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BONITA SPRINGS, FLORIDA
COMMUNITY DEVELOPMENT DEPARTMENT
ZONING DIVISION
STAFF REPORT

TYPE OF CASE: REZONE – RESIDENTIAL PLANNED DEVELOPMENT
CASE NUMBER: PD21-77930-BOS
HEARING DATE: September 21, 2021
PLANNER: Mary Zizzo, Esq., Planner II

APPLICATION SUMMARY:

- A. Applicant: Erdman Health Care Real Estate Group, LLC
- B. Agent: Tom Barber, AICP; Agnoli, Barber & Brundage, Inc.
- C. Request: A request to rezone 4.19± acres from Residential Two-Family Conservation (TFC-2) to Residential Planned Development (RPD) to allow a 132-bed assisted living facility.
- D. Location: The subject property is located at 9726 Bonita Beach Rd, Bonita Springs, FL 34135. STRAP: 34-47-25-B3-00254.0040
- E. Future Land Use Map Designation: General Commercial
- F. Current Zoning: Two-Family Conservation (TFC-2)
Commercial Zone of the Bonita Beach Road Corridor Overlay
- G. Current Land Use: Residential

By this reference, the Applicant's application in its entirety and correspondence is made part of this record and is available at the City Clerk's and Community Development's Offices.

BACKGROUND:

History and Overview

The subject property is currently occupied with multi-family residences, the first constructed in 1942. The Applicant is a contract purchaser requesting to rezone the property to Residential Planned Development (RPD), proposing a 108-unit assisted living facility with 132 beds on the 4.19± acre parcel. The property is located within the Commercial Zone of the Bonita Beach Road Corridor Overlay and the project is designed to comply with those standards.

Pursuant to LDC Sec. 4-1182, facilities with 50 or more beds are permissible in RPD districts when approved as part of a master concept plan. The Applicant proposes 90 traditional assisted living facility rooms, and 18 memory care unit rooms. LDC Sec. 4-2 defines assisted living facilities as

a residential land use, licensed under Florida Administrative Code ch. 58A-5, which may be a building, whether for profit or not, which undertakes through its ownership or management to provide, for a period exceeding 24 hours, housing and food service plus one or more personal services for four or more adults not related to the owner or administrator by blood or marriage.

For purposes of the assisted living facility definition, *personal services* means “assistance with bathing, dressing, ambulation, housekeeping, supervision, emotional security, eating, supervision of self-administered medications, restoration therapy and assistance with securing health care from appropriate sources.”

The proposed assisted living facility offers housing, central food services, housekeeping, drivers, as well as additional assistance services. Within the facility, a portion of the rooms are reserved for memory care units. These are proposed to be access restricted, providing for a higher tier of assistance if needed.

The proposed project is located within the Bonita Beach Road Corridor Overlay, which regulations were adopted in Ordinance 19-10. Part of the stated purpose and intent of the overlay is to foster urbanized development patterns that focus on interconnectivity, mobility, human scale, and various design and architectural standards, among other items. Of the four zones created by the overlay, this project is within the Commercial Zone.

Development regulations are contained later in this report as part of **Condition 3**, and are conditioned to keep human scale in mind, as supported by the overlay.

The request seeks one deviation, to allow for parking in excess of 15% of the required minimum per LDC Sec. 4-1732, in accordance with the Applicant’s standard practice and experience. All other development will be in conformance with the existing Development Standards of Chapter 3 and the Property Development Regulations of the Commercial Zone of the Bonita Beach Road Corridor Overlay.

Uses

Requested uses are included in **Attachment “B.”** The uses are generally consistent with what would be permitted by right within the Commercial Zone of the Bonita Beach Road Corridor Overlay. All proposed commercial uses are limited to the residents of the facility and their guests. Staff’s recommendations on the requested uses are enumerated in **Condition 2**.

Property Development Regulations and Deviations

Development is to be conducted in accordance with the Land Development Code (LDC) Chapters 3 (Development Standards) and Chapter 4 (Zoning). Conditions and deviations set forth in the adopted zoning ordinance may augment the standard development regulations such as development standards, buffering, deviations and any associated conditions of approval.

The development regulations are included in **Condition 3**. Deviations may be requested during the review process in accordance with [LDC Sec. 4-326](#) and [LDC Sec. 3-81\(b\)](#). The current planned development request includes one (1) deviation. Staff's analysis and recommendation on the deviation requests are included later in this Staff report. The deviation request and associated justification by the Applicant is included in the Applicant's Analysis in **Attachment "B."**

Comprehensive Plan Considerations

This project was reviewed for compliance with the City of Bonita Springs Comprehensive Plan, including future land use, transportation, conservation/coastal management, and infrastructure elements. The project is located within the General Commercial future land use category. Additional Staff Analysis is included in **Attachment "A."** The Applicant's Analysis is included in **Attachment "B."**

Transportation Summary Analysis

The project is designed to provide multiple modes of transportation, including pathways and boardwalks, sidewalks, a bus stop, and vehicular roads. Roads, drives and paths will be developed consistent with the City's vision for the Bonita Beach Road Corridor Overlay, including the widening of the sidewalk along Bonita Beach Road to 7' and the installation of a 7' sidewalk along Wisconsin Street.

Infrastructure Summary Analysis

The City's utility franchise, Bonita Springs Utilities, has reviewed the request and did not raise any concerns regarding potential burdens on infrastructure, or infrastructure availability. As a result, it is the Staff opinion that the project is consistent with the infrastructure element of the comprehensive plan.

CONCLUSIONS:

The following conclusions are based upon the Applicant's application being reviewed for compliance with the City of Bonita Springs Comprehensive Plan and the LDC. **Attachment "A,"** which is attached hereto and made a part hereof, demonstrates the type of analysis that was done.

Pursuant to the City's LDC, the Applicant is required to hold two (2) neighborhood meetings. The first meeting was held on November 12, 2020, with two members of public present. The Applicant held their second meeting on August 3, 2021, with four members of public present, two virtually and two in person. At both meetings, concerns of traffic patterns and the levels of care were discussed. The second neighborhood meeting thoroughly explained the programs offered and the difference between this Applicant and other projects. Additional methods of public notice included mailed notices to properties within 375 feet of the property, property-posting signs along Bonita Beach Road, Wisconsin Street and Alabama St, and a legal ad in the Fort Myers News-Press that ran on September 8 and September 9, 2021, for the Zoning Board public hearing.

