE AMELIA WAY #101	BONITA SPRINGS	FL	34135
TACKWELL STEVEN + SHIRLEE	3800 N AIRPORT RD	COLUMBIA CITY	IN	46725
TAMAN SARA	9788 GLEN HERON DR	BONITA SPRINGS	FL	34135
TANNER BRAD CURTIS +	25261 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
TANNER ROBIN	25163 PARADISE RD	BONITA SPRINGS	FL	34135
TARABORELLI LORY	25480 COCKLESHELL DR #1001	BONITA SPRINGS	FL	34135
TAYLOR JANICE R	10010 MADDOX LN #218	BONITA SPRINGS	FL	34135
TAYLOR JOSEPH & DEVIN	18182 SYKES RD	ESTERO	FL	33928
TAYLOR KEVIN + CAROL J +	10121 MADDOX LN # 101	BONITA SPRINGS	FL	34135
TAYLOR MARY J	10221 MADDOX LN #112	BONITA SPRINGS	FL	34135
TAYLOR PAUL S + PATTI A	1412 E GLEN AVE	PEORIA HEIGHTS	IL	61616
TEDESCO MICHAEL A &	25747 LAKE AMELIA WAY UNIT 203	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

TEMPEL JUDY A	25677 OLD GASLIGHT DR	BONITA SPRINGS	FL	34135
TENNANT MICHAEL ALAN &	25572 FENNER CIR	BONITA SPRINGS	FL	34135
TENNEY JOHN A + JACQUELINE	24941 DIVOT DR	BONITA SPRINGS	FL	34135
TER-RAN LLC	PO BOX 2325	BONITA SPRINGS	FL	34133
THEGENUS ALAIN +	10621 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
THIES HEINZ + KARIN	10284 AVONLEIGH DR	BONITA SPRINGS	FL	34135
THIES HEINZ W + DIANA F	10256 AVONLEIGH DR	BONITA SPRINGS	FL	34135
THOMAN RICHARD C & NANCY J TR	25806 COCKLESHELL DR # 214	BONITA SPRINGS	FL	34135
THOMAS + LYNN A SIEGERT TRUST	539 W HELLER DR	EAST DUBUQUE	IL	61025
THOMAS ALAN SCHUMAN II &	3030 BEACON WOODS DR	CLEVES	OH	45002
THOMAS BONNIE J & BILLY R	15833 BRIXTON DR	NOBLESVILLE	IN	46060
THOMPSON JANICE A + ERNEST E	2780 S 11TH ST	KALAMAZOO	MI	49009
TIBAY BENEDICT C & PACITA M	10524 VALENCIA LAKES DR	BONITA SPRINGS	FL	34135
TIBBETTS MARK H TR	25550 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
TIDWELL DUSTIN M +	10651 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
TIEBEN JEROME E + TORI J	25110 DIVOT DR	BONITA SPRINGS	FL	34135
TIMOLEON JOHNSON	2301 ARBOUR WALK CIR #221	NAPLES	FL	34109
TIRSCHEK JOSEPH D +	25249 PARADISE RD	BONITA SPRINGS	FL	34135
TITUS DAVID LORING &	10509 VALENCIA LAKES DR	BONITA SPRINGS	FL	34135
TOBIAS EILEEN & GILBERT	25233 GOLF LAKE CIR	BONITA SPRINGS	FL	34135
TOSCH ROBERT + ROSEMARY IRENE	23179 SANABRIA LOOP	BONITA SPRINGS	FL	34135
TOSLLUKU STEFAN +	10332 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
TOTH GLENN WILLIAM &	10231 MADDOX LN #213	BONITA SPRINGS	FL	34135
TRALEWSKI SHIRLEY	24999 PARADISE RD	BONITA SPRINGS	FL	34135
TRAN AN	13643 MESSINO CT	ESTERO	FL	33928
TRAN LONG VINH &	9576 STRIKE LN	BONITA SPRINGS	FL	34135
TSELEPIS LEA I + CONRAD T	80 LINTEL DR	MCMURRAY	PA	15317
TUCKER THOMAS B + LYNN	1320 HERNANDO ST	NAPLES	FL	34103
TUOHY JOHN J & EILEEN M	8 CARROUSEL CT	BALLSTON SPA	NY	12020
TUOHY THOMAS	10330 TARRAH LN	BONITA SPRINGS	FL	34135
TURKAL JOHN G & NANCY L	10110 BROOK RIDGE LN	BONITA SPRINGS	FL	34135
TURNER EDWIN C + BEVERLY A	25710 LAKE AMELIA WAY #203	BONITA SPRINGS	FL	34135
TURNER VAL A + ROSEMARY	25160 DIVOT DR	BONITA SPRINGS	FL	34135
TWAR STEPHANIE	10571 ANKENY LN	BONITA SPRINGS	FL	34135
TWEDDLE GARY H + KAREN E	9313 HILLS COVE CT	GOODRICH	MI	48438
UHRICK KELLY A	1013 JAMESTOWN RD	BROOMALL	PA	19008
ULMAN ELIZABETH +	10260 STRIKE LN	BONITA SPRINGS	FL	34135
UNKNOWN HEIRS OF	25461 CARNEY CIR	BONITA SPRINGS	FL	34135
UNSWORTH AMBER D	25504 CARNEY CIR	BONITA SPRINGS	FL	34135
URLAND WILLIAM C + CHLOE J	1119 EDWARD AVE	ALLENTOWN	PA	18103
URSO MARIO P & LINDA L	3 FARM FIELD LN	PITTSFORD	NY	14534
VACCA ANTHONY R TR	PO BOX 1123	COLORADO SPRINGS	CO	80901
VALLEI MICHELLE +	24811 AVONLEIGH CT	BONITA SPRINGS	FL	34135
VALLEJOS GABRIELA HELENA SUARE	25482 COCKLESHELL DR # 1102	BONITA SPRINGS	FL	34135
VALOSIK RAYMOND J + KATHLEEN A	25767 LAKE AMELIA WAY #205	BONITA SPRINGS	FL	34135
VAN HEUKELOM RICHARD ARNOLD &	10527 VALENCIA LAKES DR	BONITA SPRINGS	FL	34135
VAN OSDOL WILLIAM + JANE	804 ALLEN CT	WESTFIELD	IN	46074

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

VANCE WILLIAM J III + DONNA E	10498 WILD TURKEY AV		BONITA SPRINGS	FL	34135
VANCOPPENOLLE BARBARA	1718 STAN HOPE		GROSSE POINTE WOODS	MI	48236
VANDERMILLEN SUZANNE M	25583 FENNER CIR		BONITA SPRINGS	FL	34135
VANDERVORT ROBBIN L + CATHY H	25194 GOLF LAKE CIR		BONITA SPRINGS	FL	34135
VANEGAS MARIA	10590 WOOD IBIS AVE		BONITA SPRINGS	FL	34135
VANKLEEF CORNELIS + SUSAN	10122 AVONLEIGH DR		BONITA SPRINGS	FL	34135
VASUDEVAN CHITTIBABU +	23172 SANABRIA LOOP		BONITA SPRINGS	FL	34135
VAUGHT MICHAEL C	PO BOX 1031		ANDERSON	IN	46015
VEENHUIS DIANE	628 CORTLAND CIR		CHESHIRE	CT	06410
VELARDO MARIE E	VELARDO WILLIAM	8 MICHAEL RD	WAKEFIELD	MA	01880
VELDA A FAY TRUST +	CAROLE C LEVICK	768 WIGGINS LAKE DR #101	NAPLES	FL	34110
VELIKOV ILKOAT +	2855 MIZZEN WAY		NAPLES	FL	34109
VENTURA ARLENE E TR	133 WEST PALATINE RD, UNIT 311		PALATINE	IL	60067
VERNON ALEXANDER +	24849 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
VET THOMAS D & CHERIE T	24816 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
VILLAGES OF BONITA MASTER ASSN	WBG SW FLORIDA INC	27800 OLD 41 RD	BONITA SPRINGS	FL	34135
VOSBERG DENNIS M + SUSAN E	23133 SANABRIA LOOP		BONITA SPRINGS	FL	34135
VRANA ANN MARIE	25756 LAKE AMELIA WAY #204		BONITA SPRINGS	FL	34135
WADDELL JEAN ANN +	25480 CARNEY CIR		BONITA SPRINGS	FL	34135
WAGEMAN JAMES F + TERESA M TR	25810 COCKLESHELL DR APT E213		BONITA SPRINGS	FL	34135
WAGGENER BEVERLY JO TR	10264 ST PATRICK LN		BONITA SPRINGS	FL	34135
WAGGONER MARY ALLISON	24881 CARNOUSTIE CT		BONITA SPRINGS	FL	34135
WALCOTT MARY E TR	25472 CARNEY CIR		BONITA SPRINGS	FL	34135
WALKER JOHN M + SHEILA A	1105 WESTFIELD CIR		PAINESVILLE	OH	44077
WALKER KATHLEEN A TR	5240 BLAIR RD		PERRY	OH	44081
WALKER KORY W +	23277 SALINAS WAY		BONITA SPRINGS	FL	34135
WALL JOHN J + ELAINE H	24700 PARADISE RD		BONITA SPRINGS	FL	34135
WALLACE LORI SCHUCKLAT	10278 WOOD IBIS AVE		BONITA SPRINGS	FL	34135
WALLS SUONG THI TR	4491 HARTWELL RD		COLUMBUS	OH	43224
WALTER CHARLES TODD IV	10041 MADDOX LN #201		BONITA SPRINGS	FL	34135
WALTERS JOSEPH J + KATIE L	10439 WOOD IBIS AVE		BONITA SPRINGS	FL	34135
WAPPETT KATHLEEN TR	10010 MADDOX LN #119		BONITA SPRINGS	FL	34135
WARYAS THERESA M TR	24709 RODAS DR		BONITA SPRINGS	FL	34135
WAYNE DAVID W & LORI C	25804 COCKLESHELL DR, #316		BONITA SPRINGS	FL	34135
WEBB JOHN R L/E	25520 FAIRWAY DUNES CT		BONITA SPRINGS	FL	34135
WEIGARD WAYNE + JUDY	3594 BEAUFORT CT		NAPLES	FL	34119
WEINERMAN DAVE & DENISE	16 W RISING SUN DR		OCEAN VIEW	NJ	08230
WELSH THOMAS R + PATRICIA	5890 TIMBERLINE CT		NEW MIDDLETOWN	OH	44442
WENDLING TOREY L	10400 WEST SIDE LN		BONITA SPRINGS	FL	34135
WENZ DONALD + JOAN	25747 LAKE AMELIA WAY #202		BONITA SPRINGS	FL	34135
WEST BILLIE P	25484 COCKLESHELL DRIVE #903		BONITA SPRINGS	FL	34135
WEST JEFFREY M & DIANE M L/E	10060 HIDDEN PINES LN		BONITA SPRINGS	FL	34135
WESTERLUND JOHN & RAYMA A	508 INWOOD RD		LINDEN	NJ	07036
WEURDING STEVEN + DEBORAH N	2646 BLUESTONE CIR		KALAMAZOO	MI	49009
WHEAT THOMAS M JR +	PO BOX 27A		LIMA	NY	14485
WHEELER SARAH B	259 W FOX CREEK LN		WHITESBORO	TX	76273
WHITE CURTIS & CATHRYN	25100 DIVOT DR		BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

WHITE JAMES G + JOANNE	24916 CARNOUSTIE CT	BONITA SPRINGS	FL	34135
WHITE ROBERT W SR &	23336 SANABRIA LOOP	BONITA SPRINGS	FL	34135
WHITNEY ELIZABETH MAE	25802 COCKLESHELL DR #212	BONITA SPRINGS	FL	34135
WHITTAKER MARTHA L/E	550 LANCESHIRE LN	STATE COLLEGE	PA	16803
WHITTEMORE BONNIE M	25151 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
WICKA WAYNE S	266 E SANBORN ST	WINONA	MN	55987
WICKETT JULIE A &	9763 GLEN HERON DR	BONITA SPRINGS	FL	34135
WIDHALM PAUL + RAQUEL	24900 DIVOT DT	BONITA SPRINGS	FL	34135
WIED THOMAS K + CATHERINE A	4797 EDGEWATER BEACH RD	GREEN BAY	WI	54311
WIGAND CRAIG W	PO BOX 367629	BONITA SPRINGS	FL	34136
WILHELM JAMES R TR	9716 GLEN HERON DR	BONITA SPRINGS	FL	34135
WILKER JAY R +	10600 WOOD IBIS AVE	BONITA SPRINGS	FL	34135
WILKINSON DONALD L + FELICIA M	10259 ST PATRICK LN	BONITA SPRINGS	FL	34135
WILLETTS BRENT STEPHEN 1/2 +	32119 JAMES ST	GARDEN CITY	MI	48135
WILLIAM D VANDERWEELE TRUST +	6994 BOULDER POINTE CT	WASHINGTON	MI	48094
WILLIAMSON GREGORY S &	507 ASHMONT ST	BOSTON	MA	02122
WILSON DALE R + CAROL A	702 WALES WAY	ASHLAND	VA	23005
WILSON ROSS C + LESIA B	50 PICKNEY ST	BOSTON	MA	02114
WINNE JAMES C & SHARON A TR	59658 THUNDER HEAD DR	WASHINGTON TOWNSHIP	MI	48094
WINSETT RONALD + MARGERY H	25471 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
WIRTH RICHARD +	24909 FAIRWINDS LN	BONITA SPRINGS	FL	34135
WIRTH ROBERT A TR	2260 MISTY CT	NEW BERLIN	WI	53151
WITHEROW MICHAEL A JR &	10580 LANDAU LN	BONITA SPRINGS	FL	34135
WOJTOWICZ ROBERT P + VIRGINIA	25402 GOLF LAKE CIR #217	BONITA SPRINGS	FL	34135
WOLIN KELLI JEAN &	25486 COCKLESHELL DR #804	BONITA SPRINGS	FL	34135
WOOD THOMAS H & DENISE	25398 GOLF LAKE CIR # 206	BONITA SPRINGS	FL	34135
WOODBIDGE AT BONITA GOLF CLUB	10591 ANKENY LN	BONITA SPRINGS	FL	34135
WOODHOUSE ALBERT TR	25581 FAIRWAY DUNES CT	BONITA SPRINGS	FL	34135
WOODRUFF DONALD L JR + AMANDA	10640 LANDAU LN	BONITA SPRINGS	FL	34135
WOODS MARY ANN TR	5746 HILLCAMP CT	SAINT LOUIS	MO	63128
WOODWARD LINDA ANN +	10440 STRIKE LN	BONITA SPRINGS	FL	34135
WOULAS MICHAEL + NANCY	25010 DIVOT DR	BONITA SPRINGS	FL	34135
WRIGHT EDWARD L/E	25398 GOLF LAKE CIR #103	BONITA SPRINGS	FL	34135
WRIGHT JOHN L & SHIRLEY A TR	25806 COCKLESHELL DR APT C216	BONITA SPRINGS	FL	34135
WRIGHT SUSAN MAE	24542 CLAIRE ST	BONITA SPRINGS	FL	34135
YARNELL EMILY + JESSE	10631 WOOD IRIS AVE	BONITA SPRINGS	FL	34135
YAVORSKY THOMAS DAVID	10248 AVONLEIGH DR	BONITA SPRINGS	FL	34135
YERANSIAN THOMAS W + ELIZABETH	7 WINSLOW WAY	MANSFIELD	MA	02048
YOCHUM JOHN + WANDA	9768 GLEN HERON DR	BONITA SPRINGS	FL	34135
YOHAI MARK M TR	2 STONE HILL RD	WESTBOROUGH	MA	01581
YORK KENNETH H + LINDA A	10252 AVONLEIGH DR	BONITA SPRINGS	FL	34135
YOUNG DAVID H + CAROL A	10350 MARLIN LN	BONITA SPRINGS	FL	34135
YOUNG JAMES V SR TR +	10630 WOODCHUCK LN	BONITA SPRINGS	FL	34135
YOUNG RAY ALLISON + JANICE	350 33RD ST NW	CANTON	OH	44709
YOUNGBLOOD BHAIRAVI	23243 SANABRIA LOOP	BONITA SPRINGS	FL	34135
YOUNGBLOOD ROBERT A TR	25504 STILLWELL PKWY	BONITA SPRINGS	FL	34135
YULING CHEN TRUST	PO BOX 366638	BONITA SPRINGS	FL	34136

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

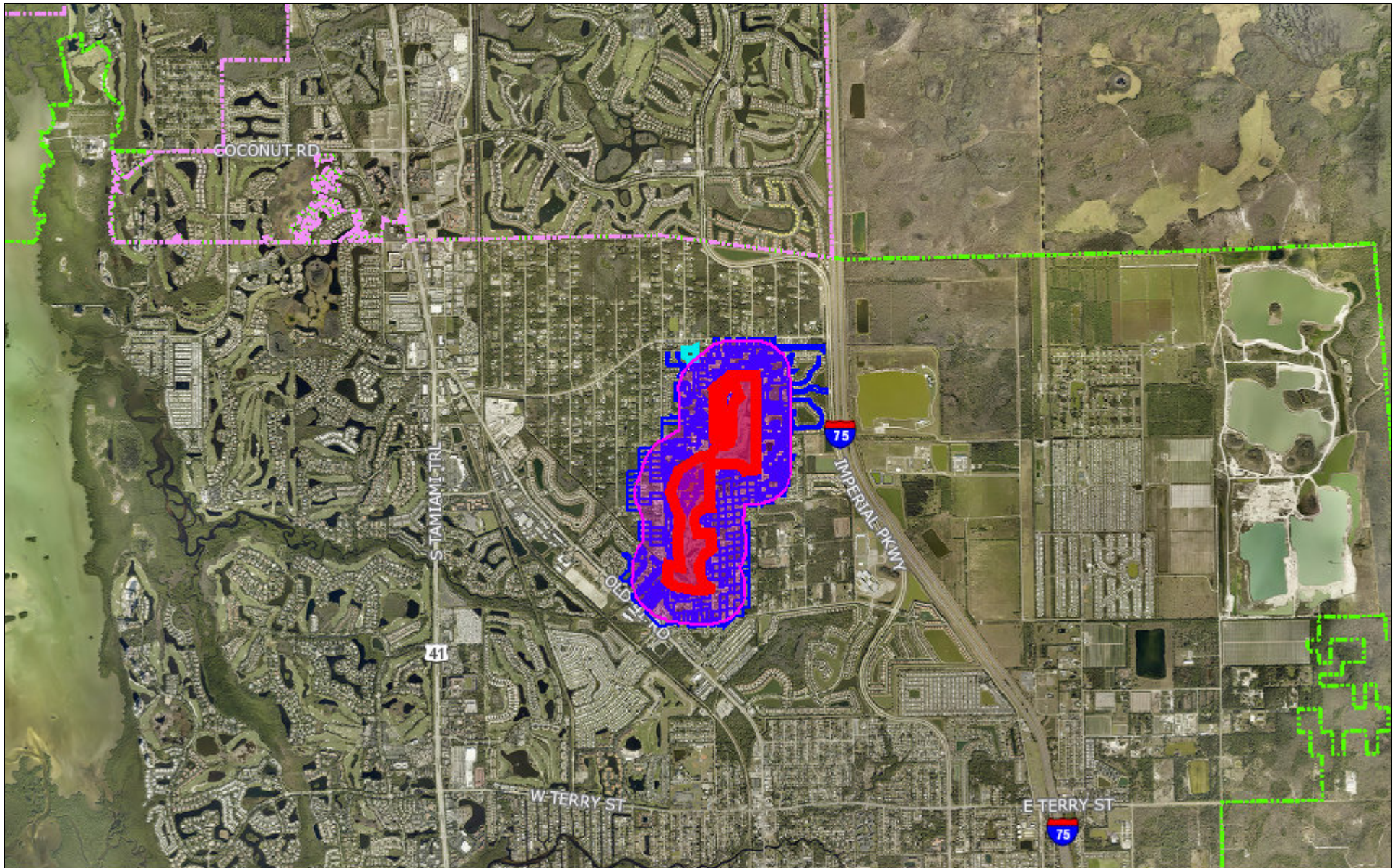
ZAJAC ANDREW & ASTRID	1324 CHURCHILL RD	SCHAUMBURG	IL	60195
ZARDECKI FRANK W + CHRISTINA S	231 CAMEO LN	CRESCO	PA	18326
ZECH KYLE A	25180 DIVOT DR	BONITA SPRINGS	FL	34135
ZIELINSKI DAVID A + COLLEEN M	24899 PARADISE RD	BONITA SPRINGS	FL	34135
ZIMINS JULIA	304 SYPE DR	CAROL STREAM	IL	60188
ZLOTEK CRAIG + LEANNE M F +	91 STRASMER RD	DEPEW	NY	14043
ZOIA BARBARA A	25217 GOLF LAKE CIR	BONITA SPRINGS	FL	34135