The rezoning request was evaluated by Community Development for planning, zoning, engineering, environmental, and transportation impacts. Lee County, Bonita Springs Public Works, Bonita Springs Utilities and the Bonita Springs Tree Advisory Board also reviewed the request. The proposed development, as conditioned, is consistent with the requirements and standards of the City of Bonita Springs Comprehensive Plan and LDC. A detailed City Staff analysis is included in **Attachment “A”** of the Staff Report.

RECOMMENDATION:

Staff recommends **APPROVAL** of Petition PD21-77930-BOS, Erdman Assisted Living Facility Residential Planned Development (RPD), which proposes to rezone 4.19 +/- acres from Two-Family Conservation (TFC-2) to a Residential Planned Development (RPD). This recommendation of APPROVAL is subject to the following conditions:

Conditions:

1. The project shall be consistent with the Master Concept Plan titled “Erdman Master Concept Plan” prepared by Agnoli, Barber and Brundage, Inc., dated 09-2021, attached hereto and made a part hereof (**Exhibit “B”**).

The approved development intensity allows for a maximum of 108 units and 132 beds.

2. Schedule of Uses:

Tract A:

Principal Uses:

- a. Assisted Living Facilities
- b. Memory Care Units
- c. Health Care Facilities, Group III, Skilled Nursing Care Facilities (4-408 (19)c.)

Accessory Uses: Accessory uses and structures customarily associated with the permitted uses and structures, including:

- a. Food Services, limited to residents and their guests
- b. Consumption on premises, limited to residents and their guests
- c. Parking, limited to residents, their guests and staff
- d. Facility Office Area
- e. Fitness Facility, limited to residents and their guests
- f. Pools/Hot Tubs, limited to residents and their guests
- g. Patios and Raingardens
- h. Outdoor dining areas
- i. Internal pathways and sidewalks, limited to use by staff, residents and their guests
- j. Uses and structures that are accessory and incidental to the RPD for recreational use.

Tract B:

Principal Uses:

- a. Preserve

Accessory Uses: Accessory uses and structures customarily associated with the permitted principal uses and structures as allowed by the LDC in indigenous preserves, including:

- a. Pathways and Boardwalks
- b. Other passive uses as allowed by the LDC in indigenous preserves.

3. Property Development Regulations: The Applicant proposes the following property development standards:
 - a. Minimum Setbacks:

	Principal Structure
i. *Bonita Beach Road (south)	21 feet *25 feet maximum
ii. Wisconsin Street (east)	21 feet
iii. Alabama Street (north)	21 feet
iv. Side	21 feet
v. Rear:	20 feet
 - b. Maximum Building Height: 42 feet
 - c. Minimum Building Separation: 20 feet
 - d. Minimum Open Space: 40 percent
4. Parking. In support of deviation 1, a maximum of 70 parking spaces are permitted for the site.
5. Environmental
 - a. At the time of local development order, a preserve management plan for the 0.42 acre preserve, as shown on the Master Concept Plan, shall be submitted in accordance with Land Development Code Section 3-417(e) and shall include a restoration plant list to include upland scrub plant species found on the site including pawpaw (genus *Asimina*), prickly-pear cactus (genus *Opuntia*), pineland heliotrope (*Euploca polyphylla*), and narrowleaf silkgrass (*Pityopsis graminifolia*). The plan shall also provide for trees required to fulfill the Type D buffer requirement after the invasive tree removal along Alabama Street and Wisconsin Street.
 - b. At the time of local development order, the Applicant shall demonstrate compliance with the Tree Advisory Board's approval for the removal and replacement of 3 heritage Florida slash pines with two 20' native trees, species to be agreed on by the Applicant and Staff and one Florida slash pine with a diameter at breast height of 19.5" to be retained in the preserve area. No construction shall be allowed within the dripline of the pine to be retained.
 - c. Prior to commencement of construction, the Applicant will allow for retrieval of native upland scrub groundcover plant species by members of the Florida Native Plant Society.
6. At the time of local development order, a permit will be required for any work within the Wisconsin Street and Alabama Street rights-of-way. Coordination with Public Works is required regarding the ultimate design for drainage in the roadside swales, which may require closed drainage.
7. Transportation and Multimodal
 - a. Approval of this zoning request does not address mitigation of the project's vehicular or pedestrian traffic impacts. Additional conditions for on-site improvements consistent with the City of Bonita Springs Land Development Code may be required to obtain local development order; and
 - b. At the time of local Development Order, all required multimodal facilities (infrastructure, crossings, amenities, furnishings, access points, easements, etc.) both internal and external to the site, shall meet or exceed the intent of the design standards provided by Chapter 3 of the City of Bonita Springs Land Development Code, the City of Bonita Springs Bicycle Pedestrian Master Plan

(PATH), the Bonita Beach Road Corridor Design Standards, and all applicable design standards except as modified herein and as required by the Bonita Springs Fire Control and Rescue District and National Fire Protection Area (NFPA).

8. Access. To maintain and provide access to adjacent property owners, the Applicant shall provide and record in the Public Records of Lee County, Florida, cross access easements for ingress and egress with the properties to the West and Northwest consistent with the Cross-Access Easement Exhibit (**Exhibit “C”**)
 - a. At the time of development or redevelopment of the properties to the West and Northwest, the Applicant shall connect consistent with the Cross-Access Easement Exhibit (**Exhibit “C”**)
9. This Master Concept Plan is subject to conditions set forth herein and the rules, regulations laws and codes in place at the time of Development Order and Building Permit approval.
10. Approval of this Planned Development is not a guarantee of future approvals.

Deviations:

Deviations may be requested during the review process in accordance with [LDC 4-326](#). The Zoning Board may recommend to approve, approve with modification, or reject each requested deviation based upon a finding that each item:

1. Enhances the achievement of the objectives of the planned development; and
2. Preserves and promotes the general intent of this chapter to protect the public health, safety and welfare.

The current planned development request includes one (1) deviation.

1. Deviation (1) requests relief from LDC Section 4-899(b)(3)a., Parking requirements for Bonita Beach Road Corridor Overlay. Maximum parking spaces are limited to no more than 15 percent more than the minimum required in 4-1732.

Justification: Pursuant to 4-1732, the proposed use requires 47 parking spaces. 4-899(b)(3) requires a deviation for parking provided beyond 15% of the maximum required. The Application proposes, based on previous developments, approximately one-quarter (1/4) of the traditional assisted living facility residents, or 29 of the residents will have their own transportation parked on-site. Further, one staff member parking space is proposed per four residents based on staffing schedules, or 33 staff parking spaces. In addition, the Applicant proposes one parking space per 20 residents, plus one space, be permitted for guest spaces, to allow for 7 guest spaces, totaling 69 parking spaces. The Applicant is requesting 70 spaces. The site will also provide a van or other vehicle for driving arrangements of residents by employees.

Based on the Applicant’s request and justification, Staff recommends **APPROVAL** of the deviation request.

SUBJECT PROPERTY:

The Applicant indicates the STRAP number is:

34-47-25-B3-00254.0040

EXHIBITS:

- A. Legal Description and Sketch of the Subject Property
- B. Master Concept Plan
- C. Cross Access Easement Plan
- D. Block Layout Plan
- E. Conceptual Architectural Renderings

ATTACHMENTS:

- A. Staff Informational Analysis
 - i. Background and Informational Analysis
- B. Applicant's Informational Analysis
 - i. Application
 - ii. Area Location Map
 - iii. Existing Zoning Map
 - iv. Public Transit Routes Map
 - v. Architectural Site Plan
 - vi. Applicant's Narrative
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 - xvii. Topography Map
 - xviii. Environmentally Sensitive Lands Map
 - xix. Variance Map
 - xx. Neighborhood Information Meeting 1 Submittal
 - xxi. Neighborhood Information Meeting 2 Submittal
 - xxii. Tree Advisory Board Meeting Minutes

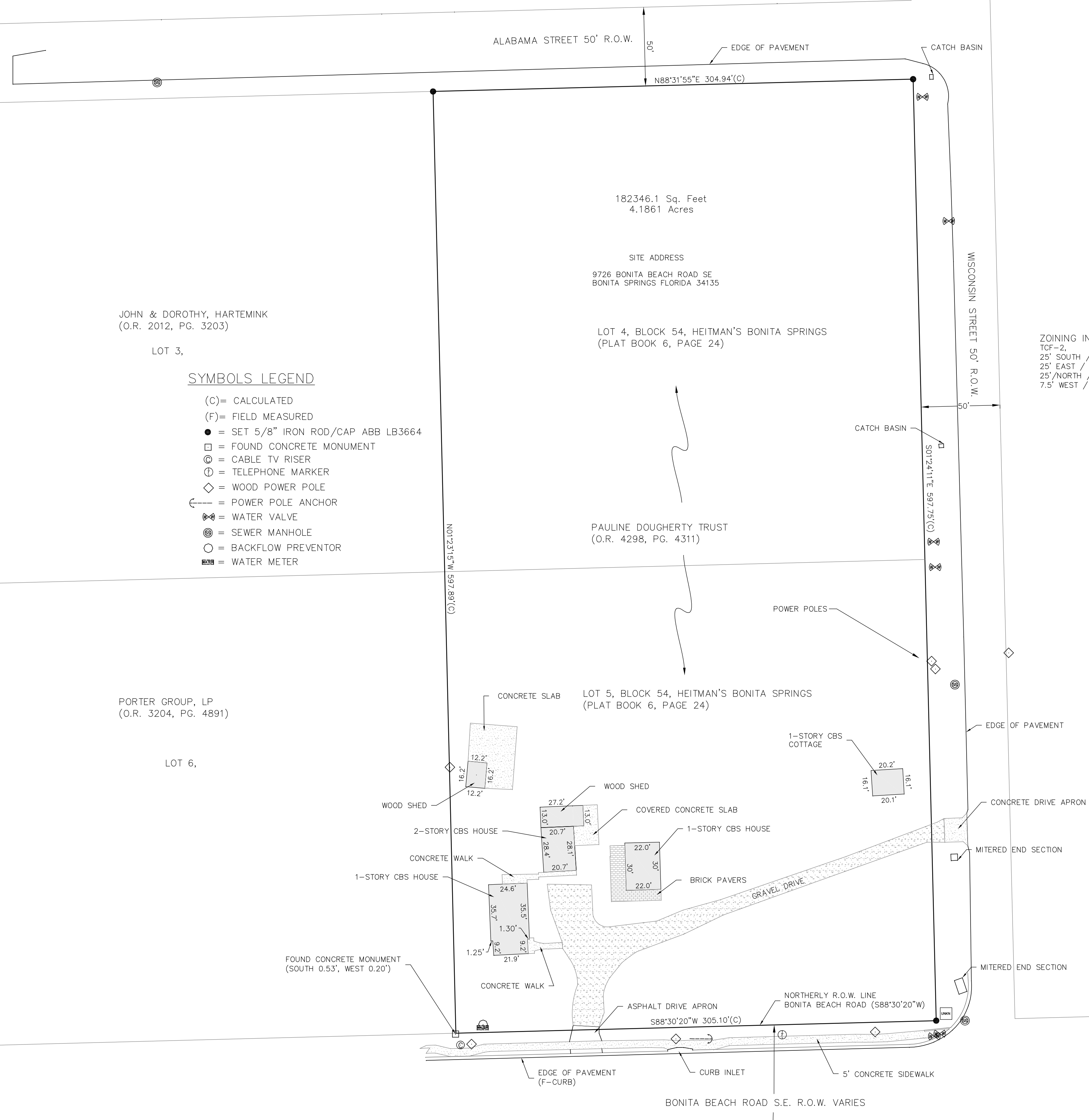
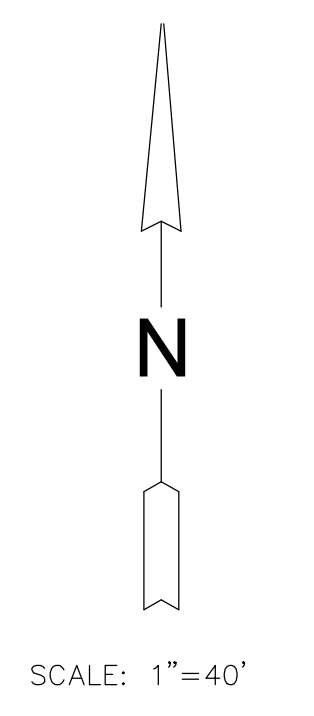
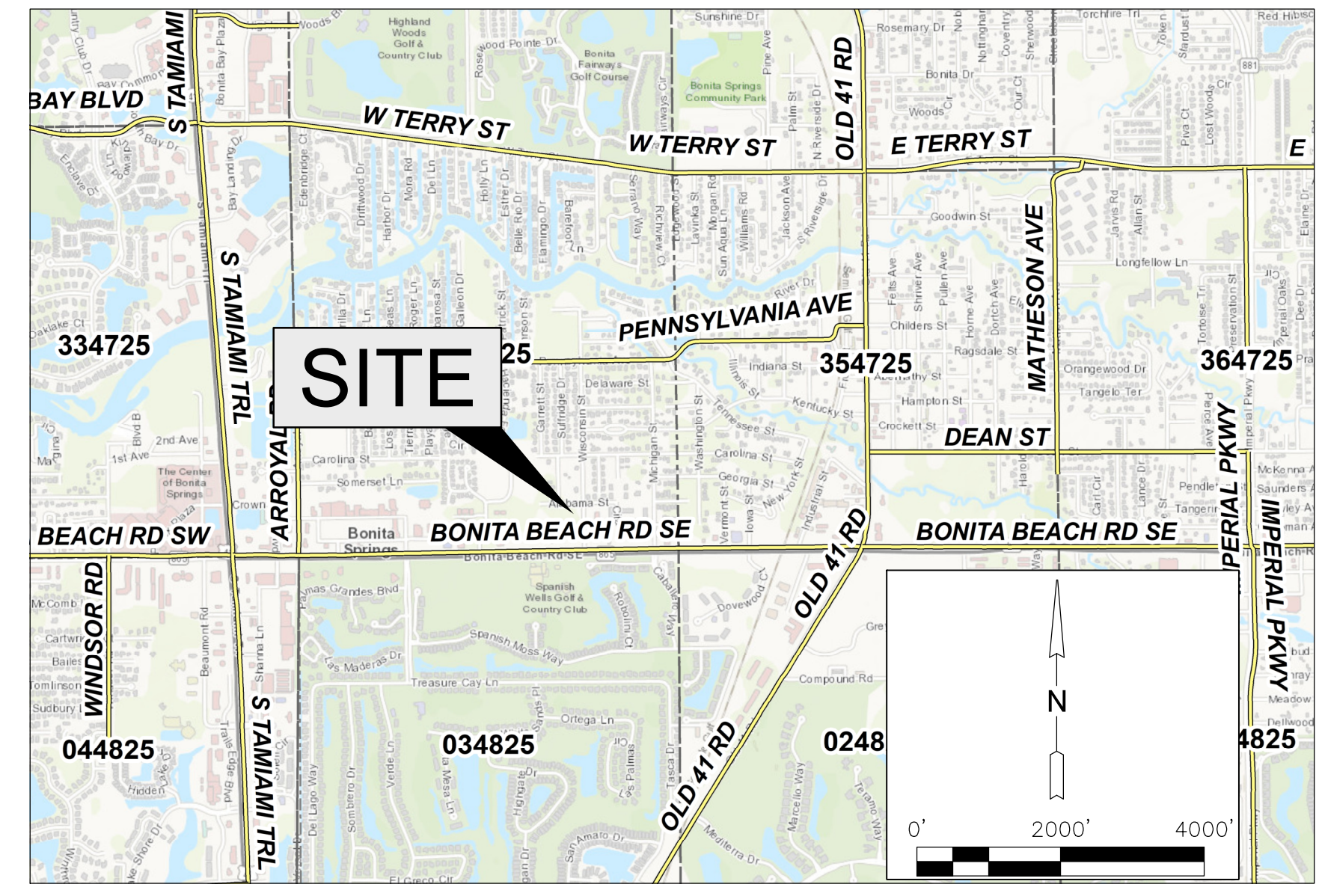
EXHIBIT A