Bonita Springs Golf Country Club
9/10/2020 NIM Mailing

1000 FT Radius

OWNER NAME	ADDRESS1	ADDRESS2	CITY	STATE	COUNTRY	ZIP
BRYDGES ROBERT + LIANNE	5600 HENDERSON HWY		NAROL	MB	CANADA	R1C 0B4
BURNATOWSKI KEVIN J + LORI A	1754 HORSE SHOE LAKE RD		MINDEN	ON	CANADA	K0M 2K0
BYRNE PHILLIP + CONLON MARGOT	FOURWINDS GOODSHAW LANE 81 SHADYBROOK CRESCENT	CRAWSHAWBOOTH LANCASHIRE	ROSSENDALE BB48DJ GUELPH		UNITED KINGDOM CANADA	
COOK GRAHAM + JUDITH	136 SCOTHWOOD RD	HAYLING ISLAND	HAMPSHIRE PO11 9QH		UNITED KINGDOM	
COUVRETTE YVON +	523 CONC ROAD 1		L ORIGNAL	ON	CANADA	K0B 1K0
DEMOLE DAVID +	136 RENAUD		NORTE DAME D ILE PERROT	QC	CANADA	J7V 6C2
ELLIOTT NEIL S J +	246 GREEN CIR		DORVAL	QC	CANADA	H9S 3T8
GRECO DOMINIC & SILVANA	13540 KENNEDY RD		CALEDON	ON	CANADA	L7C 2G2
HANSEN BIRGIT R HANSEN	94 HILLDALE CRESCENT		GUELPH	ON	CANADA	N1G 4B6
HEGER SIEGFRIED HEGER & INDUSTRIE CARDEN INC	WITTEKINDSTR 1B 2770 CHAMPAGNE ST		WILDESHAUSEN SHERBROOK		GERMANY CANADA	27793 J1K 1W8
JOSEPH TRIUMBARI INVESTMENTS L KNECHTEL ULRICH +	3 MANSWOOD CRESCENT BRAUWEG 2		BRAMPTON 86459 GESSERTSHAUSEN	ON	CANADA GERMANY	L6T 0A3
LANCA LILLIAN WOLFF &	24 CRENDON DR		TORONTO	ON	CANADA	M9C 3G4
LAROCQUE GHISLAIN & GINETTE	6135 CH DU PORTAGE-DES-ROCHES		LATERRIERE	QC	CANADA	G7N 1Z6
MAHDAVI FARAH	4992 PINETREE CRESCENT		WEST VANCOVER	BC	CANADA	V7W 3A3
MANSOUR LABIB + NUHA	2063 BORD DU LUC ILE		BIZARD	ON	CANADA	H9C 1A6
MIADOVNIK BEN + SUSAN	49 NAPA RIDGE		ALLISTON	ON	CANADA	L9R 2E5
MIGNEAULT RICHARD + CHRISTINE	12106 ORCHARD DR		TECUMSEH	ON	CANADA	N8N 4A3
OUELLETTE JOCELYNE	222-217 EME AVENUE		ST HIPPOLYTE	QC	CANADA	J8A 1W7
SALES DAVID +	PO BOX 68		ARDMORE	AB	CANADA	TOA 0B0
STEINBERG CHRISTOPHER J +	126 W 23RD ST		HAMILTON	ON	CANADA	L9C 4V7
SULLIVAN DONALD C + CONNIE M	562 CLOUTIER DR		WINNIPEG	MB	CANADA	R3V 1L3
SWALES JOHN J	80 BURNS BLVD, SU 415		KING CITY	ON	CANADA	L7B 0B3
SWALES JOHN J +	80 EDDYSTONE AVE		TORONTO	ON	CANADA	M3N 1H4
VULTAGGIO GIACOMO + ADELE	152 RUE DU NIAGARA		KIRKLAND	QC	CANADA	H9J 2Y9
WOODHALL GRAHAM + SUSAN	HUNDLEBY GRANSE NORTHBECK LANE		HUNDLEBY LINCOLNSHIRE		UNITED KINGDOM	PEZ3 5NB

GeoView Map



July 29, 2020

Air Photos: 2020 Hi-Res (4 inch)

--- County Boundary

US 41

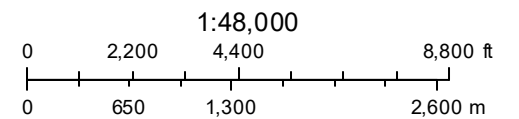
Parcels Far

Major Roads Medium

Other Highways

I - 75

Other Roads



NEIGHBORHOOD INFORMATION MEETING
Bonita Springs Golf and Country Club Rezone
September 10, 2020

PLEASE PRINT CLEARLY

NAME: GRANT LUNDBERG EMAIL: GRANTLUNDBERG@COMCAST.NET
ADDRESS: 25174 GOLF LINKS LN PHONE: 259-272-6310

NAME: EMIL GRALL EMAIL: JAKKGRALLHOME@GMAIL.COM
ADDRESS: 10361 WOOD IBIS AVE PHONE: 239-947-5122

NAME: DWIGHT ESMON EMAIL: dwightflorida@gmail.com
ADDRESS: 10250 Morningside Ln PHONE: 239-495-7423

NAME: Ron & Margery Winsett EMAIL: ronmarfl@comcast.net
ADDRESS: 25471 Fairway Dunes Ct. PHONE: 239-948-2982

NAME: ANNA MYERS EMAIL: myerskubann@comcast.net
ADDRESS: 24266 GOLDEN EAGLE LN PHONE: 239-287-4724

NAME: NICKI DAWSON EMAIL: bonitanicki@yahoo.com
ADDRESS: 10130 BROOK RIDGE LN PHONE: 239-784-5840
B.S.

NAME: L.R. MILLER EMAIL: linwood1012@icloud.com
ADDRESS: 10531 Valencia Lakes Dr PHONE: 302-270-8003

NAME: JEFF CHUTWOOD EMAIL: jeffchut@gmail.com
ADDRESS: 10277 WOOD IBIS PHONE: 239-322-2076
Bonita Springs

NAME: PAUL EDGINGTON EMAIL:
ADDRESS: 10340 ST. PATRICK LN PHONE: 239-495-2014

NAME: EMAIL:
ADDRESS: PHONE:

NEIGHBORHOOD INFORMATION MEETING
Bonita Springs Golf and Country Club Rezone
September 10, 2020

PLEASE PRINT CLEARLY

NAME: Kathleen Hofer	EMAIL: kmehofer@yahoo.com
ADDRESS: 10600 S. Michaels Drive Bonita	PHONE:
NAME: Aaron M. Gillmor	EMAIL: aaron.gill@comcast.net
ADDRESS: 24998 Carnoustie Ct. BS	PHONE: 239-405-3546
NAME: Linda McElostky	EMAIL:
ADDRESS: 25093 Paradise Rd	PHONE:
NAME:	EMAIL:
ADDRESS:	PHONE:
NAME:	EMAIL:
ADDRESS:	PHONE:
NAME:	EMAIL:
ADDRESS:	PHONE:
NAME:	EMAIL:
ADDRESS:	PHONE:
NAME:	EMAIL:
ADDRESS:	PHONE:
NAME:	EMAIL:
ADDRESS:	PHONE:
NAME:	EMAIL:
ADDRESS:	PHONE:
NAME:	EMAIL:
ADDRESS:	PHONE:

NEIGHBORHOOD INFORMATION MEETING
Bonita Springs Golf and Country Club Rezone
September 10, 2020

PLEASE PRINT CLEARLY

NAME: Robert A. McMullen, Jr.	EMAIL: bob@bobmcmullen.com
ADDRESS: 10354 Wild Turkey Ave Bonita Springs, FL 34135	PHONE: 239-370-5654
NAME: BARRY Heath	EMAIL: bubba1221@aol.com
ADDRESS: 25307 Paradise Rd Bonita Springs FL 34135	PHONE: 239-777-5476
NAME: Joseph Elam	EMAIL: —
ADDRESS: 25311 25311 Paradise Rd Bonita Springs FL	PHONE: 239-405-5052
NAME: ROBERT HAFNER	EMAIL: buckeyemott@aol.com
ADDRESS: 25402 GOLF LAKE CIR #216	PHONE: 239-919-6507
NAME: MICHAEL FUCHS	EMAIL: fuchs10451@hotmail.com
ADDRESS: 10451 JEFFERSON LN.	PHONE: 239-947-8201
NAME: Alec Cohn	EMAIL: AlecCohn@gmail.com
ADDRESS: 10350 Binky LN	PHONE: 239 470 2703
NAME: SANDI DARLING	EMAIL: SANDI BRATT@COMCAST.NET
ADDRESS: 25505 CARNEY CIRCLE	PHONE: 239-404-1740
NAME: Pamela Baker	EMAIL: faticabaker@yahoo.com
ADDRESS: 25488 Carney Cir	PHONE: 239-822-6511
NAME: Tim Dieterle	EMAIL: T.Dietede115@gmail
ADDRESS: 25472 Carney Cir Bonita Springs	PHONE: 321-525-2970
NAME: William LaCook	EMAIL: lacookwilliam@yahoo.com
ADDRESS: 25488 Carney Cir. Bonita Springs, FL 34135	PHONE: 508 284 6363

NEIGHBORHOOD INFORMATION MEETING
Bonita Springs Golf and Country Club Rezone
September 10, 2020

PLEASE PRINT CLEARLY

NAME:	Joann Lee Esten	EMAIL:	joannes/ev@aol.com
ADDRESS:	10441 Wild Turkey Tr BS, FL 34135	PHONE:	239 293 8532
NAME:	Tom Mooreman	EMAIL:	TUMOORMAN@COMCAST.NET
ADDRESS:	25154 GOLF LAKE CIR	PHONE:	317-374-4244
NAME:	Barbara Ogle	EMAIL:	bjogle@comcast.net
ADDRESS:	24981 Campanella Cr	PHONE:	239-878-2972
NAME:	GARL NICKEL	EMAIL:	NICKELCPA@AOL
ADDRESS:	10000 MADDOX LN	PHONE:	273-5078
NAME:	Fred Popp	EMAIL:	fpopp06@comcast.net
ADDRESS:	25162 Golf Lk. Cir.	PHONE:	815 900 6490
NAME:	Robert DiGilaro	EMAIL:	bobsc5vette@gmail.com
ADDRESS:	25571 FAIRWAY DUNES Ct.	PHONE:	239 287-1578
NAME:	Lucy Bellantoni	EMAIL:	Lulub211@gmail.com
ADDRESS:	25067 Carnoustie CRT	PHONE:	239-206-7087
NAME:	Phil + Claire Marie England	EMAIL:	cmj7731@aol.com
ADDRESS:	25080 Divot Drive 34135	PHONE:	239 777-4745
NAME:	Lyndee Waterhouse	EMAIL:	lwaterhouse34134@gmail.com
ADDRESS:	2793D Riverwalk Way	PHONE:	239 273-3153
NAME:	Thomas Hansden	EMAIL:	1sleepem@aol.com
ADDRESS:	25030 Divot Dr	PHONE:	330-575-2886

Bonita Springs Golf and Country Club Residential Planned Development (RPD) Rezone

September 10, 2020 Neighborhood Information Meeting (NIM)

Project Team

- **BSGC, LLC (an affiliate of Barron Collier Companies)** – *Applicant*
- **Austin Howell, Agent** – *Barron Collier Companies*
- **Neale Montgomery, Esq., Land Use Attorney** – *Pavese Law*
- **D. Wayne Arnold, AICP, Professional Planner** – *Q. Grady Minor & Associates, P.A.*
- **Dan Waters, P.E., Professional Engineer** – *Peninsula Engineering*

Project Information

STRAP Number: 23-47-25-B1-0050A.0000, 23-47-25-B1-00500.0040 and 23-47-25-B1-01400.0860

Current Zoning: North Parcel: RS-1 (single family) – 56.2+/- acres
South Parcel: RM-2 (multi-family) – 56.8+/- acres

Proposed Zoning: Residential Planned Development (RPD)

Current Future Land Use Designation: Northern Parcel: Moderate Density SF Residential
Southern Parcel: Medium Density MF Residential

Project Acreage: 113+/- acres

Proposed Request: The applicant is proposing to rezone the property from the RM-2 (multi-family) and RS-1 (single family) zoning district to Residential Planned Development to allow a maximum of 500 residential dwelling units.

Definitions

- **Planned development** means a development that is designed and developed as a cohesive, integrated unit under single ownership or unified control which permits flexibility in building siting, mixture of housing types or land uses, clustering, common functional open space, the sharing of services, facilities and utilities and protection of environmental and natural resources.
- **Dwelling unit** means a room or rooms connected together, which could constitute a separate, independent housekeeping establishment for a family, for owner occupancy, or for rental or lease on a weekly, monthly or longer basis, and physically separated from any other rooms or dwelling units which may be in the same structure, and containing sleeping and sanitary facilities and one kitchen. The term "dwelling unit" does not include rooms in hotels, motels or institutional facilities.
- **Multiple-family building** means a group of three or more dwelling units within a single conventional building, attached side by side, or one above another, or both, and wherein each dwelling unit may be individually owned or leased but the land on which the building is located is under common or single ownership.

Density

Maximum density for Land Use Classification:

*North Parcel - Moderate Density Residential 6 units\gross res. acre
337 (6 units\gross res. acre x 56.2 acres)*

*South Parcel - Medium Density Multi-Family Residential 6 units\gross res. Acre
282 Units (6 units\gross res. acre x 56.8 acres – 58 units*)*

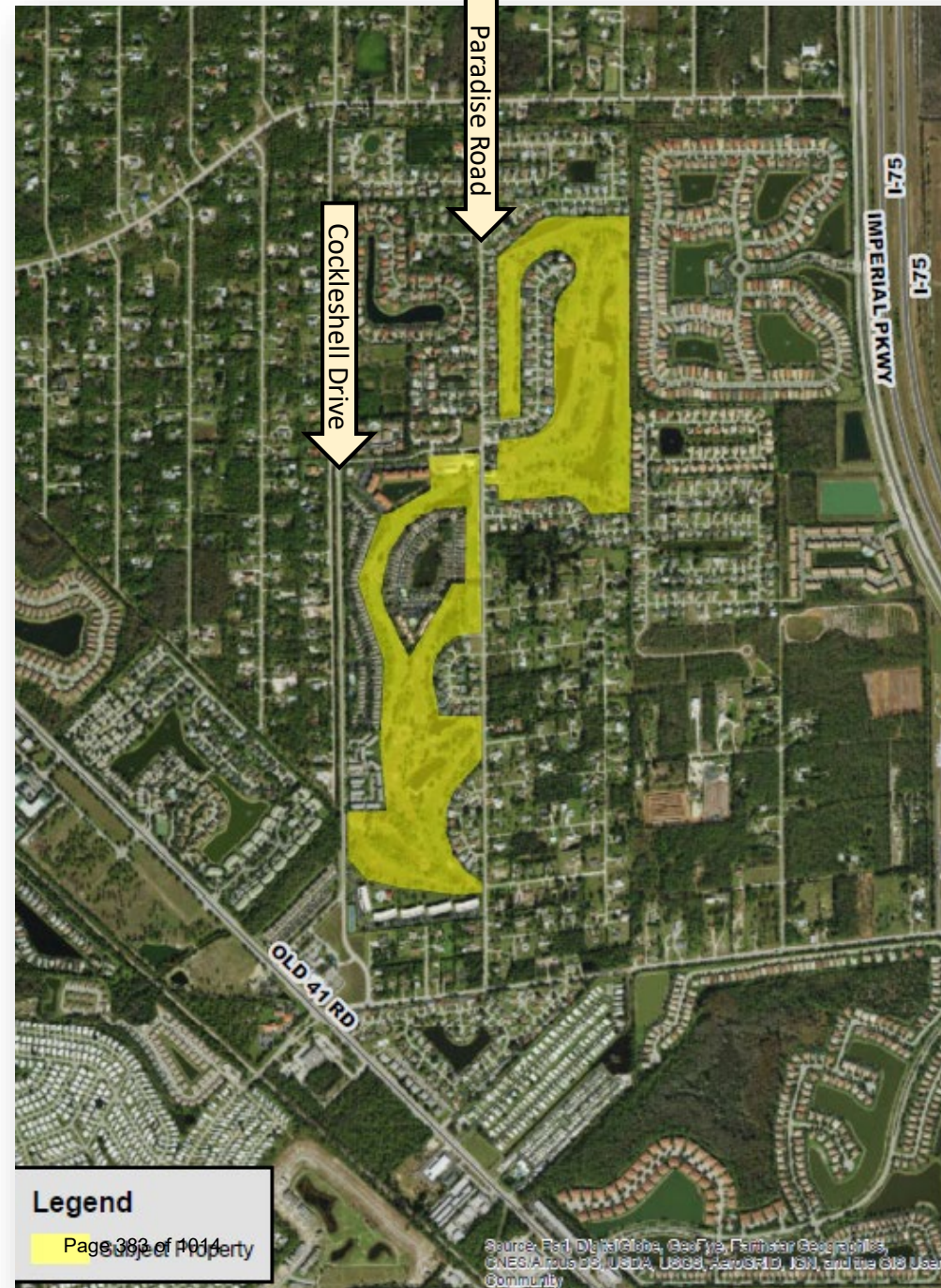
**A total of 58 dwelling units were previously transferred to the Lakeside Hideaway multi-family project (DOS2001-00226).*