LOTS 4 & 5 BLOCK 54, HEITMAN'S BONITA SPRINGS AS RECORDED IN PLAT BOOK 6, PAGE 24, PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

CONTAINING 4.19 ACRES OF LAND MORE OR LESS.

SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

VICINITY MAP



JOHN & DOROTHY, HARTEMINK
(O.R. 2012, PG. 3203)

LOT 3,

SYMBOLS LEGEND

- (C) = CALCULATED
- (F) = FIELD MEASURED
- = SET 5/8" IRON ROD/CAP ABB LB3664
- = FOUND CONCRETE MONUMENT
- ⊙ = CABLE TV RISER
- ⊕ = TELEPHONE MARKER
- ◇ = WOOD POWER POLE
- ⊖ = POWER POLE ANCHOR
- ⊗ = WATER VALVE
- ⊙ = SEWER MANHOLE
- = BACKFLOW PREVENTOR
- ⊗ = WATER METER

PORTER GROUP, LP
(O.R. 3204, PG. 4891)

LOT 6,

182346.1 Sq. Feet
4.1861 Acres

SITE ADDRESS
9726 BONITA BEACH ROAD SE
BONITA SPRINGS FLORIDA 34135

LOT 4, BLOCK 54, HEITMAN'S BONITA SPRINGS
(PLAT BOOK 6, PAGE 24)

PAULINE DOUGHERTY TRUST
(O.R. 4298, PG. 4311)

LOT 5, BLOCK 54, HEITMAN'S BONITA SPRINGS
(PLAT BOOK 6, PAGE 24)

ZONING INFORMATION
TOF-2
25' SOUTH / FRONT
25' EAST / SIDE
25' NORTH / REAR
7.5' WEST / SIDE

NO EVIDENCE OF RECENT EARTH MOVING WORK OR RECENT BUILDING CONSTRUCTION WAS OBSERVED AT THE TIME OF THIS SURVEY.

NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED AT THE TIME OF THIS SURVEY.

NO EVIDENCE OF WETLANDS WAS OBSERVED AT THE TIME OF THIS SURVEY.

THE NORTHERLY PROPERTY LINE ADJOINS THE SOUTHERLY R.O.W. LINE OF ALABAMA STREET A 50' R.O.W.
THE EASTERLY PROPERTY LINE ADJOINS THE WESTERLY R.O.W. LINE OF WISCONSIN STREET A 50' R.O.W.
THE SOUTHERLY PROPERTY LINE ADJOINS THE NORTHERLY R.O.W. LINE OF BONITA BEACH ROAD R.O.W. VARIES.

LEGAL DESCRIPTION
LOTS 4 & 5, BLOCK 54, HEITMAN'S BONITA SPRINGS AS RECORDED IN PLAT BOOK 6, PAGE 24, PUBLIC RECORDS OF LEE COUNTY, FLORIDA.
CONTAINING 4.19 ACRES OF LAND MORE OR LESS.
SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

PREPARED FOR: ERDMAN

DATE OF FIELD SURVEY 17 DEC. 2020

AGNOLI, BARBER & BRUNDAGE, INC.
PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS AND MAPPERS

BY _____

WAYNE D. AGNOLI, R.S.M. NO. 5335 DATE _____

THIS BOUNDARY SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

THIS BOUNDARY SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTIES WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES IS PROHIBITED BY CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE.