Total permitted: 612 units

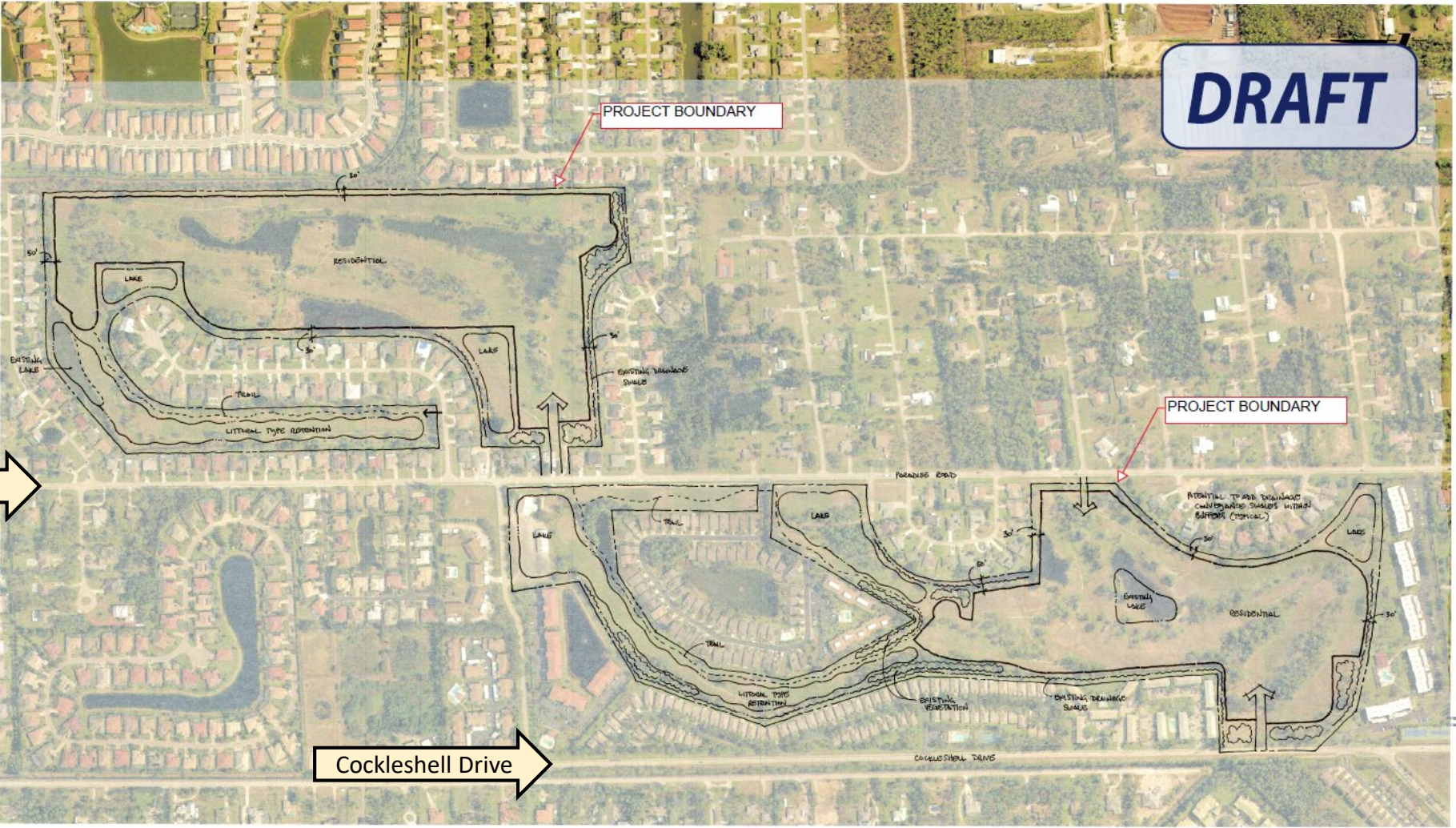
Proposed maximum units and overall density:

500 units (4.4 dwelling units per acre)

Location Map



Preliminary Conceptual Plan



Paradise Road

Cockleshell Drive

DRAFT

PENINSULA ENGINEERING
 CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE, SURVEYING, CONSULTING ENGINEERING, PLANNING, ENVIRONMENTAL SCIENCE, AND CONSTRUCTION MANAGEMENT
 1800 Collins Lake Parkway
 Naples, Florida 34109
 Phone: (239) 441-0700 Fax: (239) 263-1707
 www.peninsulaeng.com Website: www.peninsulaeng.com
 Florida Engineering Certificate #14634, 14635, 14636, 14637
 Florida Landscape Architecture Certificate #12, 20016, 20162

BONITA SPRINGS COUNTRY CLUB

Preliminary Conceptual Layout Subject to Change

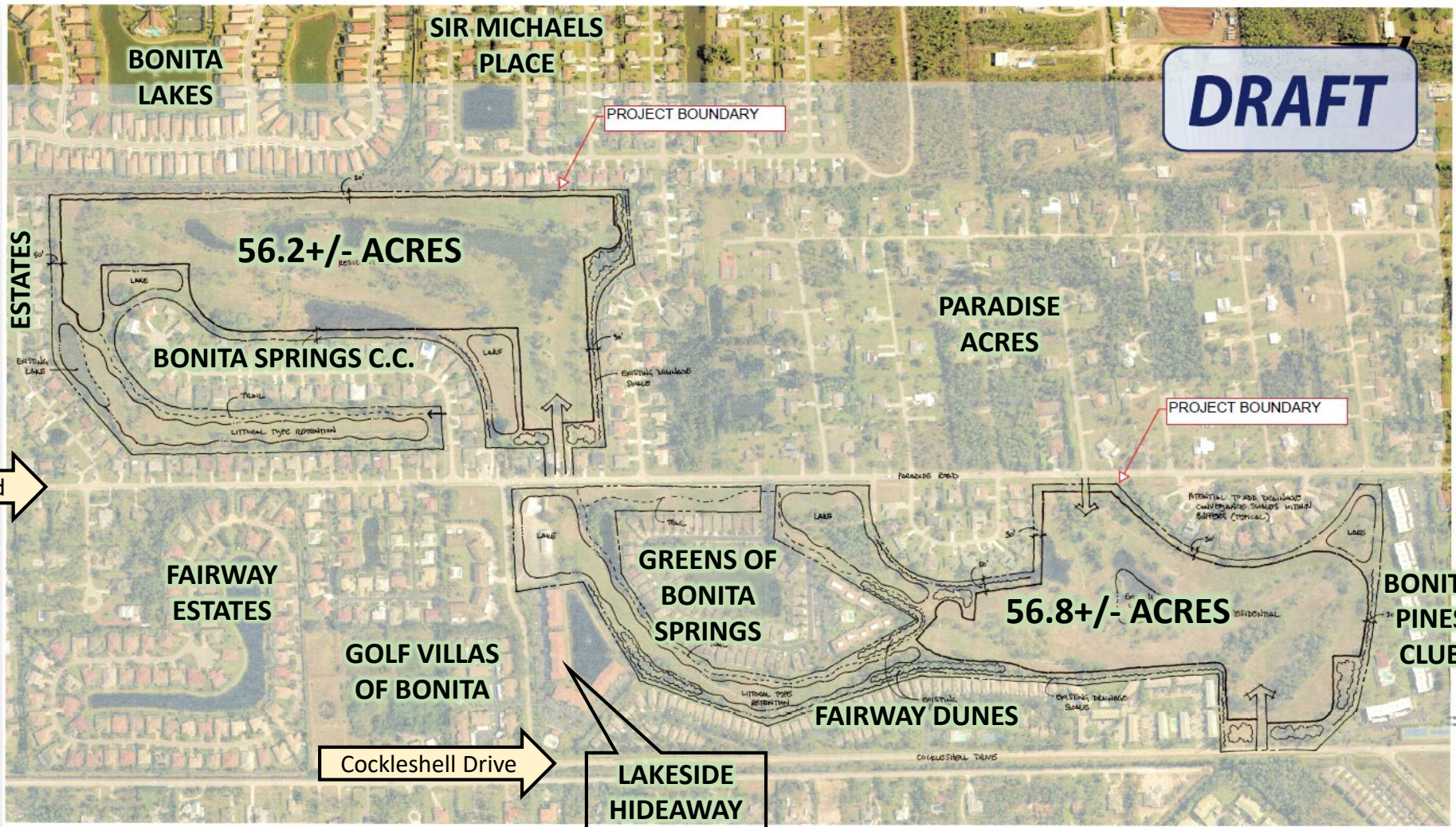
Page 384 of 1014

APPROVED	DATE

PROFESSIONAL SEAL
 PROFESSIONAL SEAL
 DATE
 TITLE

Scale: 1" = 200'
 Date: JULY 2020
 Project Name: BONITA SPRINGS Country Club
 Project Number: P-BSGC-001-001
 File Number: P-BSGC-001-001-Aerial
 Sheet: L-1

Preliminary Conceptual Plan (Adjacent Projects)



Paradise Road →

→ Cockleshell Drive

LAKESIDE HIDEAWAY

PENINSULA ENGINEERING
 CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE, SURVEYING, CONSULTING, LAND DEVELOPMENT, SITE PLANNING, LEASING, REAL ESTATE MANAGEMENT, CONSTRUCTION MANAGEMENT

BONITA SPRINGS COUNTRY CLUB

Preliminary Conceptual Layout Subject to Change

Page 385 of 1014

NO.	REVISION	DATE

PROFESSIONAL SEAL:
 DESIGNATION: CIVIL ENGINEER
 No. BONITA SPRINGS County LEE
 Designed by: STEVE SAMMONS
 Drawn by: STEVE SAMMONS
 Date: JULY 2020
 Professional Seal: 1" x 20"
 Project Number: P-BSGC-001-001
 File Number: P-BSGC-001-001-Aerial
 L-1

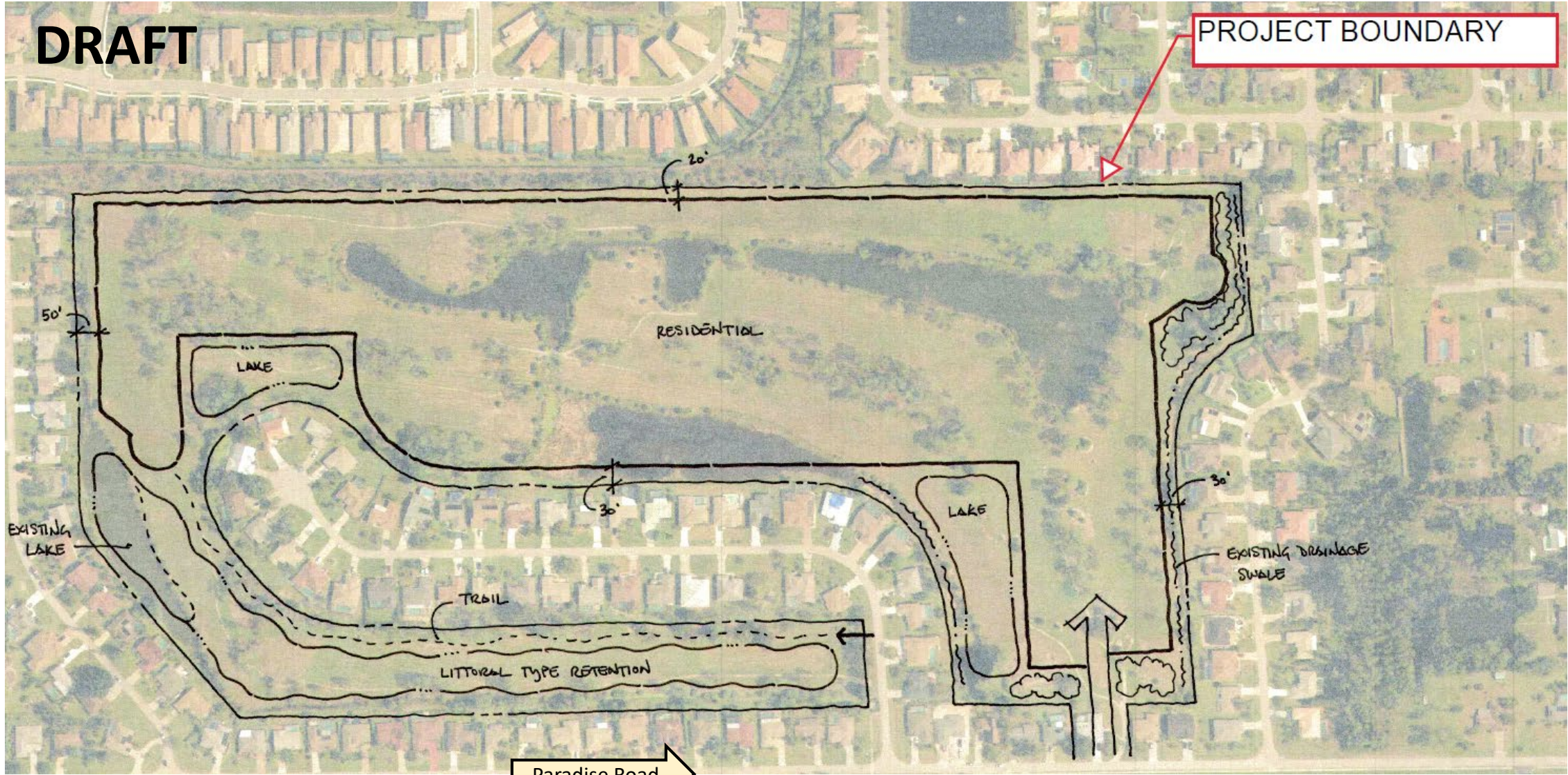
Scale: 1" = 200'
 Date: JULY 2020
 Project Number: P-BSGC-001-001
 File Number: P-BSGC-001-001-Aerial
 L-1

Preliminary Conceptual Plan (North Parcel)



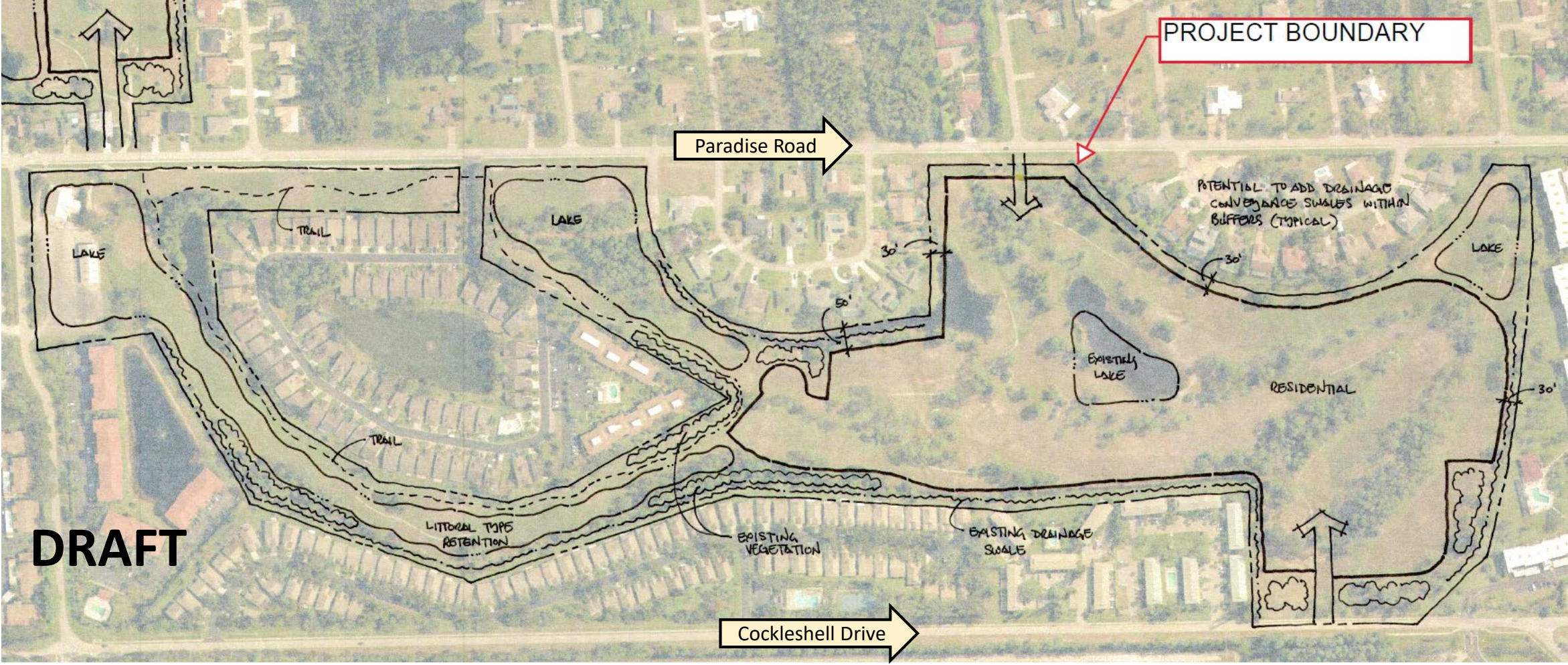
DRAFT

PROJECT BOUNDARY



Paradise Road →

Preliminary Conceptual Plan (South Parcel)



DRAFT

Golf Course Conversion

Land Development Code (LDC) Sec. 4-2312. – Development approval and standards

Allowable uses: *Redevelopment shall be limited to the following uses:*

- a. Residential accessory uses, buildings, and structures.*
- b. Dwelling units.*
 - i. Single-family detached.*
 - ii. Townhouses.*
 - iii. Multifamily.*
 - iv. Two-family attached.*
- c. Residential accessory uses.*
- d. Community Garden.*

Storm water management study. *A pre versus post development storm water runoff analysis is required.*

Project access. *No gates or walls shall be permitted along a project boundary. Roads and other access ways shall be shown at the time of planned development.*

LDC Sec. 4-2312. – Development approval and standards (cont'd)

Parking. Parking must meet the requirements of LDC Ch. 4 for on-site parking.

Buffers. There shall be a minimum 50-foot-wide buffer between the existing surrounding neighborhoods and any redevelopment.

Vegetated screen. A vegetated screen may be used to buffer any new development from existing development around the property boundaries.

Tree lined trail. A redevelopment proposal may propose trails or pathways within the property. If the developer proposes to reduce the required buffer under section 4-2312(d)(7), a minimum 12-foot wide paved trail with canopy trees planted at 50 feet on-center shall be provided.

Maximum height: 35 feet. The city council may grant a deviation to the 35 feet height limit, provided that the city council finds that the increased height shown on the master plan results in the mass of the proposed structure being reasonably proportional to surrounding structures. In no instance shall a building height exceed 50 feet.

Minimum open space: 40 percent open space. Fifty percent of all required open space shall be green or landscape areas.

Conclusion

Documents and information can be found online:

- *Gradyminor.com/Planning*
- *Community Development Public Portal:*
<https://cityofbonitaspringscd.org/welcome/community2/>

Next Steps

- *File application with the City of Bonita Springs Community Development Department*

Contact:

- **Q. Grady Minor & Associates, P.A.:** Sharon Umpenhour
sumpenhour@gradyminor.com or 239.947.1144 extension 1249

Wayne: All right. Good evening, everybody. My name is Wayne Arnold. I'm a planner with Q. Grady Minor and Associates. We're the planners working on this project, and both these screens are our country club redevelopment. I'm gonna introduce some folks that are here with us. On the end over here, Dan Waters. He's an engineer with Peninsula Engineering. Next to him is Norm Trebilcock, transportation engineer, Neale Montgomery attorney for the project. This is Austin Howell, who is with Barron Collier –

Audience Member: When the meeting is over, can an email go out, because if it continues like this, I'm just gonna leave because I can't hear, but it'd be nice if someone sent a email summation of what occurred.

Wayne: Yes. We're required by the city to create a transcript of the meeting, and we can make it available to anybody who requests that. I don't know. I wonder. Sharon, can you move that table forward, that's got the...

Wayne: Let's get back on track, and we'll try to start the presentation. We're here for our rare neighborhood information meeting for the Bonita Springs Country Club property, and this is a first step in the process. The city requires us to conduct a neighborhood informational meeting before we can submit any application to the city, as well as holding another one of these meetings before we can hold a public hearing before the zoning board and council. So, you'll be seeing this process again, and you'll obviously be engaged in the process.