THIS BOUNDARY SURVEY IS CERTIFIED AS TO THE DATE OF FIELD SURVEY, NOT THE SIGNATURE DATE.

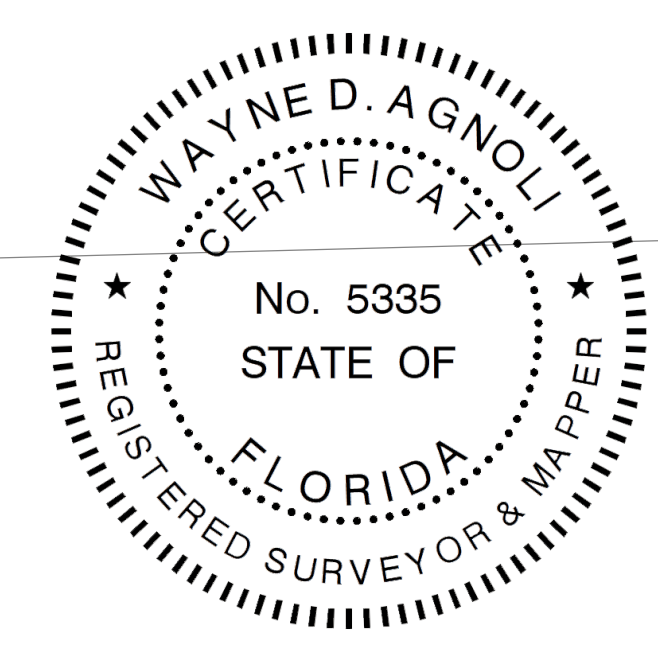
ABSTRACT NOT REVIEWED

GENERAL NOTES:

1. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
2. P.O.B. = POINT OF BEGINNING.
3. P.O.C. = POINT OF COMMENCEMENT.
4. R.O.W. = RIGHT-OF-WAY.
5. CURVE DIMENSIONS ARE AS FOLLOWS:
Δ=DELTA, R = RADIUS, A = ARCH, CH = CHORD, AND
CHB = CHORD BEARING.
6. BEARINGS AND COORDINATES ARE REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST WEST, NAD 83/90 DATUM AND BASED ON THE NORTHERLY R.O.W. LINE OF BONITA BEACH ROAD AS BEING SOUTH 88°30'20" WEST
7. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP-COMMUNITY NUMBER 120680, PANEL NUMBERS 0658 AND 0394, SUFFIX F, DATED OF FIRM INDEX 28 AUG. 2008, THE SUBJECT PROPERTY LIES IN ZONE X, WITH NO BASE FLOOD ELEVATION.
8. ELEVATIONS ARE BASED ON NAVD 88, USING BENCHMARK A002, ELEVATION 10.39 FEET.
9. THE VERTICAL CONTROL ACCURACY FOR THIS SURVEY WAS BASED ON A LEVEL LOOP AND CLOSURE TO A SECOND BENCHMARK AND ACHIEVED CLOSURE IN FEET TO A STANDARD OF PLUS OR MINUS 0.05 FEET TIMES THE SQUARE ROOT OF THE DISTANCE IN MILES.
10. THE HORIZONTAL CONTROL ACCURACY FOR THIS SURVEY ACHIEVED THE COMMERCIAL/HIGH RISK LINEAR: 1 FOOT IN 10,000 FEET

DISTANCES SHOWN HEREON ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED.

SURVEYOR'S NOTE:



approved: _____

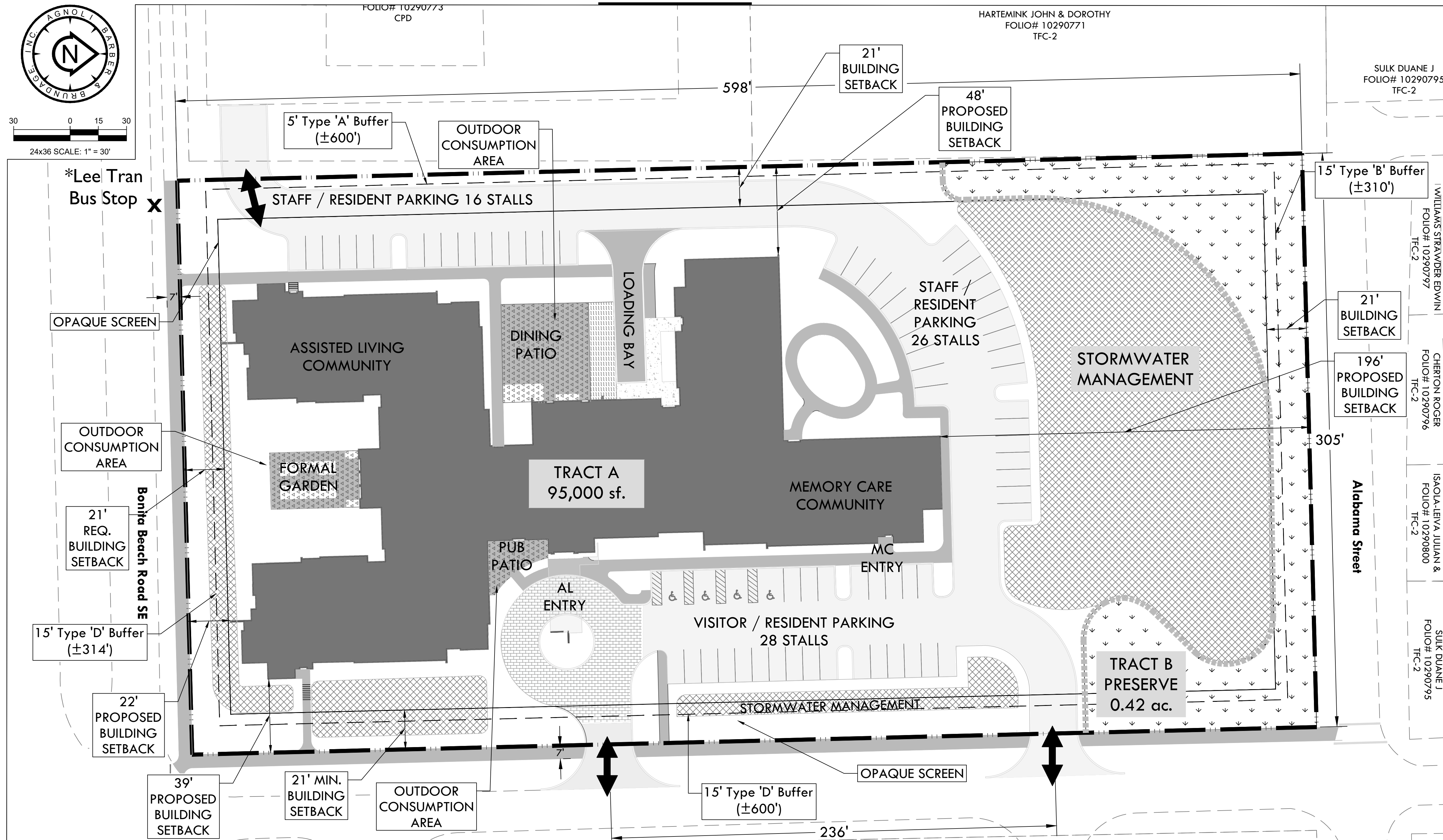
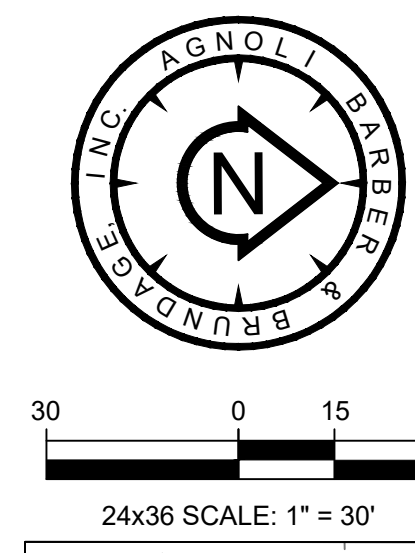
revision:	