So, tonight we're here to talk about the property, and it is to do the conversion process. This would be the first one in the city to convert a golf course into a residential planned development. The city adopted requirements for that a few years ago and will be following the procedures for doing the conversion. Sharon, if you can – Do I have the clicker? Okay. It's not clicking.

Wayne: I got it. So, the property, I think most of you are familiar with it. It's the dormant golf course property. There are two parcels. There's a north and a south, and I'm gonna show you some exhibits in just a few minutes. But we would be proposing a residential planned development. It's about 113 acres in total. The two parcels are roughly 56 acres plus or minus each. And we would file one application for a residential planned development. And currently, the properties are zoned RS1 and RN2, which allows single family and multi-family development at a density of six units per acre.

We would be proposing a development not to exceed 500 units, even though under the current zoning we can seek an addition – I think somewhere over 670 units we would be seeking approval for.

Audience Member: Why? That's insane.

Wayne: Excuse me, ma'am. Can you please mute yourself? We have many people in the audience as well as... We're gonna do our presentation and we're going to take comments after. Okay? Thank you.

So, this is an exhibit showing you the location of the two parcels. I'm sure you're all very familiar with it. So, the properties abut several of your local streets. The south parcel's served by Paradise and Cockleshell, and then the north parcel, as we call it, it abuts Paradise as well. This conceptual plan, it's a little hard to read on that scale, but what's outlined there are development tracks that are labeled per residential development. And then we have access arrows depicting access locations for those. And Sharon, I don't know if you can bring the cursor to identify those areas so it's clear for the audience members.

But these are very conceptualized plans. They don't show lot configurations yet. We're still in the early planning stages. The code allows us to seek anything between single family homes and multi-family development. The code has a height limit of 35 feet with an exception to allow you to go to 50 feet. We're not quite sure what the makeup's going to be, but probably something comparable to any of the multi-family heights you have in the community today. And then we would establish single family development standards as well for the single-family components of the project.

I think this exhibit...it labels the surrounding communities with some acreages. It's the same plan. Sharon, I don't know. Can you highlight the two primary access points off of Paradise for folks just so they get an idea where that is? And I'm sorry. I forgot to mention Sharon Umpenhour. Sharon is with Grady Minor and she's required to record this meeting for the city, and then they'll be making a transcript and making that available to any of you. If you emailed Sharon to participate in this meeting, we're happy to make that available to you.

Audience Member: Two access points?

Wayne: Sir, I'm gonna come back and answer any questions you have, but

we have more than two access points. Two primary access points are off of Paradise. There's another potential access point off of...I think it's Carney. And then I'm not sure yet on Cockleshell. That will be an access point, but our plans will have to define those access points, and we'll be analyzing those as part of our required traffic analysis.

This...a little closer image showing you the north – that's the south parcel. I think I got the north parcel there. Just shows you a little bit more detail identifying the residential tract. A possible lake tract on the west side of that, a trail system most likely. Pedestrian trail system that will wind through both parcels. And then you can see the access points shown with a large arrow on the bottom of the screen. The south parcel, again, it labels residential development tracts, it depicts access points, and we have a trail system also that meanders through that property as well.

Under the golf course conversion requirements, several criteria that we have to address as we go through this process for the city. And they require that we have to meet parking, obviously, for code required parking. That's not an issue. There are requirements for 50' wide buffers between the existing surrounding neighborhoods and any redevelopment. There's an option to get a deviation from that, which would be potentially to reduce that or provide a modified combination of buffering. And that's identified by another item on this list, which is the tree line trail system that can be provided.

We are required to provide vegetative screens at a minimum, surrounding any other homes, and then, of course, like all planned developments, 40% of the site has to be open space, of which half of that at least has to be green and landscaped areas – it can't just be a lake – to satisfy our open space requirements. So, those are the criteria that we're working under.

And just to go back and talk a little bit about this process. So, from here, we would move ahead, and we would be allowed to submit an application to rezone the property to a planned development with the city. The city takes probably at least four to six months to review those applications with some back and forth between our team and staff. Once they deem an application sufficient, that means we'll come back and we'll have more detail, and have issues flushed out with staff to the point we can present additional information to the community. And then we would be allowed to proceed and go to our required public hearings before the zoning board, and then ultimately to city council for their final action.

So, that's kind of a quick summary of what we're proposing to do. I know that's not a lot of detail. We don't have a lot of detail tonight, but we do have our team here to try to answer questions you may have. And we'd like to make sure everybody can be heard, so we have a microphone. Sharon, I don't know where that went, but if we can ask people to speak into the microphone, I think it would be helpful. And I think I'd like to – Sharon, how many Zoom participants do we have?

Sharon: 63.

Wayne: Okay. So, I think for those in the Zoom, if they can identify – I think there's a hand raise there if you have a question. I'd like to get people in the room to ask their questions because I think we may get through some of those and it may eliminate other questions, because I don't wanna be redundant. I'd like to make sure that we try to answer your questions and I don't wanna have to repeat ourselves.

Audience Member: I have a child at home. Is there any way that – like my son has Autism. I need to get back home. Can I ask a –

Wayne: Yep. Why don't we go ahead and if you –

Wayne: If you're interested in speaking, just either raise your hand or maybe stage in line behind, maintaining our social distancing, of course. And we'll try to make sure everybody can hear you. Ma'am, if you could come closer to the table where this microphone is, I think it would be helpful to those on Zoom.

Donna Matthews: Okay. I'm sorry. Hi. I'm Donna Matthews, and we have property in San Carlos Estates. I also have a property at Cypress Plantation, and when we had Irma, that was like almost flooding up to the door, so I'm concerned about around Cypress Plantation one. Also, we have property at Golf Villas, so I'm concerned. You know, it floods in front of there. And my concern from San Carlos Estates is we paid for those roads. The county doesn't pay for them, Bonita doesn't pay for them. And everybody outside of there breaks those gates constantly, and my road – I live on Stillwell – and that road is collapsing because everybody else uses it. But I think my main concern is the traffic. The traffic is really bad as people fly down – if you live off of Cockleshell, you know it's like a racetrack. It's very dangerous there. And I don't know if there are plans to widen the road, or what the situation is. And also, I guess I'm concerned about people continuously breaking through

a private road. They don't really care. They don't pay for the road.

And what's gonna happen with the ditch there that we have for drainage? You know, San Carlos Estates pays for that. We maintain that whole section there, and also, environmentally, we're responsible for it. So, who's gonna be responsible for all the agricultural runoff from outside of our community? You know, from the area you're proposing?

Neale Montgomery: Yeah. Let me ask you two questions. Traveling: is it the speed or the numbers?

Donna Matthews: It's both.

Neale Montgomery: Okay. Let me ask you about the drainage. You said with Irma. Do you have a problem every summer, or just a major storm event?

Donna Matthews: When there's a major storm, I mean, you know, there's a bridge right by Bonita Pines. It's like a culvert or a bridge. And that whole area – I have pictures of it – there is like four or five feet of water. I have a condo at Bermuda Park, too, right up...it's on the other side of the ditch there, in the Villages of Bonita, and that water was so high...you know. Whenever there's a big storm, there's gonna be a problem there for everybody. Not just...you know.

Donna Matthews: If you want pictures, I have pictures of it. It was scary. I was so concerned in Irma I didn't stay in my house. I went up and stayed at a second-floor condo with my tenant. But that's all I have to say.

Wayne: Okay.

Donna Matthews: And I have to go back to my – I have a teenage son.

Neale Montgomery: If you wanna send us pictures, we'll take a look.

Wayne: Yes.

Wayne: And thank you. I'd just like to say that one of the components that we have to address with the staff is a drainage plan. We have to do a pre and post analysis to make sure that we've addressed drainage issues. That 1.) we can control. I can't control things that are offsite that are historical problems –

Donna Matthews: Yeah. But it's kind of nerve-wracking having people come through my road. They put a gate up several years ago, but that Stillwell is

a racetrack and people don't care. They try to sneak through, they lift the gate, and so, people somehow outside of my community have managed to acquire the gate code. Anyway, that's all I have to say, and I thank you for letting me go first.

Wayne: Yep. Thank you for coming out. We appreciate it.

Donna Matthews: Thank you, everybody.

Wayne: Who wants to – Yes sir? Why don't you come on up?

Robert Digilarmo: Good evening, everybody. A nice turn out here, I've lived in Bonita 31 years. I've lived in Fairway Dunes Court for seven years. But I've seen a lot of bad weather, I've seen a lot of bad floods since I've lived in Bonita. And over the years, they've done a lot of good things to correct a lot of the problem. Could we put up the southern section schematic?

Neale Montgomery: I didn't catch your name. Did you –

Robert Digilarmo: Robert Digilarmo, D-I-G-I-L-A-R-M-O. I'm also a Vietnam Veteran.

Neale Montgomery: Thank you for your service.

Robert Digilarmo: Thank you. I live at 25571 Fairway Dunes Court, right adjacent to the storm waters **[inaudible]** that we have that runs parallel with our community, where there's many units in our community on Fairway Dunes Court. And I've seen some bad situations with our storm water drainage ditch. Now, the last five homes – which I'm the fifth home – sit in the southern end of our development. My home is 30 feet from the drainage ditch. My neighbor's house is 25 feet from the drainage ditch. As you get down to the last five, they're 20 feet from the drainage ditch. Now, the drainage ditch ranges from 20 feet wide, between four feet deep and six feet deep. When it's 20 feet to 50 feet, you have the widest.

And when you get down past Cypress Plantation I, the drainage ditch makes a 90 degree turn and it drops down into a catch basin where it's four- or three-foot drainage plate that runs 130 to 150 yards into the Cedar Creek drainage ditch. It runs into Cedar Creek. Now, as for the three-foot plates, can only hold a certain capacity of runoff. Rapid runoff. And we don't normally have this run over, but we've had that ditch many times get up almost running over.

Now, down in the northern section of our development, it does flood down there every once in a while because their drainage ditch is a lot smaller than down on the south end. What worries me is these last five homes that are on a Fairway Units Court being so close to the ditch. It makes me very nervous. And very few people that wanted to develop these parts of the land have actually come out and said what they're gonna do about this. What they're gonna do about the four drainage pipes that lie underground that only allow a certain amount of flow, and what they're gonna do about improving the storm water ditch.

Now, you can take a backhoe, you can take a machine, and make that ditch bigger, but when you do that, it causes more erosion of my backyard. I've already lost between three and four feet of my backyard since I've been here for seven years. So, it's something that really has to be done and done right. Or our homes are gonna get flooded. There's no doubt about that. And if that happens, it's not gonna be a nice situation. You know what I'm saying.

Wayne: Oh, absolutely. We do, sir. We do have to address that since one of the criteria –

Audience Member: And I've addressed this many times at many meetings. For rezoning, for applications for development of this land, lots of things like that. And if we have a development that's really serious about developing that, it'd be nice if we could see a really good plan of what they're gonna do with that. They can relocate that ditch, they can make it a concrete ditch there where it'll handle rapid runoff. But if they do that, they're gonna have to do something about the underground pipes, which can only handle so much flow.

Wayne: Understood. Yep. Like I said, we have a strong engineering team. Mr. Waters, who's the engineer –

Audience Member: So, you can understand what I'm saying, you know?

Neale Montgomery: Well, the benefit we have is Mr. Waters has worked for the private sector, but he's also had a tenure with the South Florida Water Management District, so he's very familiar with the requirement, both from the regulated and regulator standpoints, so...

Audience Member: Right. See, now we don't have any of our drainage from our properties running into a ditch. All the water from our properties run down Fairway Dunes and into storm water runoffs. It runs underneath Cockleshell and into the street, it runs into Cedar

Creek. None of our properties drain any water other than what comes off the roof and might drain down by gravity. Most of it drains onto our street and into drainage culverts.

Wayne: Okay. Thank you. Thanks very much. Anybody else wanna ask a question?

Audience Member: Oh yeah.

Wayne: Okay. Yes sir.

Neale Montgomery: Tell everyone who you are first.

Lee Esshart: I'm sorry. My name is Lee Esshart. I've lived here for 20 years. And I think the only thing – no, I'm sorry. That's wrong. One of the biggest things that we care about is the drainage. Is drainage. As far as I'm concerned, it is your property. You can build 100-foot condos. It's okay. It's your property. I can live with it. But the biggest problem I have – and by the way, your map... I live on Wild Turkey.

Lee Esshart: Can you show me Wild Turkey? Because I live on the north side of the road, which is the last pond. It's not even in your development. It's the last pond. It's on the other side of the road. My house is getting very close to being flooded right now today. If you would go drive down Paradise today, you will find water on both sides of the road. I get it. It's your property. 113 acres and you wanna build condos, whatever. Our biggest problem is drainage. That is our biggest problem. If you could solve that, build 100-foot condos. I don't really care. No. I'm serious.

Audience Member: Water is a big deal with us.

Wayne: I think I've heard that from the first three speakers, so...

Neale Montgomery: The gentleman with the green hat had his hand up.

Timothy Druly: Thank you, sir. Hi. Good evening. My name is Timothy Druly. I live on Carney Circle. I'm a little concerned for several reasons. I know that we've already talked about the storm water mitigation issues that we have with the drainage in the community, which is definitely an issue. We gotta consider that your elevations that you're gonna be building on, and how that's gonna affect not only our drainage system, but the properties that surround this development on both north and south sides.

What I am also concerned with is the traffic increase in the community with the proposed 700 plus homes that you wanna put in here, and that we only have one way in, one way out, but what I just saw from your two access points is both are on Paradise Road. That's a substantial amount of traffic increase for that small area. And I don't know how you're proposing to widen that road or doing something different with that road.

Also, to hook up the infrastructure... for basically to hook up all these homes into the existing infrastructure – and I know well enough that the conditions of Bonita Springs infrastructure is pretty full. So, all that needs to be tore out and replaced to accommodate the new homes that you're proposing on building. How is that gonna affect the traffic, also, with the construction traffic coming in and out, and what you have to do to bring all that equipment in there, and bring everything you need to bring in there, and access these access points, and disrupt our community.

And the timeline, the proposed production timeline...how long is your construction timeline gonna be? We're looking five, ten years? Where are we at with that? Those are my questions about that.

Wayne: Okay.

Audience Member: Thanks for the time.

Wayne: Well, thank you for coming out. I don't have answers, obviously, for all of this. This is really preliminary look. We are gonna have a lot more answers as we talk to staff and determine what they're going to ask us to analyze in addition to what the code requirements are requiring us to do. We do have a traffic engineer on staff. We got water management specialists on staff. So, we're gonna be getting answers to that. We don't think there are true capacity issues for Paradise or Cockleshell, or the other streets.

I understand your concerns about traffic, but the way that the county and the city look at traffic and the analysis we have to do, it's very likely that the road has additional capacity on it, but we will be addressing that as one of the key components of what we're doing. And from a construction standpoint, we're required to file a construction management plan and there are policies that the city has on how you manage traffic during construction. We have to make sure that roads remain open and they're traffic controlled while that's occurring.

And the timeline that you mentioned, the 700 units...we qualified to ask for that, and our request is going to be for 500 or less units. So, that will help if we're not asking for the maximum density. But anyway, we'll have additional answers as we move through the process. So, ma'am, you've had your hand up for a while. Can you

—

Wayne: Oh. You've got the microphone. I'm sorry, sir.

Phil England: Thank you much. Well, first of all, my name's Phil England, and I live at 25080 Divot Drive, and that's in the northern section. And first of all, thanks for taking the time to come out and meet the community. We appreciate that. Just wanting clarity because previous speakers have addressed most of my questions. I recognize that the southern portion is zoned as, right now, as RM2, I believe. **[Inaudible]** and then RS1 in the northern end. In the plan to have the rezoning, that to... a different terminology —

Wayne: We're rezoning it to a residential planned development.

Phil England: And what does that specifically mean? How is that going to change the existing zoning now?

Wayne: That will become the zoning for the property. If we're successful in that, we'll establish a master plan for development that's probably little more detailed than that, obviously. We'll have to provide development standards for each of the dwelling unit types and we'll define what type of units, if we have single-family, attached product, multi-family, we'll have to tell you how big the lots are going to be, and how tall the units are going to be, what the setbacks are going to be from surrounding properties.

Phil England: And you don't know the answers to those questions, do you?

Wayne: I don't have the specifics for those to know —

Phil England: And that's fine. Thank you.

Wayne: Okay. Thank you.

Phil England: Thanks.

Wayne: Ma'am? Care to share, please?

Barbara Ogle: For the record, my name is Barbara Ogle. I live on Carnoustie

Court. And several of our concerns have been addressed, however the height requirements, when we had existing homes that are single story and you maybe planning two story homes, I wanna make sure that when you look at those two story homes that they're not going to be backed up and looking down on the existing single family homes. Also I understand that the new height requirements are higher than the existing homes, so although you will have to take care of the storm water management, there is still going to be water flows downhill.

So, if you have homes that are built at 17 feet, 16 ½ feet, 17 feet... some of the homes on Paradise are 11 and 12 feet. And again, the soils on Paradise are already full of water. Yes, they're saturated, but if you build more homes, you have to have the capacity to handle not only the water from your homes and any pervious surfaces, but also the sheet flow that comes around it to the old, existing neighborhood.

And I also don't know if you are aware of the Declaration for Restrictive Covenant for the arsenic and the groundwater. And that was filed. I don't know if you're aware of that, but if not, you can contact me and I'll be happy to send you the information from Lee County and the Department of Environmental Protection, because it does address what has to be done with that land for the arsenic and the groundwater so it doesn't contaminate surface water. Thank you.

Wayne: Yep. Thank you, ma'am. Yes sir?

Audience Member: I probably don't even need this microphone to be heard, but can you answer the question, "Do you know about arsenic on the land?"

Wayne: We've had title work prepared on the property that has information in it. Pretty sure we're familiar with the arsenic.

Audience Member: Is that something that can be solved to build homes?

Wayne: We think it is. Yes. Absolutely.

Audience Member: Okay. And I didn't get what changes you're asking to be made in the plan that is approved by the city now. Are you asking the city to make changes in that plan?

Wayne: Well, right now the only plan the city has is for a golf course. There is no other master plan for the property. That's –

Audience Member: Okay. The rules that are set forth in that ordinance...are you asking for variances?

Wayne: I don't think we know that yet. It's very likely we will. I don't know they're –

Audience Member: But you don't know what the variances would be?

Wayne: Correct. Not at this time.

Audience Member: Thank you.

Wayne: Yep.

Sharon: What is your name, sir?

Audience Member: I'm sorry. Wyatt esmon, Paradise Road. Neale probably knows me from the meetings.

Neale Montgomery: I know, but you're right. A great voice.

Wayne: Who else? Gentleman in the back. All the way in the back. I don't know if you – if you can come forward. Appreciate it.

Alex Doan: Hi, my name's Alex Doan. I live on Big Key. Right now, a lot of what you're talking about is doing the bare minimum...about, "We can ask for 700 homes, but we're only asking for 500." So, everyone on this lake should be happy." But the fact is we're already behind the ball. This right now is taking up so much water and it's doing so much better than houses. So, no matter what you're doing, it's going to be a nightmare. No matter what you're doing, you're gonna be increasing the value of the land, and you're gonna be asking for more money. So, what are you putting back into the community?

Wayne: Thank you. Yes sir?

Audience Member: So, thank you for having us this evening. My name's Andrew Delashapel and I live in Fairwinds on Fairwinds Lane. It's kind of a top question, but right now at the corner of Maddox and Paradise is a – not where the golf building is, but the north side of that – is a vacant piece of property. I don't know if you wanna Google or not. It's showing on the other map either. Seems like something is happening out there. There's surveyors were out the last couple of days, they've been laying pipes along Maddox and down. You

might have addressed this earlier. I'm sorry. I ran a little bit late from work. But there's pipes, and there's water drainage pipes and all that being laid on Maddox and all the way down as part of Cockleshell. Can you explain what that is being prepared for, or what that's flowing out?