for:	ERDMAN			design:	XXX
title:	MAP OF BOUNDARY SURVEY OF LOTS 4 AND 5, BLOCK 54 HEITMAN'S BONITA SPRINGS (PLAT BOOK 6, PAGE 24) LEE COUNTY, FLORIDA			drawn:	VA
	bk:	pg:	date:	checked:	WDA
	1243	54-55	14 DEC. 2020	acad #:	12625-BS
			scale:	view:	LIMITS
			1" = 40'	project #:	20-0135
			cogo #:	sheet #:	1 of 1
			20-0135	file #:	12625



7400 Trail Blvd., Suite 200, Naples, FL 34108
Certificate of Authorization Nos. LB 3664, EB 3664 & LC28000620
Ph: (239)597-3111
Fax: (239)598-2203

EXHIBIT B



PROJECT SUMMARY:

1.) **PARCEL SIZE:** 4.19 Ac.
FUTURE LAND USE: Commercial
EXISTING ZONING: TFC-2
EXISTING PLANNING COMMUNITY

2.) **REQUEST:** A Rezoning from TFC-2 to RPD

a.) **ADJACENT PROPERTY LAND USE/ZONING:**

Zoning	Use
North TFC-2	Residential 2 Family Conv.
West CPD	Commercial PD
South AG-2	Agricultural
East CPD	Commercial PD

3.) **LAND USE BREAKDOWN:**

Impervious	
Building	0.87 Ac.
Pavement	0.78 Ac.
Sidewalks	0.30 Ac.
Sub - Total:	1.95 Ac.
Pervious	
Retention	0.48 Ac.
Preserve	0.42 Ac.
Open	1.27 Ac.
Pervious Pavers	0.07 Ac.
Sub - Total:	2.24 Ac.
Total:	4.19 Ac.

4.) **HEIGHT**
 Max = 42' (4 Stories)

5.) **PARKING CALCULATIONS**
 One parking space per 4 residents plus an additional 10% of residents
 132 Residents / 4 = 33 Parking Spaces
 132 Residents x 10% = 14 Parking Spaces
 Required = 33 + 14 = 47 Spaces
Spaces Provided = 70 spaces

6.) **OPEN SPACE**
 Required = 40%
 Provided = 52%

LEGEND:

- PRESERVATION AREA
- PARKING AREA
- BUILDING
- SIDEWALKS/PAVERS
- PERVIOUS PAVERS
- STORMWATER AREA
- OPEN SPACE
- POTENTIAL SHARED ACCESS
- OUTDOOR ALCOHOL CONSUM.
- FULLY SCREENED EQUIP. AREA
- SITE ACCESS LOCATION
- PROPERTY LINE
- BUFFER LINE
- TRACT LINE
- BUILDING SETBACK

- Tract A**
- A. Principal Uses:
- Assisted Living Facility
 - Memory Care Units
 - Skilled Nursing Care Facilities per LDC 4-408 19.c GroupIII
 - Any other principal use which is comparable in nature with the foregoing list of permitted principal uses.
- B. Accessory uses and structures customarily associated with the permitted principal uses and structures, including;
- Food Services limited to residents and their guests per SIC code 5812.
 - Consumption on premises limited to residents and their guests.
 - Parking limited to residents and their guests.
 - Facility Office Area.
 - Fitness Facility limited to residents and their guests.
 - Pools/Hot Tubs limited to residents and their guests.
 - Patios and Raingardens.
 - Outdoor Dining Areas
 - Internal pathways and sidewalks limited to use by staff, residents, and their guests
 - Uses and Structures that are accessory and incidental to the RPD use.

Tract B

A. Principal Uses:

- Preserve

B. Accessory Uses:

Accessory uses and structures customarily associated with the permitted principal uses and structures as allowed by the LDC in indigenous preserves, including:

- Pathways and Boardwalks
- Other Passive Uses

Setback Table

LOCATION	REQUIRED	PROVIDED
SOUTH	21' min.-25' max.	22'
EAST	21' min.	39'
NORTH	21' min.	196'
WEST	21' min.	48'

*Lee Tran bus stop will be constructed per LDC Sec. 3-440
 **Setbacks are shown as required per Bonita Beach Road overlay and building height of 42'
 Deviation from LDC-4-1732.d for required parking.

AGNOLI
BARBER &
BRUNDAGE, Inc.
Professional engineers, planners,
& land surveyors
Certificate of Authorization No.
12 3054 and 10 3064
Collier County:
7400 Trail Blvd., Suite 200
Naples, FL 34108
Phone: (239) 997-8111
Fax: (239) 997-8000

9726 BONITA BEACH RD SE,
BONITA SPRINGS, FL 34135

ERDMAN
PROJECT NAME
DRAWING TITLE
Master Concept Plan

DESIGN BY: ABB
DRAWN BY: BLB
CHECKED BY: .
REVIEWED BY: .
HORIZ. SCALE: 1" = 30'
VERT. SCALE: NA
DATE: DEC. 2020

ACAD FILE NAME: .