Wayne: I don't know specifically, but I believe – the last two times I've been out there, there were Bonita Springs Utilities vehicles that I saw in the neighborhood, so I'm assuming it's a Bonita Springs Utilities issue. Okay.

Audience Member: They're building a sidewalk along that exit. Tearing up the stuff and putting it down. And also, at the beginning in Cockleshell.

Audience Member: Okay. I think that's...yeah. But nothing on the piece of property that's on the corner of Maddox and Paradise?

Wayne: Not that I'm aware of.

Austin Howell: It's not currently in our plan.

Audience Member: Okay.

Austin Howell: It's not currently in this plan for the –

Audience Member: But it's part of the golf course.

Austin Howell: Is the residential part still at least digging up **[inaudible]** **[00:32:56]** I don't think – traditionally, it's a vacant parcel, correct?

Audience Member: Yeah. Yeah. They chopped down a bunch of trees, now the surveyors are out there. Lawn has been cut on it for really about a month now. So, I'm curious as to what's going on with that.

Audience Member: It's a staging area. For what, I don't know, but they're staging there.

Audience Member: Okay. All right. And as far as the plan, you mentioned townhomes, you mentioned single-family, attached. Are you gonna have a number of stories limitation on some of the buildings?

Wayne: We will have a maximum height. I don't know. The city doesn't always like us to establish numbers of stories, but we will have to have a maximum height.

Audience Member: Okay. All right. And then lastly is – if no one has brought it up – the traffic. I know you guys mentioned that the road capacity is fine, but those of us that live off of Paradise and use Paradise and Cockleshell to go to and from our homes...if you have never traveled on Paradise, you'll see that road is actually very narrow. I'm a certified defensive driving instructor. I can tell you that road is very dangerous. Hugely dangerous. There's no shoulder. It's literally a very narrow road, and the traffic right now, if you go in the mornings and afternoons, and even during the day, there is a lot of traffic.

If you count how many homes are now accessed from Paradise Road and add that 500 additional homes, that road cannot handle it. And neither can Cockleshell, for that matter. It needs stop signs already at certain intersections just to slow the traffic down, but it does need to be widened. It's not even safe for people that walk along Paradise Road. Everyone walks Paradise Road. So, you'd probably agree if you lived on Paradise. But that road is highly dangerous right now and cannot handle the additional capacity of 500 vehicles. This would be another 1,000 vehicles.

Wayne: We certainly will have to evaluate that as part of our go forward plan.

Audience Member: I'd do that first.

Wayne: Thank you.

Audience Member: So, thank you. Appreciate it.

Wayne: Thank you very much.

Neale Montgomery: Thank you.

Wayne: Sir, you wanna come for – the gentleman with the hat on. I think he had his hand up before you, sir. But we'll get to you next. How about that?

Grant Lundbreg: Good Afternoon, My name is Grant Lundbreg. I live at 25174 Golf Lake Circle right in the middle of the golf course. And I know a lot of people say they've been here 20 years, 30 years, whatever, but before we became a city, we had issues of flooding. And on Stillwell was one of them, of Estero. And I was put on the board by Paul Pass as the storm sewer colonel And when we had, or have currently, with Cockleshell, Stillwell never came out because we thought it ends with Estero, about what their property is, and that's

when we decided to put the gate up on that side.

But again, the owner of this golf course, he ran, did what he wanted before we became a city. He didn't get permits granted. I worked for him for 12 years. I know what he did. It were could run water, or we couldn't. We had pumps. Yes, we had pumps throughout the whole golf course. It would go from there or a reservoir, lake. **[Inaudible]** We had pond boats **[inaudible]**. When they would get filled, we would pull the dam up and would release it, go down the cricks behind a plantation. And that got changed I don't know how many years ago.

It started up when they put in Fairway Winds. When they put in that storm sewer at Fairway Winds, they had a problem. The water started backing up into Fairway Winds. They came along a couple of years ago and they made that drainage ditch come all the way down Paradise, Maddox, under Maddox, and all the way around the new road, on condos that sit – or the important condos. Now a lot of that's what keeps that place there, because they had to give up acreage off the golf course to get the flood zone way in the back of your condo. They had to bring out the – survey it, and the golf course had to give up their property.

So, that created another problem. And that water kept down, and you get down to Cockleshell. And well, they were talking about the manhole there. They call them butterfly tracks. Then that force could shut in **[inaudible] [00:37:22]** and start irrigating the golf course with that water. And that's where a lot of the leaks were done for. They were for irrigation when it was really dry season. That's what a lot of these pumps were for. They'd puncture, you'd drinking out of it, or anything like that there. And right behind my house I have a lake. And that's a pump reservoir there. There's pumps in there They have to take it out and put it in for drainage.

It comes into that lake. When that gets full, it blows apart. I don't mean for our lake at Golf Lake Circle, and in the little lake behind 35 homes. When that gets full, it runs out, it's a high level. So, it would start pumping. We'd start flooding the golf course. That's where we'd get a lot of water and that's why we're getting water out the lake. Because the pumps are contaminated, I was there when they were contaminated, and with the pump on, and that's how all that's being contaminated. But anyways, I just thought I'd let you know about that.

Neale Montgomery: So, the pumps are still there? The ones that you were talking about?

Grant Lundbreg: The pumps are still in the lake.

Grant Lundbreg: Yeah. I just said that they're beat down. I was there when they did that. And that's the reason why they didn't want anybody going into their billers hooking on to them, trying to get them wells going again. See if they get irrigated yet. Even if the golf course wasn't open, they were trying to really get water in there. Because they condemned the pipes.

So, that's why we maintain a lot of the water. And now, all this golf course closing, we're taking on the water they used for their own drains [inaudible]. We used to water that, "Must be good for golf course." But the only thing I'm concerned about is a lot of the people who are in Golf Lake Circle, that area right there...there are 65 homes in there.

Fairway Winds has got two condos, a seven – eight-plex on each side I think they are and I first moved in there when the seller got it. I think I was the number 7th house built in there. And we had plenty of space. We didn't have...what? We didn't have that. And the more houses start getting built around here, we're creating more and more. And that's where we're getting all the water from. Right now, I would say half of that come out of the water from not going down the drain system that the golf course produced.

And I was under the understanding that this would then be brought to you people or whoever it is...that the city had a plan. We had meetings up here...four or five meetings here about the storm sewer runoff and where all this water's going. And they were gonna present you people with a plan, when you're gonna build, what has to be done. Streets, drainage, stop signs, school. The school on the other end, chain lock, a roundabout. I mean, I've been to all of the meetings there are and everything. And I just wanna thank you for coming down and letting us do us. Thank you much.

Wayne: Thank you very much.

Neale Montgomery: Thank you.

Wayne: Gentleman in the back. Yes sir?

Neale Montgomery: Is that an R for Rutgers?

Tom Ranston: No. That's for my high school. I just had my 45th reunion. All

right. Tom Ranston. I live at 25030 Divot Drive in Chadwick Square, which backs up to the north parcel. One of the problems that I have – I have to say this right on – that I’m totally against the whole thing. And I know that that’s. I think that we have enough development and we have enough stress on our neighborhoods and roads. Our held infrastructure, right now, this is gonna be the breaking point for everyone in the entire area. I think our property values are gonna drop dramatically. Dramatically, not just a little. Especially with all the multi-family. Talking about, okay, **[inaudible]** Two people per home.

Audience Member: Two cars.

Tom Ranston: That’s 14,00 people added to that whole neighborhood. How many school buses are gonna have to serve this area now for all of the kids? And that’s adding more people to the homes. How many more cars on the roads? Now we’re gonna talk about stop signs, traffic lights, everything else. Oh, you’re gonna widen the road? Great. Now my little used friend’s property that I bought to retire in is gone. It’s gone. And now I can’t get what I want for it. Because I know the property value’s gonna drop. As soon as someone says, “Oh, you’re backed up to those apartments there?” When you say multi-family, you’re not talking about high-end condos. You’re talking about rental places. Okay. Right?

Wayne: I didn’t mention apartments. No. I thought I said multi-family

Tom Ranston: Multi-fam – well, let’s call it what it is.

Wayne: Well, multi-family is also like **[inaudible – crosstalk] [00:42:06]**

Tom Ranston: Multi-family. It’s apartments.

Wayne: Multi-family are also condominiums.

Tom Ranston: Okay. My point is the condominium owners are gonna rent them out. Okay? We’re gonna have a bunch of rentals there. So, we’re gonna have an influx of people, and we’re gonna have constant people coming and going. The roads cannot handle this traffic. The sewers, water systems, everything, taxed already. And this is gonna overburden everyone. I think it’s a bad idea. And also, one of the big problems is your interest and your **[inaudible]** points.

These are in residential neighborhoods. You’re bringing heavy equipment in here, in and out, and in and out, and dump trucks, and everything and on residential roads. These roads **[inaudible]**

are not cared for by Bonita Springs. Some of these roads are cared for by the people. Okay? So, I don't know if everything has been taken into consideration or if anybody really cares about that stuff, but we care. We all care. So, I'd like to see what's the plan. What's the plan for traffic? What's the plan for water? I understand that this is just an informational meeting, and we all appreciate that. But I think you need to know right off the bat what you're up against, how many people are against this.

Wayne: No, I appreciate your comments, and the feedback. I really do. Yes ma'am.

Judy Chitwood: Hi. My name is Judy Chitwood. I live at 1277 Wood Ibis. I have two concerns, though. I have hope and concerns that people have already spoken about. But two of my concerns, 1.) When we first moved there, we've seen eagles, we've seen gopher turtles, otters, owls, all kinds of wildlife. That has, over the last 10 years – we've been there 10 years – I saw bobcat walking down the road three years into living there. We see none of that. And that's not – I'm not saying that's your fault, but I'm saying that's one of the concerns that we as a community is saying.

There's only so much building a community can take, and my dad was a builder, my brother is a builder, my daughter is a builder. I know you have to build; you have to grow. There also is a stopping point where we have to take care of our community so that we can be a community that people want to come to. So, that's one concern that I have, which you might be able to address that in the way that you're gonna build.

The other concern that I have: we already have existing homes that are at a lower level. I look up to the golf course from where I'm at. So, I am concerned when you talk about the burn, and I know that the city's gonna require you to have to much, but I am concerned if you go to multi-families that you are considering putting and being respectful of those who have already got a community there, that you're putting house against house. Not two-story homes against one story homes, where people can literally look down into your privacy, which is – I think we all tend to agree – social media is already a problem. We don't need it in our backyard.

We would love for you to be considerate of our homes and put one story homes back to back to one story homes and find a way to weave into if you go to the two-story homes where they're building in – I think, kinda understand – within the community.

- Wayne: Yep. I do.
- Judy Chitwood: So, I would love for that to be a concern and a consideration on that part. There are areas in that development where you could put two-story homes and it wouldn't be a matter of privacy for the other people. Thank you.
- Wayne: Understood. Thank you very much for your comments. Gentleman over here on this side. And then, Sharon, how many people wanna speak on Zoom? Three? Okay. Maybe after this gentleman, we could take a few of those comments as well.
- Brad Cyprus: My name's Brad Cyprus and I live on Divot Drive. So, my first question is – I'm not clear, and I don't think anybody else is clear – what's the difference between which design is going out, what the zoning is now versus the zoning in the future? How many houses could be built up until now? How many could be built as it would be in the future? Can you tell me that?
- Wayne: I can.
- Brad Cyprus: Okay.
- Wayne: So, the property's about 113 acres, and the city's **comprehensive** plan would allow us to have six dwelling units per acre for that entire property.
- Brad Cyprus: Which comes out to be?
- Wayne: Almost 700 units.
- Brad Cyprus: Okay.
- Wayne: So, our request would be for 500, and I say, "Or less" because once we get the final mix of what our unit types will be, and if it's heavy on single family, our unit count goes down. If we end up with some greater mix of multi-family, the unit count can be higher.
- Brad Cyprus: Well, I'm still not clear. Before and after's what I'm asking. What's the unit count before? With the zoning as it is now, what would be the unit count as you proposed?
- Wayne: Maybe you didn't understand what I was saying. The city will allow us to seek approvals for almost 700 units as it's zoned today. So, as we would go forward and create a residential planned development, we would limit that number to 500 or fewer.

- Audience Member: Okay.
- Audience Member: I thought 40% was open?
- Wayne: Every residential planned development in the city's required to have 40% open space.
- Audience Member: So, 113 acres...
- Wayne: Wait a second. Can we have one at a time, please, just so we can make sure everybody's on the microphone?
- Audience Member: I apologize.
- Brad Cyprus: Okay. Because what you're proposing, what you're asking for is a zoning change. And so, why do you need a zoning change if you're gonna work within the existing zoning?
- Wayne: The city code requires that we rezone this to a residential planned development. Any golf course conversion is required to be in the form of a planned development.
- Brad Cyprus: I thought the current zoning was residential. This community **[inaudible] [00:48:39]**
- Wayne: It is zoned residential. You're correct. The city has a separate code provision that pertains to golf course conversions, and that's the process that we're going through.
- Neale Montgomery: **[Inaudible]** zoning is RS1, which is a standard, single family zoning district.
- Audience Member: Ma'am, we can't hear you.
- Neale Montgomery: RS1 zoning, which is the standard 75X100 zoning districts. R2 allows multi-family. Both of those districts are carryovers from when the property was in the county. But regardless of that zoning, a year and a half, two years ago, the city of Bonita Springs adopted regulations regarding the conversion of golf courses. So, they don't want you to use the existing zoning district. They want you to come in so they can consider all the issues that you folks have raised, and have it be more flexible in design to allow units, but be mindful of privacy – for the lady who's mentioned privacy, drainage, and all of those factors. So...

Brad Cyprus: Okay. That's all. Still, my understanding is the existing zoning, despite what people – if the existing zoning is less dense, then what would be approved if this goes forward? Is that [inaudible]?

Wayne: No sir. That is not correct. The existing zoning that's in place today would allow us to be six units per acre. It's 600 and some odd units we would qualify for under the current zoning. But under the residential planned development, we're seeking 100 units less than that on these.

Neale Montgomery: When a planned development's approved, they have a maximum entitlement you can have, regardless of what kind of development it is. It's X number of units for Y square foot, so you can't exceed whatever they end up putting in your planned development zoning ordinance.

Brad Cyprus: Well, so that's why they – I also wanna – but I think everybody else is concerned about drainage. Well, I live on Divot Drive. during Irma and other heavy storms, the intersection of Wood Ibis and Divot was completely flooded. It was right at the doorstep. It's a problem. It's not just this. It's all the surrounding developments have drained into the golf course area and it's a problem. It's something that needs to be solved. The city and you need to address how that's gonna be resolved going forward. We gotta get something out of this. We're gonna have all this extra traffic and extra density. We got evacuation zone, so that's gonna be everybody's big concern. Thank you.

Wayne: Okay. Thank you. Should we take a Zoom? One more in [inaudible]? Okay. Yes sir.

Audience Member: I'll wait until the Zoom's gone.

Wayne: Okay. What is it, Sharon? On the Zoom?

Sharon: There's just Rick. Rick, if you can hear me, could you unmute?

Sharon: Okay, Rick's not there. Is Jennifer Perry? If you could unmute and ask your question.

Allen Perry: It's actually Allen Perry. Can you hear me?

Sharon: Okay. Yeah. Yeah, we can hear you.

Allen Perry: Okay. Perfect. I've got a couple questions. Anyone else from Bonita Springs Utilities on this call?

Allen Perry: Or in the audience?

Allen Perry: I – okay. Can you still hear me?

Audience Member: I can't hear anything other than a little bit of complaining a while back.

Sharon: Yes. Rick [inaudible].

Julia Baxter: This is Rick. Actually, it's Julia Baxter for Rick. Can you hear me?

Wayne: Yes.

Sharon: Yes. What's your question?

Julia Baxter: Okay. All right. So, I'll be quick. I'm Julia Baxter. I'm from Eagle Point Condominiums, which is just north of Maddox Lane. So, here are my questions. Some of them, which I think you can answer today. The drawings that were seen today, do you feel that if everything goes accordingly the way you might want it or the way the developers want it, and the city and so forth, is this gonna be pretty close to what the final product would be?

Wayne: Ma'am, this is a very conceptualized plan. We will be required to show some additional details as this evolves through the process, and we discuss plans with the city. So, today it's a conceptual plan, and how we develop that [inaudible] residential components might be –

Julia Baxter: Okay. You're cutting up a lot, so I'm hoping maybe you'll just put that answer in the recap that we'll receive if we request it.

Wayne: Okay.

Julia Baxter: Okay. No. 2, another gentleman mentioned approximately, probably about a three-acre piece of property that is on the northwest corner of Maddox Lane and Paradise, and it is vacant. And it may be, right now, being used by the Bonita Springs Utility as they put in the new water main, or the city as they put in the sidewalk. However, that piece of property is part of the old golf course, and I would like to know what might be proposed for that piece of property. And if you don't know, if it's not part of your project, maybe you could let us know who would be in charge of what happens to that because that directly borders our property.

- Wayne: Just to answer your question –
- Audience Member: Correct:
- Austin Howell: There's no proposal for that parcel right now. It's not included in the [inaudible] [00:56:01] proposal we are speaking of today.
- Julia Baxter: Okay. So, there's no proposal for that. And assured it not be part of this plan, I guess what I would need to know is who will be planning that piece of property? The last thing is I'm hoping when you get to further details, that when we see a lake or the lateral retention ponds, that you will let us know what you are proposing as a level of water during what I might call dry season, and what the level of water would be in a wet season, and what the level of water potentially could be during a storm. A severe storm.
- Because, again, we are right across the street from a proposed lake, and if, during a storm, that overflows, that would be a major problem because it would flow over the road and right into our property. So, we're presuming the level of water would be low enough to be able to take storm water and still not overflow. So, we're hoping – and not only hoping – but we'll be looking for that kinda detail as you go forward.
- Austin Howell: Yeah. As we go forward, that would be in the form of an environmental resource permit process.
- Julia Baxter: Okay.
- Austin Howell: So, that would come to – all that detail –
- Julia Baxter: Okay. Thank you very much.
- Wayne: Thank you, ma'am.
- Sharon: I think up next a Mr. Perries.
- Wayne: Mr. Barrett, are you there?
- Sharon: No. Okay. Let's go to Scott –
- Audience Member: I am here.
- Audience Member: Can you hear me?
- Wayne: Yes, we do. Go head.

Audience Member: Okay. Excellent. And that's not the weirdest thing I've heard on a Zoom call before, so... So, I was wondering if anyone else from BSU in attendance are either on the call or in the audience.

Wayne: We have a gentleman raising his hand. I don't know if it's officially Bonita Springs Utilities, but... Are you with Bonita Springs Utilities?

Audience Member: Oh. No, I'm not.

Wayne: Okay. The question was do we have anyone here for Bonita Springs Utilities. And we do not. This is **us** and neighbors. And I don't believe I see staff here.

Audience Member: Okay. Oh, it's not my department, but the current infrastructure is not gonna be able to handle any development of this size at all. I was hoping someone else would be here that could speak more to the fact of the sewer infrastructure. There've been several developers through the years in the golf course, and they've all had their ideas on what a sewer system should be, and they're all kind of... You know, the Utilities' doing an excellent job of repairing it as it goes, but it wouldn't be able to handle this type of construction.

And I apologize. I missed about the first 10 minutes of the call due to audio issues. Have you guys done this before? Have you been able... or have you, lack of a better term, shoehorned a development into an existing community before?

Wayne: Yeah. Well, I don't know that I would call what Barron Collier does shoehorning anything, but **[inaudible]** the applicant and they have 100 years' worth of experience developing **[inaudible]** high quality homes in Southwest Florida **[inaudible]**.

Sharon: Is that your last question, sir?

Audience Member: Well, and then I was just gonna bring my next point. An overwhelming majority of the community is gonna be against a development on that golf course, and are you prepared for that? I can speak from experience. This neighborhood has stood up against several challenges to the safety and security of the community, and quite successfully. Have you guys faced anything like this before? And that will be my last.

David Genson: To answer your question, we have dealt with this numerous times,

primarily in Collier County. We do have land developing here [inaudible] [01:01:13] in Bonita and portions of unincorporated Lee County, and very familiar with doing this. I just wanna say that we're not coming in as developers trying to shoehorn anything in. The purpose of this meeting is to come in, talk to you, address your concerns, and address them as best we can. And that's what's made us successful in the past, is working with the community to address their concerns prior to any development that we do.

Now, we may not meet eye to eye on everything, but I promise you that we will work towards everything that we hear today, and somehow, we can try to address those as best we can.

Sharon: We do have a Scott Weimer.

Scott Weimer: Yeah. My name is Scott Weimer. I have a house on Fairway Dunes Court. My question is have you had any consideration of amenities, whether it's a park or any other bike paths, or things that would be of interest to residents in the area that would benefit us?

Austin Howll: We're still in the planning stages, but on this preliminary concept, we'll see a trail system on possibly both parcels.

Wayne Arnold: And there may be, depending on what type of develop there could be, internally recreation to support each of the residential [inaudible] components as well. Whether or not that [inaudible] recreational.

Audience Member: Okay. Thank you.

Wayne: Thank you.

Sharon: Last one, Ben H, who was unmuted, and I don't know if he wants to ask a question. Ben, go ahead.

Ben Hershenson: Oh yes. Thank you. My name is Ben Hershenson. I'm chair of a Bonita Springs Golf and Country Club steering committee, and we've had numerous meetings over the last several years regarding a potential development of the golf course. And I would have to say that people in the community, probably up to maybe four or five years ago were very supportive to work with a potential developer. And then along came the summer of 2017. The entire area was like a like. My community was flooded. And I'm involved with the Fairwinds HOA. I'm president of that organization as well.

The point I'm trying to make here is that there is a different attitude currently, and with a lot of seniors in the area, their major concern is flooding. The runoff. And the more impervious soil you have available, or land you have available, the more runoff. And I've been through infill housing in my own development. And what happens is a developer comes in, and they will build home A that is next to already existing B and C, and then the elevations may not be the same.

And I realize things have changed with the city, but what I'm really concerned about is this: simultaneously, right now, there is a phase one study that is undergoing with the city under a FEMA grant from the state. And that phase one study is essentially looking at design and engineering studies relative to the utilization of that land – the 113 acres – for a storm water mitigation facility. And I understand all about property rights. Certainly, Barron Collier, any potential developer or investor has land and they ultimately wanna get the value return. I understand that the city is working in conjunction with the potential landowner at this particular time.

So, my question is this: Simultaneously, currently, ongoing is phase one of the FEMA study, again, under the offices of the city. How does your proposed project timeline wise coincide or interface with this project undergoing by the city right now under a grant which should take approximately 10 to 12 months to complete, and if that is a feasible plan will be submitted back to FEMA for the possible funds for acquisition of that land for a 100% storm mitigation, walking areas, et cetera?

Perhaps you don't know about it. Perhaps you don't wanna talk about it. But as an interest for my part and also the people in the area that they know that this particular study is going on right now. How does your proposed project – other than protecting property rights, which I can understand – are you aware of it, and how does it interface with this current project that's ongoing?

David Genson:

Yes sir. I appreciate the question. And we are very aware, and I think personally involved in negotiations with the city of Bonita Springs on what they'd like to do there. And their timeframe right now is I believe, a study, by August of next year, and that will be basically a cost benefit analysis that will show whether or not the proposed project that they propose will be eligible to receive the FEMA grant funds. Now, as a developer for 27 years, I can tell you I know that the winds change with elections. And so, what may be the sentiment of the city right now as to what they want to do with

the property, it may change. I've seen it numerous times.

So, we were very frank with the city mayor as well as all the council people that we are gonna go down this path in case we can't come to an agreement where the city does not move forward with some arrangement. So, we're... I will call it hedging our bets as to here's an option if things would fall through with the city. It's an unknown They're still doing a study. And so, we had to think as a developer, I've now covered myself on the potential if something were to go awry with the city. So, that's kinda why we're here. I'm very well aware. We're still working with the city, but we're also doing this route to cover ourselves in case something were to fall apart.

Sharon: Let's see if Ben has any more questions. I have two more people. I have a M. Kaita. K-A-I-T-A. If you could unmute.

Kim Aita: Yes. Thank you. We're Martin and Kim Aita, and I also have the same concern as some of these folks do with regards to Paradise Road. As a walker, that sidewalk already seems like it's 10 inches from the road. So, if this goes forward, I mean, there's school children that are at bus stops, and cars are literally a foot from them. There's gravel that spews over onto the sidewalk from that road. That road's already deteriorating, and I'd like to understand better when you say that you believe that that road is proper size, what is that proper size supposed to be?

David Genson: Well Ma'am, let me just clarify one thing. When we go through this planned development process, those are all things that we have to have our traffic engineer address. Not only just what happens internal to our project, but what our offsite impacts are. Same with utilities. We'll have to look at that. There may be some undefeated factors when it comes down to utilities, as people have mentioned before. Those are all things that we have to address, whether it's environmental, transportation, water management, utilities. All those will get addressed as part of the planned development process. And by the time we come back to you to present more detail, a lot of those items are going to be addressed. As it stands, I don't have all the answers today because we haven't met with the city. Are required to meet with you first.

Kim Aita: I understand.

David Genson: And get your opinion.

Kim Aita: Okay. Okay. Thank you for that. I misunderstood. I thought it was

said that the road is a proper road and that it can handle the traffic that is being suggested may come through it. So, I misunder –did I misunderstand that as has been determined?

David Genson: It hasn't been determined. It may, from a traffic standpoint, have what they call capacity, but that doesn't mean that the city or county maybe would look at other safety improvements as part of this. I don't know. And it's not until we go through the process where that would evolve.

Kim Aita: Okay. Thank you for that.

Sharon: Okay. There's a Maureen Taylor. Maureen, could you unmute?

Maureen Taylor: Yeah. I'm sorry. I am also a resident here. I live in Golf Villas. And I just have the same exact concerns about the flooding, and I think my mind always goes to what happened in Island Park. And I think maybe a lot of residents have that same thought process. And so, I'm not sure if you guys are aware of what happened in Island Park, but it was a new development that went up by there, and next thing you know homes were flooded with water just from a bad rainstorm – not even from a hurricane – going up five feet into their units. And it was a three-day thing where they couldn't even get out. They had to use boats to get in and out of Island Park.

So, I just had to make that comment. Like I said, that's just my reference and my biggest concern, really is water retention. And I understand that you have plans to make your water retention acceptable to the city for your plans, but the thing is are you planning for the surrounding communities that are already there?

And then, I just want to make one more comment because I see a William Clark with his hand up. He's diligently had his hand up in the video, but I don't think he knows how to press the hand raise for Zoom, so if you wanna try to get him when I'm done. And I'm done.

David Genson: Let me address the water management drainage [inaudible] [01:11:46] question. You know, there's areas where just the residences around the golf course have a slow drain [inaudible], and as part of the water management design that our engineers will do, they have to be taking into account that. And so, we're gonna address as best of your concerns that we can.

I don't know when a lot of the development was done within this surrounding area, but I can tell you it's more regulated than it was

back then. And the district has very strict standards as to what we can do, what we can't do. What would happen if we couldn't discharge any water after a large storm? And we've had to demonstrate that, that we're not causing any issues. For ourselves and for our surrounding neighbors. So, again, I hate to be vague, but because we're so preliminary, we don't know all those answers. I gotta get my engineer looking at this and understanding that, but we'll have more information when we come back to you. I promise.

Maureen Taylor: Yeah. Thank you. I know I'm beating a dead horse because I'm sure – I mean everyone has said it this whole entire meeting. I just wanted to bring that up. But like I said, I saw a William Clark with his hand up and if you wanna get to him. I appreciate your time.

Wayne: Thank you.

Sharon: Okay, William. You can go ahead.

William: Thank you. I have four questions then I'll show proof of issues. 1.) Who is the developer? I know that I was here before 5:30, but I never heard the guy in the white shirt who's speaking, who you even are. 2.) Public benefit to the community. What is the public benefit of this project to the community? And 3.) How does the development address the concerns of the city's current comprehensive plan?

I think my issues come back to being traffic impacts. My traffic issues are volume today and in the future. Roadway widths, right now they're quite narrow. With the amount of cars that go by, with the amount of development that's just taking place without your development. The sidewalk widths, extremely scattered. There's no bike lanes. There's a lot of bus stops, there's a lot of kids in this area, but there's no bike lanes in the area. The access in and out of the neighborhoods, we have one road in. Paradise. And Paradise is overloaded now, and now we wanna take and put in 500 plus new units, plus the construction, plus the trucks that are coming bringing goods to the area. The utility capacities.

I did like that question a little while ago. The sewer capacity. Several years ago, the residents had to pay for upgrades in the sewer pipe itself. I'm sure that it's not sized for an additional 500. What's that going to do to our existing pipes now? Drainage and storm water. Right now we have X amount of pervious surface, pervious meaning that the water can go through the ground. We're going to change that to impervious, which means the water can't

get through. Now we're going to take and change some of our flood insurance costs because we don't have the capacity that the area had before.

Last couple of days, when we had two days of rain, the drainage ditch fills up to the very top. When it fills up to the very top, it makes the area behind us on Wood Ibis look like a lake. So, where is the water going to go when you put in 500 new homes? Those are my issues, and I hope that you get them right because we already have a lake in the back and now you wanna take away the lake and put in houses. You're just shifting out the water, is the way I see it. Thank you.

Austin Howell: I need to answer one of the questions that he asked, who the developer was. The developer is Barron Collier Companies. **[Inaudible] [01:16:13]**

William: You need to move closer to that computer because we can't hear you. You sound like you're in a tunnel. I know we're speaking right into our computers, so I know our microphones work pretty good. When I hear the different people speaking, they're yelling. When I hear you, I'm struggling to hear your voice.

Austin Howell: Oh, is this better for you?

william: That's better.

Austin Howell: Okay. So, the developer is Baron Collier Companies, **[inaudible]** Collier Companies. We have over 100-year history. Done a lot of projects with Collier. Collier and Southwest Porter. So, I think hopefully that can answer your question. Hoping Wayne **[inaudible] [01:17:00]**.

Wayne: Well, one was your public benefit. You know, that's something that we'll be dealing with the city on. We get asked that question on almost every single zoning case that I've dealt with for 30 years, and that's not part of the criteria per se...

Audience Member: Moving away.

Wayne: Or **[inaudible]** In this particular case, the criteria is we have to **[inaudible]** zoning process address all the criteria, which is upgrade infrastructure, everything you've heard **[inaudible]** So, we will be going through that process. And infrastructure is, as we said, I think every speaker has mentioned drainage or infrastructure. That's part of our analysis, and **[inaudible]** assure

you the next time you see us we'll have additional details [inaudible] So, thank you for your comments. Anybody else on Zoom?

Sharon: No.

Richard Panek: Good evening. My name's Richard Panek, P-A-N-E-K. Golf Lake Circle. I know there's a lot of real concern about the drainage in the area here, and I really don't know what the answer to that is other than putting in a master sewer system and spending billions of dollars, what have you. So, the sewer situation that was brought up recently maybe is new to some people, but we were, a few years ago, had a special assessment because the original sewer treatment plant was put in my Michael Sully and this was probably 40 to 50 years ago.

So, it's an antiquated system, and Bonita Springs Utility over [inaudible] that it wasn't adequate, so we this special assessment. Now we wanna add 500 units to this at 2 ½ toilets per unit, that's a whole lot of sewer pipe that this thing would have to handle.

Road wise, Paradise is a nasty road. It's an old road. It goes back for several decades at a time, and when they put in Shangri-La, there's a short section on Paradise which is the correct width that that road should be. And then it narrows down to the old original road to try to carry us from [inaudible] [01:19:41]. Now, I've lived here for 26 years and I've enjoyed the golf course. I don't know if it enjoyed me or not. But we kinda liked it, and change is inevitable, and so, we need to accept it, I think.

The concept, however, is, first of all, the city did a real slick thing here 2 ½ years ago with this residential development plan for golf courses because I believe there are only two of them that are non-gated in the city. I may be wrong, but I think that's about it. We're one of them. So, that really set up the groundwork for development. I saw that really clearly. Now, we know the golf course is not gonna come back right now. And we know that the city is not planning a new major city park on it.

So, two things are at play here. The current owner would have liked to have dumped the property after – I guess, it's about 13 years since Sully passed away – so they can get off the tax rolls and the city would love to take those tax rolls and bump them to somebody with value. It's a two-way thing going here. However, if you look at all of these properties that are surrounding the development here, they're basically single-family homes. A few

multiples in there. And they're not built **[inaudible]** as such.

They're in other words, single residential type families, and I don't think any one of us wants to see a change in the demeanor of where our community is currently. We don't want to see apartments, et cetera, et cetera, whatever name you wanna attach to it. Now, on that basis, I think the development – and if it's gonna proceed one way or another – but it should be a single-family category. And it should be in the one-story situation like we are used to having around here. How do you develop the roads and all of that? I know that's **[inaudible]** situation. It's gotta proceed the way it is.

Other than that, well, I would say make your plans now for single-family development, dump this thing that the city conjured up a few years ago, go to single-family homes so that your future meetings with us over here are going to go quicker and smoother. All right? Thank you.

Wayne: Thank you very much, sir. The gentleman in the back **[inaudible]**.

Jeff: Jeff **[inaudible]**, Wood Ibis. **[Inaudible]** Three questions in one. Will your plan or company develop any of the drainage for the east edge of Paradise Road? **[Inaudible]** **[01:23:13]** where it said Paradise Road there. Last night after the rain, you can't drive down Paradise without the water coming in at halfway **[inaudible]** And it's causing cars to swerve to the left. Are you doing anything with water development in that area?

Wayne: Well, I think, as you heard several of us say, this is a very preliminary meeting. We have water –

Jeff: But is your company responsible for developing a plan for that area **[inaudible]**?

David Genson: As part of the development approval, the city may ask us to address the water drainage off Paradise. That's not atypical in any zoning action. So, we don't know yet until we meet with the city. My gut, my experience tells me that yes, the city's gonna ask us to help address some of that, and we'll lead with that **[inaudible]** they do. So...

Jeff: Yeah, because if you're not dealing with that part, you're gonna have a problem, basically with **[inaudible]**

Wayne: Right.

Jeff: No. 2, you may have covered this in the beginning, and I was late, so I'm sorry. In the communities that you wanna develop, are they gated communities? Are there any type of security [inaudible]? What's the plan?

Wayne: I don't think we have a detailed plan for that yet, because [inaudible] land development codes, I think the code does not allow for gates.

Wayne: Yeah, I think their preference is not.

David Genson: There are deviations to [inaudible]

Audience Member: Right now?

Jeff: Okay. And third question. Landscaping plans. Is this a preliminary landscaping plan? Does the city want to develop those requirements for landscaping? And what are some of your ideas for the landscaping? Both for – especially between homes and the newer homes that you develop.

David Genson: The city's regulations have very strict requirements, which, back to the buffer, and the capacity of it and sort of the timeframe, so we'll make sure that we comply with that. We'll have to show that once our proposal's passed, that as part of our development approvals. So, we still don't know what that is yet, but we do have to address buffers as part of the city process.

Jeff: And I saw one of the slides. The walls?

David Genson: Right. No walls.

Audience Member: Because it's all berms, buffers.

Wayne: Correct. Thank you. Has anybody not had a chance to speak? Sir? Sir? I'd like to get everybody who hasn't spoken yet. I've gotta –

Larry Hollander: My name is Larry Hollander. I've been waiting my hand. I don't know how else to let you know. May I speak?

Wayne: Yes. Go ahead.

Larry Hollander: Yes. Okay. I'm in Bonita Lakes, northeast corner of your development. Been there about 4 years. Start by saying some advice. Was in business and the one, the most important thing that

I learned is if there is a problem with anything you wanna do and you aren't aware of it, it'll still be there. So, I think this meeting is very good. But the first is two obvious, major, major concerns that you apparently weren't aware or aware now, and I suspect you'll be strongly looking at it, and one – and not in order of importance, but one is the whole concept of the drainage and everything else, and the other of the traffic with this major development on basically one exit road.

So, we'll leave that you'll look at it. There's something – free advice that I would like to give you. Now, Toll Brothers, when we moved in four or so years ago had told us that they were considering developing this property. Toll is one of the largest, one of the better developers in the United States. They didn't do it. I think you should approach them and find out why, because whatever reasons they had were...let's call them legitimate. I think one reason was the traffic and the exit, but I don't know what the reasons were other than they didn't do it, so I would suggest that you talk to them.

And someone earlier talked about other developers who had looked at it, and there has to be a record of who they are. I would talk to them. Anything that they have learned can be of help to you. If there's a problem that you're aware of, you may very well be able to deal with it properly. If not, you will become aware of it...not in a happy way. So, that's the best comment I can make.

Now just a couple of other minor things. It was also mentioned of the people who surround you, most of them are one home properties – in developments or not, immaterial in a sense. I'm one of those – but you're planning a development that is going to have potentially multi-story buildings. One person suggested that you don't. Something to consider. I'm not telling you what to do or not. I would make a very strong suggestion that if you do, in fact, you do go with some multi-story buildings, if you wanna gain some support from the neighbors, and perhaps, more importantly, not have them 100% against you, put them in the middle of your property and not at the edges.

If someone's going to buy, whether it's a single house or in the multi-story and they know it exists, they've accepted it. So, if you have these multi-stories more or less in the middle, then it won't affect me and all of the other people in a negative way. You have to – As much, as my wife says. You still have to address the horrible potential problems of the flooding, of the roads, et cetera. But that to me is something you might wanna look into.

I would strongly, again, find out what is potentially wrong. And this is a good way to start, but I'm not telling you not to do it or whatever, but if you can address the negatives, you will have a better chance of getting through with the neighbors, of getting through with the community, with Bonita Lakes – I mean Bonita Springs, et cetera, et cetera, et cetera. So, that's my input for that. Thank you.

Wayne: Thank you for sharing that.

Larry Gilmore: Hi. My name's Larry Gilmore. I live [inaudible] [01:30:47]. I [inaudible]

Larry Hollander: If I may, one other thing? In looking at the –

Wayne: Sir. We have another speaker that's speaking presently.

Larry Gilmore: One of the concerns that everybody else has had. I only got two questions and one not. When's the next meeting? Do you know?

Wayne: We do not know.

Larry Gilmore: Okay. When are you meeting with the city?

Wayne: We have not met with the city. We will be meeting with the city once we decide to file our application and look into some of the issues.