ABB PROJECT #
20-0135

PLOT VIEW \ LAYOUT
Master Concept Plan

SHEET 1
OF 1

Acad File #:

EXHIBIT C

N

SCALE: 1" = 80'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 22°51'58" E	37.24'
L2	N 89°15'29" E	19.92'
L3	S 01°24'11" E	24.25'
L4	S 89°15'29" W	30.52'
L5	N 88°28'44" E	25.76'
L6	S 01°24'11" E	24.10'
L7	S 88°28'44" W	8.69'

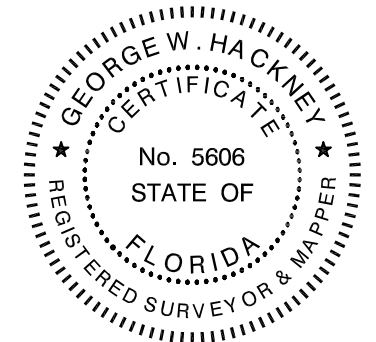
CURVE TABLE			
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH
C1	124.00'	65°37'42"	142.03'
C2	15.00'	67°08'10"	17.58'
C3	49.00'	67°54'00"	58.07'
C4	25.00'	6°39'35"	2.91'
C5	25.00'	4°33'13"	1.99'
C6	15.00'	90°45'48"	23.76'
C7	20.00'	90°00'57"	31.42'
C8	25.00'	3°35'24"	1.57'
C9	25.00'	3°46'29"	1.65'
C10	12.00'	87°22'34"	18.30'
C11	33.00'	224°36'27"	129.36'
C12	20.00'	47°12'56"	16.48'
C13	6.00'	90°00'01"	9.42'
C14	100.00'	89°25'40"	156.08'
C15	38.00'	71°49'06"	47.63'

GENERAL NOTES:

- DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- BEARINGS AND COORDINATES ARE BASED ON THE FLORIDA STATE PLANE GRID, EAST ZONE, 83/90 ADJUSTMENT.
- THE LEGAL DESCRIPTION FOR THE PARCEL IN THIS SKETCH AND DESCRIPTION IS WRITTEN IN A CLOCKWISE DIRECTION.
- P.O.C. = POINT OF COMMENCEMENT.
P.O.B. = POINT OF BEGINNING.

PREPARED FOR THE BENEFIT OF: ERDMAN

GEORGE W. HACKNEY, PSM 5606

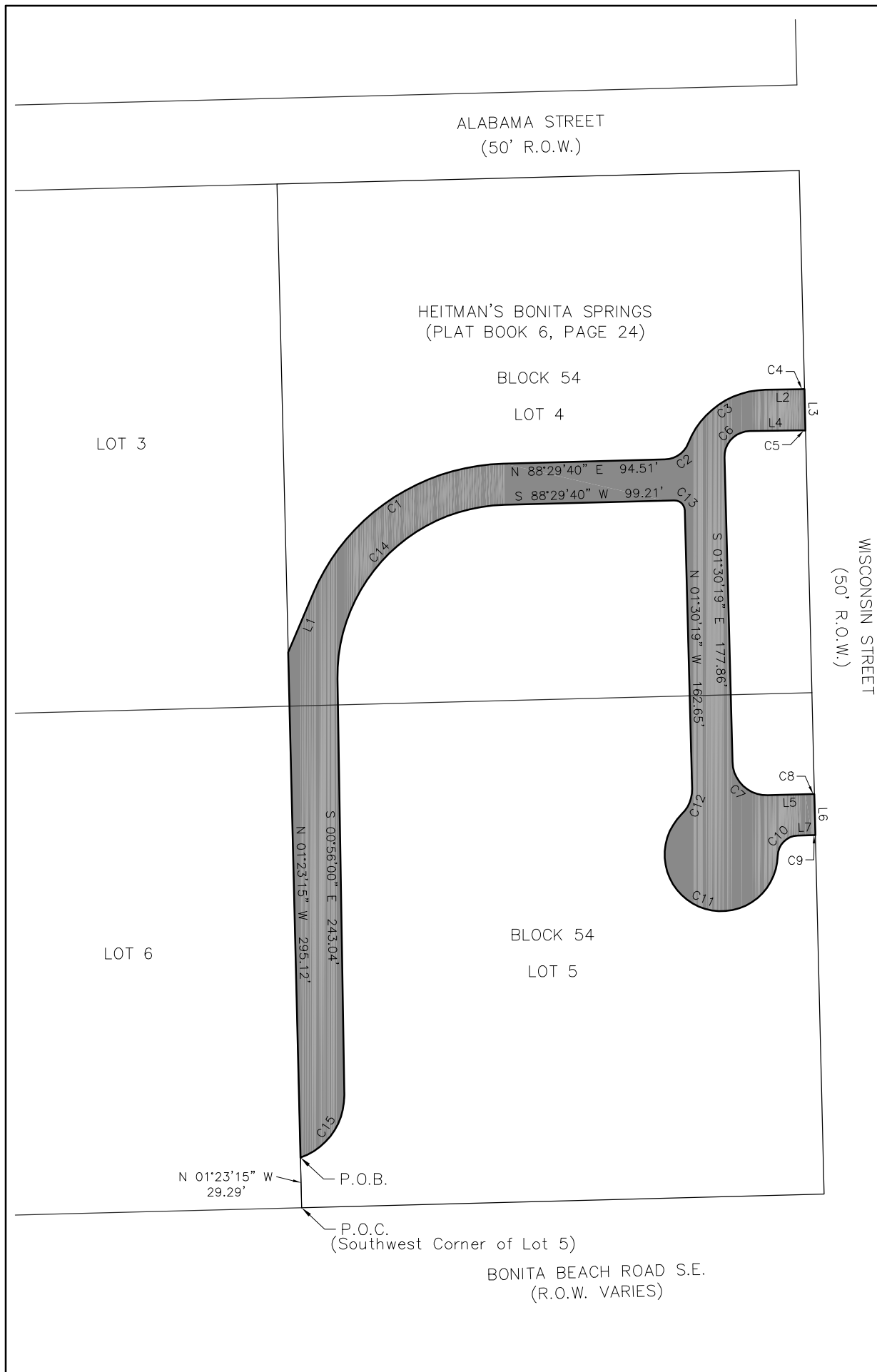


NOT A SURVEY

for:	ERDMAN		design:
title:	SKETCH AND DESCRIPTION OF ACCESS EASEMENT LOTS 4 AND 5, BLOCK 54, HEITMAN'S BONITA SPRINGS (PLAT BOOK 6, PAGE 24) LEE COUNTY, FLORIDA		drawn: JAN
	bk:	pg:	checked: GWH
			acad #: 12793-SD
		date: JULY 12, 2021	view: LIMITS
		scale: 1" = 80'	project #: 20-0135
		cogo #: 20-0135.CRD	sheet #: 1 of 2
			file #: 12793