Audience Member: Okay. [Inaudible] [01:31:24] the other comment is mostly – I think you were speaking quite frankly, and who's sitting beside you was. You're making rezoning and [inaudible] property to make the most money you can. So, to make the value increase. This is all for show. [Inaudible] I don't think you care what [inaudible]. That's my personal opinion.

Wayne: Thanks for your comment. Sure.

Sharon: Mr. Hollander wants to ask another question.

Audience Member: One issue [inaudible] of us here tonight [inaudible] –

Larry Hollander: There we go. [Inaudible – crosstalk] You indicated –

Audience Member: [Inaudible]

Audience Member: You indicated –

Audience Member: **[Inaudible]** The last developer that wanted to develop put no such **[inaudible]** was trying to have to obtain parcels of property from two private residences. **[Inaudible]** the homeowner's association that those houses belong to **[inaudible]** to purchase those properties. Because if they don't, you have a very narrow path to get into that piece of property. That's why I'm here tonight, because it has **[inaudible]** tonight.

Austin Howell: Yeah. We'll certainly be looking into that.

Wayne Arnold: Yeah. And the **[inaudible]** **[01:33:07]** as well.

Audience Member: Okay. That's all I have.

Wayne: Thank you. Mr. Hollander, are you still there? If you'd like to go ahead and ask your question.

Larry Hollander: Yeah. Just real quick. In looking at the floorplan or whatever, in the beginning you indicated that it was, I think, 50 foot or 40 – 40 or 50 feet around the whole property that would not be developed or whatever. And it looks there like you're starting with – I don't know if it's 10 or 20 feet. I hope you would have a little more – but this is on me – northeast or in the east corner of the property in there where Bonita Lakes is. Thank you.

Wayne: Thank you. Yeah, I did mention the Code **[inaudible]** requires **[inaudible]** but it also allows for deviation to provide pathways and some other features, so we'll be looking at that issue. But thank you. Anybody else in the room who we haven't heard from, or does not mention drainage? Because I think we get it. There's a drainage issue. Yes sir?

Dwight Esmon: Dwight Esmon again. Somebody mentioned that you don't know what's gonna happen after the election. I've talked to a lot of the candidates and pretty sure everybody's gonna be in favor of buying this property for storm water retention. So, those of you in the audience, you guys **[inaudible]**. Just worry when the water **[inaudible]** over here, are candidates running for this district. I know you guys have an option on this land. Can you tell me when you're gonna exercise that option?

Austin Howell: It's undetermined at this time. Once we finish our studies, **[inaudible]**.

Dwight Esmon: So, if it takes until next August for this – why it takes a year to do

a FEMA study, I don't understand – but you can hold onto that option at least until the study's done?

Austin Howell: That may not be an option. After a certain time when the studies are done, if we are required to purchase the property [inaudible] have to take it into consideration. You would have to ask [inaudible].

Dwight Esmon: So, you do know the date is when your option –

Austin Howell: No, but I can't tell you if that date is going to before or after that time is what I'm saying.

Dwight Esmon: Okay. Maybe I'll talk to you after we break. Thank you.

Austin Howell: That's fine.

Wayne: Anybody else?

Audience Member: I couldn't quite hear that. Could you repeat that? Are you being patient and giving a consideration to this FEMA grant, or is that being discounted already?

David Genson: No. That has not been discounted by any means. We've talked to all of the council people that – well, I shouldn't say all – we've talked to several council people including the mayor about this, explaining that we would still like to do the deal with the city, but as a fallback, I'm not gonna sit back for a year and then all of a sudden be saying if the deal were to fall through [inaudible] [01:36:52] Now I'm starting [inaudible] a year from now. So, to be clear, we would honor our deal with the city. We don't have a deal. They can't do a deal right now because of the limitations that are on the grant itself.

They've indicated that the one loophole was this: we agreed to work with them as they needed. They've been a lot of properties in the studies and whatever they need to do to accomplish this first phase of a study for a storm water facility that they want to develop. So but again as a developer, if I close on this land, at some point, I need to make sure that [inaudible] one way or another. So, I'm taking a risk right now because, okay, the people that sitting up here to go ahead and proceed with the zoning when I might not need it. It may not be that. You may be deal with the city but her we go.

We're not totally motivated by money. Sometimes we do the right

things for our community. Done that for a long time. I appreciate your **[inaudible]**.

Audience Member: No, no. It was just I didn't know it was mutually exclusive.

David Genson: Oh.

Audience Member: Then money could be the right thing.

David Genson: It could, it could

Audience Member: I wasn't laughing at you. I was laughing **[inaudible]**.

David Genson: So, anyway, I hope that answers the question, but you know that's the way we look at this right now. We're not going to just wait, and just wait. Yes ma'am?

Barbara Orville: Okay. My name's Barbara Orville, and I just have a question. Are you familiar with the Beaver report and the waldrop report that was done by Lee County? As far as highest and best use of the property?

Neale Montgomery: Yes. **[Inaudible]** City Council.

Barbara Orville: Great. I just wanted to make sure you were aware of those studies. Thank you.

Wayne: Anybody else who hasn't had a chance to ask a question that hasn't been addressed previously? No. Well, it's a little after 7:00, so we will adjourn. I appreciate everybody's time.

[End of Audio]

Duration: 100 minutes

Project Information	
Project Name:	Bonita Springs Golf Course - Proposed
Date:	3/1/2021
Edition:	Trip Gen Manual, 10th Ed + Supplement

North Parcel - 230 SF du;
 e.g. PM Enter - 141
 South Parcel 70 SF du + 200 MF du;
 e.g. PM Enter - 112

Land Use	Size	Daily		AM Peak		PM Peak	
		Entry	Exit	Entry	Exit	Entry	Exit
210 - Single-Family Detached Housing (General Urban/Suburban)	300 Dwelling Units	1429	1428	55	163	184	108
Reduction		0	0	0	0	0	0
Internal		0	0	0	0	0	0
Pass-by		0	0	0	0	0	0
Non-pass-by		1429	1428	55	163	184	108
220 - Multifamily Housing (Low-Rise) (General Urban/Suburban)	200 Dwelling Units	736	735	21	71	69	40
Reduction		0	0	0	0	0	0
Internal		0	0	0	0	0	0
Pass-by		0	0	0	0	0	0
Non-pass-by		736	735	21	71	69	40
Total		2165	2163	76	234	253	148
Total Reduction		0	0	0	0	0	0
Total Internal		0	0	0	0	0	0
Total Pass-by		0	0	0	0	0	0
Total Non-pass-by		2165	2163	76	234	253	148

PERIOD SETTING

Analysis Name : Daily
Project Name : Bonita Springs Golf Course - No :
 Proposed
Date: 3/1/2021 **City:**
State/Province: **Zip/Postal Code:**
Country: **Client Name:**
Analyst's Name: **Edition:** Trip Gen Manual, 10th Ed +
 Supplement

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
210 - Single-Family Detached Housing (General Urban/Suburban)	Dwelling Units	300	Weekday	Best Fit (LOG) $\ln(T) = 0.92\ln(X) + 2.71$	1429 50%	1428 50%	2857
220 - Multifamily Housing (Low-Rise) (General Urban/Suburban)	Dwelling Units	200	Weekday	Best Fit (LIN) $T = 7.56(X) + -40.86$	736 50%	735 50%	1471

PERIOD SETTING

Analysis Name : AM Peak Hour
Project Name : Bonita Springs Golf Course - No :
 Proposed
Date: 3/1/2021 **City:**
State/Province: **Zip/Postal Code:**
Country: **Client Name:**
Analyst's Name: **Edition:** Trip Gen Manual, 10th Ed +
 Supplement

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
210 - Single-Family Detached Housing (General Urban/Suburban)	Dwelling Units	300	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Best Fit (LIN) $T = 0.71 (X) + 4.8$	55 25%	163 75%	218
220 - Multifamily Housing (Low-Rise) (General Urban/Suburban)	Dwelling Units	200	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Best Fit (LOG) $\ln(T) = 0.95\ln(X) + -0.51$	21 23%	71 77%	92

PERIOD SETTING

Analysis Name : PM Peak Hour
Project Name : Bonita Springs Golf Course - No :
 Proposed
Date: 3/1/2021 **City:**
State/Province: **Zip/Postal Code:**
Country: **Client Name:**
Analyst's Name: **Edition:** Trip Gen Manual, 10th Ed +
 Supplement

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
210 - Single-Family Detached Housing (General Urban/Suburban)	Dwelling Units	300	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Best Fit (LOG) $\ln(T) = 0.96\ln(X) + 0.2$	184 63%	108 37%	292
220 - Multifamily Housing (Low-Rise) (General Urban/Suburban)	Dwelling Units	200	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Best Fit (LOG) $\ln(T) = 0.89\ln(X) + -0.02$	69 63%	40 37%	109

METHODOLOGY - INITIAL MEETING CHECKLIST

Date: March 9, 2021 Time: N/A

Location: N/A – Via Email

People Attending:

Name, Organization, and Telephone Numbers

- 1) Tom Ross, City of Bonita Springs Transportation Review
- 2) Norman Trebilcock, TCS
- 3) Ciprian Malaescu, TCS

Study Preparer:

Preparer's Name and Title: Norman Trebilcock, AICP, PTOE, PE

Organization: Trebilcock Consulting Solutions, PA

Address & Telephone Number: 2800 Davis Boulevard, Suite 200, Naples, FL 34104; ph 239-566-9551

Reviewer(s):

Reviewer's Name & Title: Tom Ross, PE

Address: 225 East Robinson St., Suite 505, Orlando, FL 32801

Telephone Number: 407-423-0030

Applicant:

Applicant's Name: Peninsula Engineering

Address: 2600 Golden Gate Parkway, Naples, FL 34105

Telephone Number: 239-403-6700

Proposed Development:

Name: Bonita Springs Golf Course – Rezone

Location: East of Cockleshell Drive, south of Maddox Lane and east of Paradise Road, south of Wild Turkey Avenue, Bonita Springs, FL – refer to **Figure 1** on next page

ITE Land Use Type: Single-Family Detached Housing

ITE Code #: Land Use Code (LUC) 210

Description:

The project proposes to allow for a new Residential Planned Development (RPD) to consist of a mix of single-family and multi-family dwelling units (du) in 2 parcels: North Parcel and South Parcel.

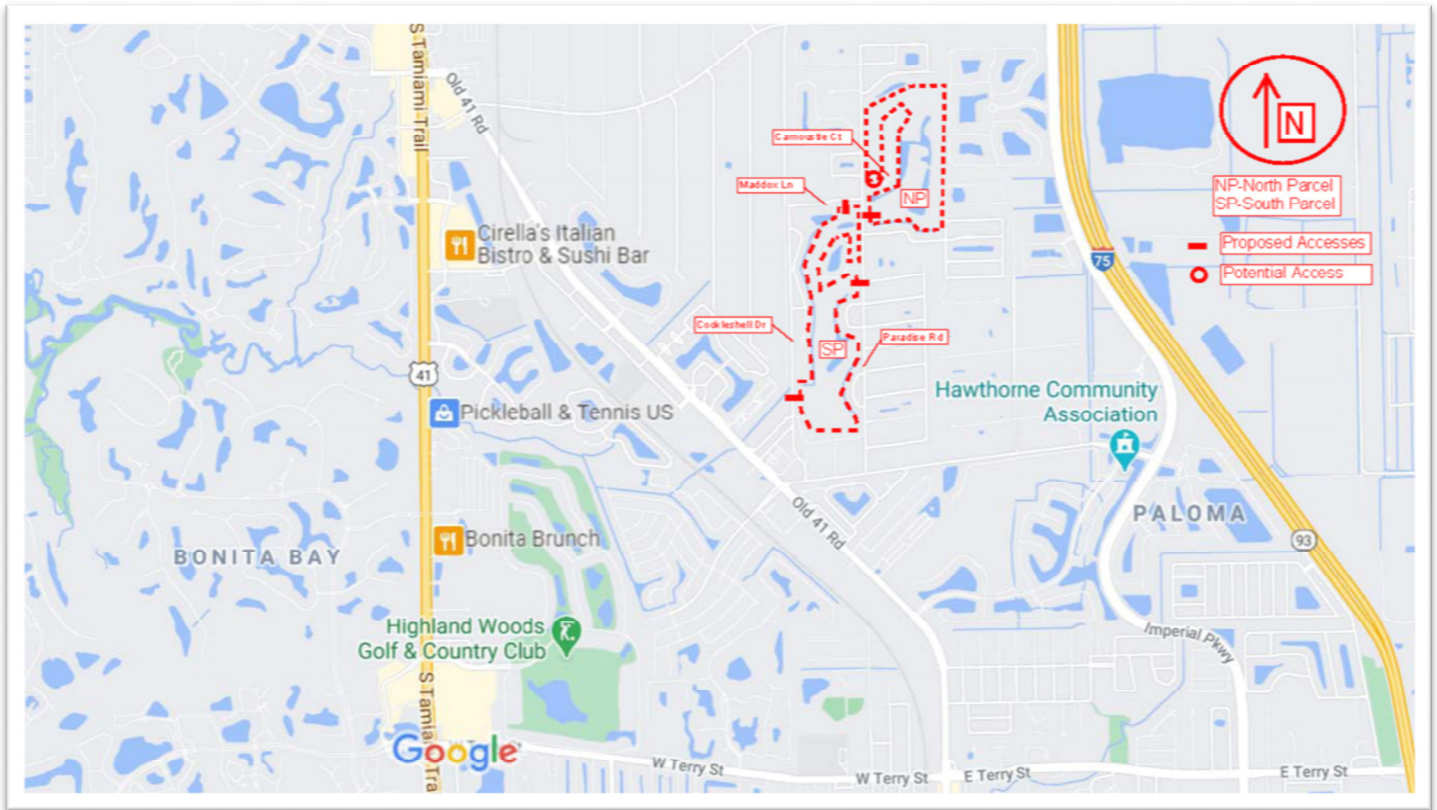
Zoning:

Existing: RS-1 and RM-2

Comprehensive plan recommendation: N/A

Requested: Zoning change to RPD

Figure 1 – Location Map



Findings of the Preliminary Study:

TIS will satisfy City of Bonita Springs TIS Guidelines requirements (Resolution #17-76).

Trip Generation – ITE 10th Edition – OTISS. Traffic generation illustrates buildout conditions with traffic assigned to each parcel based on the number of units.

No internal capture or pass-by traffic reduction are considered for this project.

Project Traffic Distribution, Link Assignment – AM and PM peak hour traffic

Significance Test – based on 2% or 3% threshold, as applicable.

Level of Service (LOS) analyses will be performed for existing, background and proposed (background with project traffic) conditions for AM and PM peak hour periods.

TIS will provides LOS analysis of the nearest arterial or collector streets to which the proposed project will discharge its traffic. The LOS evaluation is based on the most current Lee County Generalized Level of Service Thresholds.

Background traffic will reflect peak season, peak hour, peak direction values (100th Highest Hour Directional Volume). TIS will utilize traffic counts provided in the 2020 City of Bonita Springs Traffic Count Report.

Growth rates will be used in lieu of vested or reserved trips.

K and D factors will be calculated based on the data illustrated in the 2020 City of Bonita Springs Traffic Count Report.

Turning Movement Counts in 15 min intervals – 1 mid-weekday – AM (7-9 AM) and PM (4-6 PM) for the following locations: Old 41 Rd at Shangri-La Rd, Shangri-La Rd at Cockleshell Dr, and Shangri-La Rd at Paradise Rd. Traffic counts will reflect 2021 peak season conditions.

Report will provide capacity analyses for the above mentioned intersections for both AM and PM peak hours based on the following scenarios: existing 2021 peak season conditions; future 2025 peak season conditions without and with proposed project.

Turn lane warrant analyses for the 3 intersections and project access points – AM-PM peak hours – based on Lee County Turn Lane Policy AC 11-4.

Paradise Rd and Cockleshell Dr are 2 lane roadways with a posted speed limit of 30 mph and are under the jurisdiction of the City of Bonita Springs.

Based on the City of Bonita Springs Transportation Element (Figure 1 – Future Road System Functional Classification), the analyzed roadways are classified as follows: Paradise Road – local roadway, Cockleshell Drive and Shangri-La Road – minor collectors and Old 41 Road – major arterial.

Study Area:

Roadway Links: Old 41 Road, Shangrila Road

Additional intersections to be analyzed: N/A

Build Out Year: 2024

Horizon Year: 2025

Analysis Time Period(s): AM/PM peak hour

Future Off-Site Developments: to be determined

Source of Trip Generation Rates: ITE Trip Generation Manual (TGM) 10th Edition – OTISS software

Reductions in Trip Generation Rates:

None: N/A

Pass-by trips: Based on ITE recommendations and City of Bonita Springs TIS Guidelines

Internal trips: Based on ITE recommendations and City of Bonita Springs TIS Guidelines

Transit use: N/A

Horizon Year Roadway Network Improvements: 2025

Methodology & Assumptions:

Non-site traffic estimates: City of Bonita Springs 2020 Traffic Count Report

Site-trip generation: ITE TGM 10th Edition - LUC 210

Trip distribution - assignment method: Engineer's Estimate – Refer to **Figure 2**

Traffic site access: Refer to **Figure 3**

Traffic growth rate: growth rate 2% minimum or historical traffic count data as contained within Bonita Springs Traffic Count Report, as applicable.

Figure 2 – Project Trip Distribution Map by Percentage

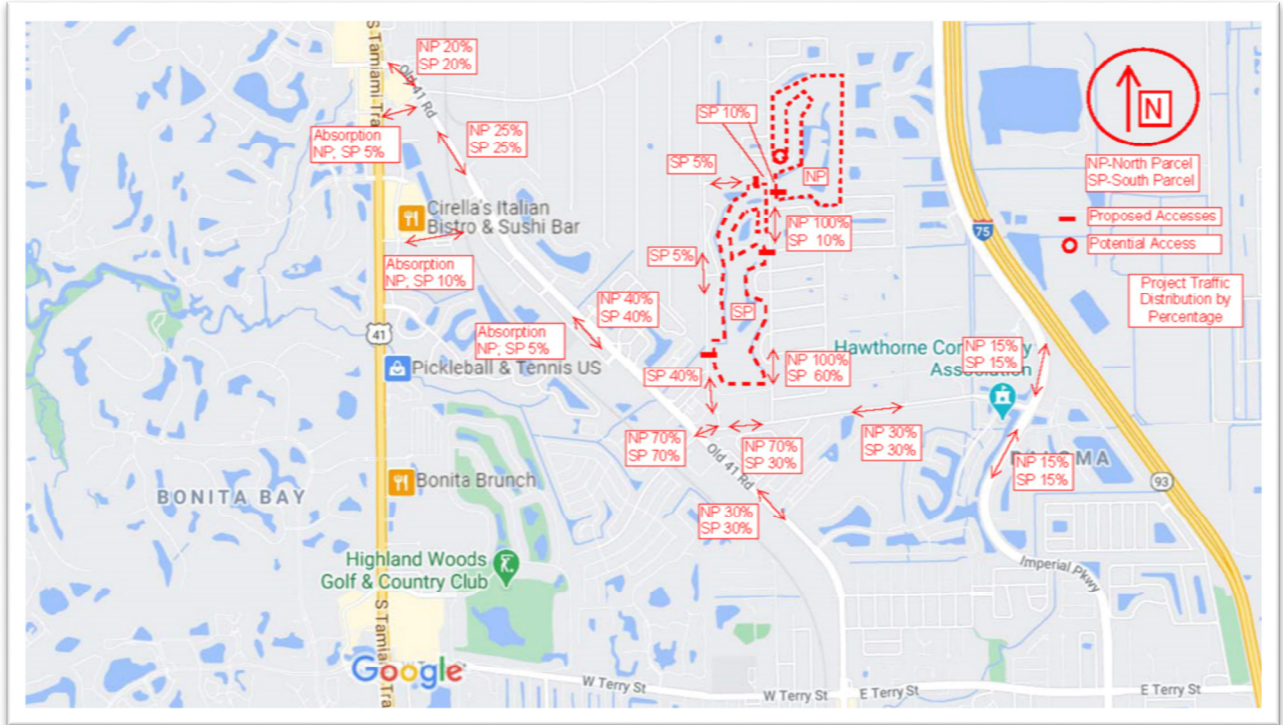
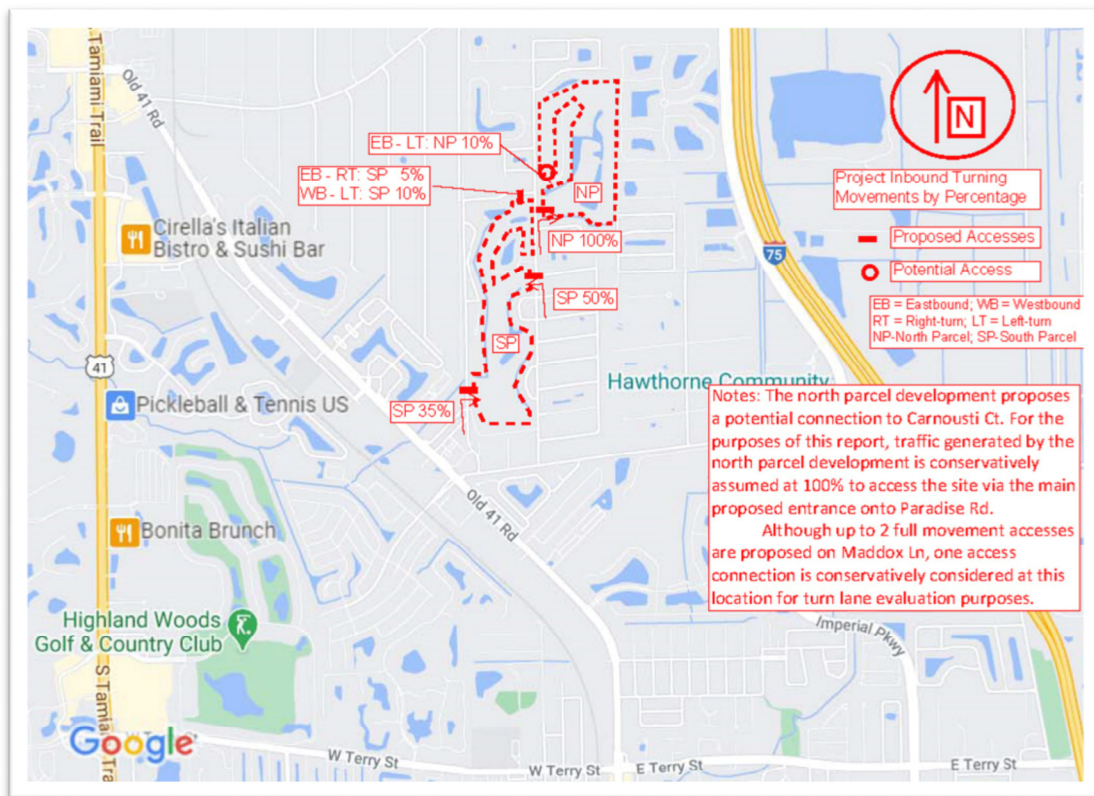


Figure 3 – Project Turning Movements Map by Percentage



Special Features: (from preliminary study or prior experience)

Accidents locations: N/A

Sight distance: N/A

Queuing: to be determined

Access location & configuration: N/A

Traffic control: MUTCD

Signal system location & progression needs: N/A

On-site parking needs: N/A

Data Sources: ITE TGM 10th Edition – OTISS Software

Base maps: N/A

Prior study reports: N/A

Access policy and jurisdiction: N/A

Review process: N/A

Requirements: N/A

Miscellaneous: N/A

SIGNATURES

Norman Trebilcock

Study Preparer—Norman Trebilcock



May 7, 2021

Mr. D. Wayne Arnold
Grady Minor & Associates, P.A.
3800 Via Del Rey
Bonita Springs, FL 34134

Re: Bonita Springs Golf Course Planned Development – PD21-78545-BOS

Dear Mr. Arnold:

The Zoning Division has reviewed the information provided and supplemented for the above-referenced planned development request. Additional support documentation is required for the application to be deemed complete. Please provide comments for each requirement not satisfied on the attached checklist.

Please submit the aforementioned items in order for the City to process your Application effectively. If the requested items are not provided within sixty (60) calendar days of the date of this letter, this Application will be considered **withdrawn**.

Please feel free to contact me if you have any questions.

Sincerely,

DEPARTMENT OF COMMUNITY DEVELOPMENT
Zoning Division

Mike Fiigon II

Mike Fiigon, II
Senior Planner

Copy:
Derek Rooney, City Attorney
Arleen Hunter, City Manager
Brent Spain, Theriaque & Spain
John Dulmer, Community Development Director
Jay Sweet, AICP, PSM, City Surveyor
Laura Gibson, Environmental Sciences
Sean Gibbons, Multi-Modal Reviewer
Stuart Smith, Development Engineer
Tom Ross, Transportation Engineer
Beckie Reide, P.E, Lee County Natural Resources
Cynthia Vargas, Administrative Assistant
PD Files

9220 Bonita Beach Road
Suite 111
Bonita Springs, FL 34135
Tel: (239) 444-6150
Fax: (239) 444-6140
www.cityofbonitaspringscd.org

Rick Steinmeyer
Mayor

Amy Quaremba
Council Member
District One

Jesse Purdon
Council Member
District Two

Laura Carr
Council Member
District Three

Chris Corrie
Council Member
District Four

Michael Gibson
Council Member
District Five

Fred Forbes, AIA
Council Member
District Six

Arleen Hunter
City Manager
(239) 949-6267

Derek Rooney
City Attorney
(239) 949-6254

City Clerk
(239) 949-6247

Public Works
(239) 949-6246

Code Enforcement
(239) 949-6257

Parks & Recreation
(239) 992-2556

**Community
Development**
(239) 444-6150

BONITA SPRINGS Planning and Zoning

Sufficiency Comments:

1. It is Staff's opinion that labeling the portion of the project adjacent to Carnoustie Court to the west as either residential or water management is not sufficient. Rather, the Applicant should pick an option and provide additional analysis for the impacts based on the option chosen. It is also Staff's opinion that, based upon historical data for the area as well as the numerous concerns expressed at the neighborhood information meeting (held by the Applicant), the preferred option would be water management.
2. LDC Section 4-295(6)(b): Master Concept Plan: *Where the subject property will be divided into lots or parcels, the plan must indicate the general location, configuration, and approximate dimensions of the lots or parcels (including outparcels) as well as lot coverage, and the minimum proposed setbacks for principal structures.* Please revise the proposed Master Concept Plan to include general locations and configurations of the proposed lots. Additionally, please list the deviations on the Master Concept Plan as well as the proposed development regulations. To this end, the Master Concept Plan may contain multiple pages.

Substantive Comments:

1. Please reference LDC Section 4-1472 for the requirements for gates and gatehouses in order to determine if additional deviation requests are necessary.
2. Does the project plan on utilizing the off-site sign located on the corner of Cockleshell and Old 41? If so, please provide relevant details for the request, including, but not limited to: proof of ownership, easement agreements, a sketch and legal description of the parcel, and proposed elevations.
3. Deviation 1: Please revise the justification language. At this time, Staff has concerns with this deviation based upon the justification provided. There is no reason provided for why walls and gates are preferred over the required vegetative buffer, which would yield a more natural look that is more compatible with the surrounding area and still achieve the same goal of screening the proposed project from existing residential development.
4. Deviation 8: Is it the Applicant's intent to include pathways only on the southern development tract? It appears the deviation request applies on the northern development tract, but no conceptual pathway is shown on the Master Concept Plan. Are these pathways accessible to the adjacent residential uses?
5. Deviation 9: Please revise the justification language. At this time, Staff does not agree that the standards to request a deviation as outlined in LDC 4-2312(13) have been met. It is Staff's opinion that significant enhancements are not being provided to warrant the requested deviation.

Please contact: Mike Fiigon II, Senior Planner
Phone: 239.444.6151
E-mail: mfiigon@cityofbonitaspringscd.org

BONITA SPRINGS Surveying

Sufficiency Comments:

1. The location of the access shown on the Master Concept Plan to the northern and eastern parcel is not included in the Boundary Survey.
2. Neither of the two surveys provide an acreage or square footage calculation.
3. Note #2 on the survey states that the survey was prepared without the benefit of an Abstract of Title. The legal description is prefaced “per provided title commitment.” Are the exceptions listed in the title commitment depicted on the survey?
4. The Applicant submitted the Amended Declaration of Covenants and Restrictions of the Bonita Springs Golf Country Club and Fairway Estates (Covenants). Is all of the Applicants’ property subject to the Covenants?
5. The Master Concept Plan shows an access road going across what appears to be Lot 86 of Plat Book 30, Page 84.
 - a. Please provide a survey of this property.
 - b. This lot is subject to the Covenants, which appear to limit the use to residential only. Have the Covenants been modified to allow the access road use? If so, please provide documentation.
6. Exhibit IV-C ROW and Easement Map does not show easements that exist on the property.

Please contact: Jay Sweet, AICP, PSM, City Surveyor

Phone: 239.444.6178

E-mail: jsweet@cityofbonitaspringscd.org

BONITA SPRINGS Environmental

Sufficiency Comments:

1. Provide soils, FLUCCS, and topographic mapping at the same scale as the Master Concept Plan per LDC Section 4-295(a)(4)c.
2. Part of the site is within Archeological Sensitivity Zone 2. Provide a letter from the State for the review of the Master Historic Site File for any known historic sites on the property.
3. Provide a map of heritage trees on site per LDC Section 3-417(b)(2).
4. The Environmental Assessment includes wetland/other surface water FLUCCS areas but does not address if they are jurisdictional wetlands. Please clearly show any wetland/jurisdictional areas and add them to the density and land area sections of the Application as appropriate.

5. Relevant portions of the Conservation and Coastal Management Element need to be included in the Comprehensive Plan narrative.
6. A deviation and justification for LDC Section 4-2312(d)(4) is required due to the requested elevation change within thirty (30') feet of the project boundary.

Substantive Comments:

1. Deviation 7: The justification seems to be related to lakes and preserves but not all areas denoted for this deviation on the Master Concept Plan are adjacent to a lake/preserve. Two of the areas abut existing homes where more buffering as prescribed in this LDC Section would be appropriate.
2. Deviation 10: Appropriate tree species can be utilized around the stormwater management lakes to replace the heritage trees and provide benefits to the lakes and community. The trees could also be counted towards littoral requirements. Once the Application is deemed sufficient, the project will be scheduled for a Tree Advisory Board hearing and pre-meeting site visit.

Please contact: Laura Gibson, CEP-IT, Certified Arborist
Phone: 239.444.6142
Email: lgibson@cityofbonitaspringscd.org

BONITA SPRINGS Engineering

Sufficiency Comments:

1. The MCP shows an area on the north parcel that may be a lake or homes. The Applicant needs to pick one or the other so that the request may be properly evaluated in comparison to the existing development pattern.

Substantive Comments:

1. Staff has concerns with Deviation 2, as requested. Significant fluctuations in lake levels have been noted during the wet and dry seasons. Please note that Staff may consider a condition that requires berms around lakes and ponds in order to address erosion concerns. Additionally, 6:1 slopes are preferred over 4:1 slopes.
2. Staff has concerns with Deviation 4 and would advise the Applicant to reconsider the request in order to satisfy access for emergency vehicles.
3. Staff has concerns with Deviation 6 and the justification provided. Stating that other [older] developments did not have a street tree requirement is not justification for a deviation.
4. Please provide additional documentation relative to the historic stormwater issues in the area. What features are being proposed to help alleviate some of these documented concerns? To improve the water management system, will construction on adjacent properties be necessary? If so, please explain.

5. At time of local development order, the Applicant shall provide engineering plans showing how the site will store and treat its surface water runoff consistent with the City's Comprehensive Plan and the City's LDC, including compliance with Policy 9.3.3 of the Conservation/Coastal Management Element of the City's Comprehensive Plan, which states that an additional fifty (50) percent water quality is required over the already required South Florida Water Management District water quality.
6. At time of local development order, the Applicant shall provide a drainage analysis demonstrating that the site development plan has no adverse impact on adjacent properties and that there is sufficient on-site drainage capacity, storm-water conveyance, and controlled discharge. The drainage analysis shall include, but not be limited to:
 - a. The Applicant shall provide an Interconnected Pond and Channel Routing (ICPR) Model. The 100-year, 24-hour storm event is the primary storm used to evaluate the proposed design. The City reserves the right to request additional modeling of other storm events upon review of the data. All data submitted shall be formatted for inclusion into the city's Interconnected Pond Routing (ICPR) Model.
 - b. The Applicant shall provide a drainage map for all contributory areas within and into the development, showing flow paths/arrows, existing on-site and off-site drainage structures (sizes and inverts), and sub-basin areas; and (2) hydrologic and hydraulic calculations for the 5-, 25-, and 100-year design storm events in order to establish existing baseline conditions.
 - c. Drainage impediments identified during the modeling process must be addressed in the drainage plan.
7. At time of local development order, roof gutters, downspouts and yard drains will be required to collect roof drainage and direct flow into yard drains or central drainage system.

Please contact: Stuart Smith, PE
Phone: 239.444.6164
Email: ssmith@cityofbonitaspringscd.org

BONITA SPRINGS Bike-Ped/Multimodal

Sufficiency Comments:

1. Deviation 3: Please revise the Master Concept Plan to more clearly delineate the area(s) in which the Applicant is suggesting the installation of the proposed "pathways" and/or provide a separate Alternative Pathways Plan. Based upon the Master Concept Plan provided, it would appear the "pathway" being proposed by the Applicant only circles an internal loop around an existing residential community, and would appear to show only one, possibly two, access points to Paradise Road. Please note that providing a "Tree Lined Trail" to facilitate the Applicant's justification for not meeting the required 50' buffer (separation) between proposed redevelopment and the surrounding neighborhood, does not eliminate or act as an "in lieu" alternative to meeting the Applicant's requirement for the provision of the compulsory multimodal infrastructure along Paradise Road. Similarly, the

Applicant does not address (neither on the Master Concept Plan or in the Narrative/Request) where, if at all, the project's other required multimodal facilities will be located and how they will be connected into/with the existing network in the area. Please note per the Code, the Applicant must connect to all existing (and proposed) facilities in all directions.

2. Deviation 5: Please revise the Master Concept Plan to provide the "proposed roadway cross sections" referenced by the Applicant. As requested, Staff would not be able to support or recommend approval of Deviation 5. As required by LDC Section 3-303(b)(iii), a minimum sidewalk of six (6') feet in width on both sides of the right-of-way and a marked on-street shared bike lanes ("Sharrows"), where travel speeds are posted at 25 mph or less, would be required and appropriate. Please note that the provision of the required multimodal facilities as detailed above would eliminate the need for Deviation 5.
3. Deviation 7: Please revise the Master Concept Plan to provide the "proposed alternative cross section" reference by the Applicant. As requested, Staff would not be able to support or recommend approval of Deviation 7. The provision of shade providing street trees is paramount to the successful utilization of multimodal infrastructure within any community; especially if said multimodal infrastructure is to be safely and fully utilized year-round. Beyond the clearly apparent life/safely benefits provided by shade street trees in the Florida heat, street trees also provide traffic calming affects (traffic and speeding being a major concern voiced at the neighborhood information meeting); as well as enhanced aesthetics ("curb appeal"), all while working to re-establish much needed vegetated open space (*i.e.*, fodder and habitat) for native and migratory fauna. Please remember, at minimum, "fifty percent of all required open space shall be green or landscape areas." Staff is not entirely opposed to the required street shade canopy trees being located adjacent to the projects required multimodal facilities on abutting residential or common element lots; as has been done by various developers throughout projects across southwest Florida. However, if such considerations were to be given, it is Staff's opinion that the Applicant and any future community association(s) would have to commit to measures and management practices to protect and preserve these required trees (*i.e.*, appropriate siting and installation of root barrier at time of planting; proper pruning practices to assure adequate canopy "shade" coverage and prevention confluences with adjacent vegetation and structures; and the understanding that removal can only be performed via an approved vegetation removal permit and only after appropriate corrective steps have been taken).

Substantive Comments:

1. Staff reserves the right to review and provide additional comments upon resubmittal from the Applicant.
2. Additional review, comment, approval, permitting and inspection/acceptance from the City of Bonita Springs Public Works Department is required for any infrastructure constructed within City maintained rights-of-way (ROWs).
3. Less the deviations and/or exceptions provided in any RPD approval, at the time of local development order, all required multimodal facilities (infrastructure, crossings, amenities, furnishings, access points, easements, etc.), both internal and external to the site, shall meet or exceed the intent of the design standards provided by LDC Chapter 3, the City of Bonita Springs Bicycle Pedestrian Master Plan (PATH), and all applicable design standards except

as modified and as required by the Bonita Springs Fire Control and Rescue District and National Fire Protection Area (NFPA).

Please contact: Sean Gibbons, Bike-Ped Coordinator
Phone: 239.444.6176
Email: sgibbons@cityofbonitaspringscd.org

BONITA SPRINGS Traffic Comments

Sufficiency Comments:

1. Please extend the project traffic distribution to include all roadway segments until the project traffic is less than the capacity thresholds (2%, 2%, 3%) as required in the TIS Guidelines. At a minimum, add Old 41 south of Terry Street and Terry Street east and west of Old 41. Revise all tables and figures to include the added segments.
2. Please provide turning movement diagrams for the intersections of Shangri-La Road at Old 41, at Cockleshell Drive, and at Paradise Road. Also provide capacity analyses, both AM and PM peak, for the same three intersections as called for on Page 3 of the Methodology.
3. Staff is requesting that the Applicant provide a level of service analysis for the roundabout at Old 41 and Terry Street with the project traffic. It is expected that concerns regarding the impact of the proposed project on the operation of the roundabout will be raised during the public hearing. The Applicant should be prepared to address any such concerns.
4. Staff does not agree with moderating the calculated growth rates to 5%. The growth rates calculated from the historical counts reflect the rapid growth the City is experiencing. Please revise all tables using the growth rates obtained from the counts.
5. Appendix G, Project Turning Movements – Please include both outbound and inbound turning movements.
6. The Master Concept Plan includes a roundabout along Paradise Road. Please include a conceptual drawing of the roundabout showing the proposed inside and outside radii, the approach treatment, the center island treatment and how the proposed roundabout will fit within the existing right-of-way.

Please contact: Tom Ross, Traffic Group Leader
Phone: 407.718.5443
E-mail: tom.ross2@jacobs.com

LEE COUNTY Natural Resources

Sufficiency Comments:

1. The submitted engineering report proposes that the site will provide additional level of service of the 25-year/3-day storm event. However, this is a general design requirement for environmental resource permits, not an additional benefit. Existing flooding concerns within the general vicinity of this site, coupled with recent flood mitigation analysis,

indicate that additional storage and conveyance consideration would be prudent. Please consider providing storage availability for the 100-year/3-day event as the proposed level of service and supporting analysis.

Please contact: Beckie Reide, P.E., Lee County Natural Resources
Phone: 239.533.8183
E-mail: breide@leegov.com