Professional engineers, planners, surveyors & landscape architects
7400 Trail Blvd., Suite 200, Naples, FL 34108 Ph.: (239)597-3111 Fax: (239)566-2203
Certificate of Authorization Nos. LB 3664, EB 3664 and LC26000620



LEGAL DESCRIPTION

ALL THAT PART OF LOTS 4 AND 5, BLOCK 54, HEITMAN'S BONITA SPRINGS, AS RECORDED IN PLAT BOOK 6, PAGE 24, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 5, SAID CORNER ALSO BEING THE SOUTHEAST CORNER OF SAID LOT 6 AND THE NORTH RIGHT-OF-WAY OF BONITA BEACH ROAD S.E. (R.O.W. VARIES);
 THENCE N 01°23'15" W ALONG THE WEST BOUNDARY OF SAID LOT 5 AND THE EAST BOUNDARY OF SAID LOT 6 A DISTANCE OF 29.29 FEET TO THE POINT OF BEGINNING OF THE PARCEL HEREIN BEING DESCRIBED;

THENCE CONTINUING ALONG SAID EAST AND WEST BOUNDARIES, NORTH 01° 23' 15" WEST A DISTANCE OF 295.12 FEET;
 THENCE LEAVING SAID EAST AND WEST BOUNDARIES NORTH 22°51'58" EAST A DISTANCE OF 37.24 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 124.00 FEET;
 THENCE NORTHEASTERLY AND EASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 65°37'42" AN ARC DISTANCE OF 142.03 FEET;
 THENCE N 88°29'40" E A DISTANCE OF 94.51 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 15.00 FEET;
 THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 67°08'10" AN ARC DISTANCE OF 17.58 FEET TO THE BEGINNING OF A REVERSE CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 49.00 FEET;
 THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 67°54'00" AN ARC DISTANCE OF 58.07 FEET;
 THENCE N 89°15'29" E A DISTANCE OF 19.92 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHERLY AND HAVING A RADIUS OF 25.00 FEET;
 THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 06°39'35" AN ARC DISTANCE OF 2.91 FEET TO AN INTERSECTION WITH THE EAST BOUNDARY OF SAID LOT 4 AND THE WEST RIGHT-OF-WAY OF WISCONSIN STREET;
 THENCE S 01°24'11" E ALONG SAID EAST BOUNDARY AND SAID WEST RIGHT-OF-WAY A DISTANCE OF 24.25 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHERLY AND HAVING A RADIUS OF 25.00 FEET;
 THENCE LEAVING SAID EAST BOUNDARY AND SAID WEST RIGHT-OF-WAY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 04°33'13" AN ARC DISTANCE OF 1.99 FEET;
 THENCE S 89°15'29" W A DISTANCE OF 30.52 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 15.00 FEET;
 THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°45'48" AN ARC DISTANCE OF 23.76 FEET;
 THENCE S 01°30'19" E A DISTANCE OF 177.86 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 20.00 FEET;
 THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'57" AN ARC DISTANCE OF 31.42 FEET;
 THENCE N 88°28'44" E A DISTANCE OF 25.76 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHERLY AND HAVING A RADIUS OF 25.00 FEET;
 THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 03°35'24" AN ARC DISTANCE OF 1.57 FEET TO AN INTERSECTION WITH THE EAST BOUNDARY OF SAID LOT 5 AND SAID WEST RIGHT-OF-WAY;
 THENCE S 01°24'11" E ALONG SAID EAST BOUNDARY AND SAID WEST RIGHT-OF-WAY A DISTANCE OF 24.10 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHERLY AND HAVING A RADIUS OF 25.00 FEET;
 THENCE LEAVING SAID EAST BOUNDARY AND SAID WEST RIGHT-OF-WAY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 03°46'29" AN ARC DISTANCE OF 1.65 FEET;
 THENCE S 88°28'44" W A DISTANCE OF 8.69 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 12.00 FEET;
 THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 87°22'34" AN ARC DISTANCE OF 18.30 FEET TO THE BEGINNING OF A REVERSE CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 33.00 FEET;
 THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 224°36'27" AN ARC DISTANCE OF 129.36 FEET TO THE BEGINNING OF A REVERSE CURVE CONCAVE WESTERLY AND HAVING A RADIUS OF 20.00 FEET;
 THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 47°12'56" AN ARC DISTANCE OF 16.48 FEET;
 THENCE N 01°30'19" W A DISTANCE OF 162.65 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 6.00 FEET;
 THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'01" AN ARC DISTANCE OF 9.42 FEET;
 THENCE S 88°29'40" W A DISTANCE OF 99.21 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 100.00 FEET;
 THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 89°25'40" AN ARC DISTANCE OF 156.08 FEET;
 THENCE S 00°56'00" E A DISTANCE OF 243.04 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 38.00 FEET;
 THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 71°49'06" AN ARC DISTANCE OF 47.63 FEET TO AN INTERSECTION WITH THE WEST BOUNDARY OF SAID LOT 5, THE EAST BOUNDARY OF SAID LOT 6 AND THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.

CONTAINING A TOTAL AREA OF APPROXIMATELY 0.57 ACRES.

NOT A SURVEY

for: ERDMAN		design:	
title: SKETCH AND DESCRIPTION OF ACCESS EASEMENT LOTS 4 AND 5, BLOCK 54, HEITMAN'S BONITA SPRINGS (PLAT BOOK 6, PAGE 24) LEE COUNTY, FLORIDA		drawn: JAN	
		checked: GWH	
		acad #: 12793-SD	
		view: LIMITS	
		project #: 20-0135	
		sheet #: 2 of 2	
		file #: 12793	

<p>AGNOLI BARBER & BRUNDAGE, INC.</p> <p>Professional engineers, planners, surveyors & landscape architects 7400 Trail Blvd., Suite 200, Naples, FL 34108 Ph.: (239)597-3111 Fax: (239)566-2203 Certificate of Authorization Nos. LB 3664, EB 3664 and LC26000620</p>	bk:	pg:	date: JULY 12, 2021
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			cogo #: 20-0135.CRD

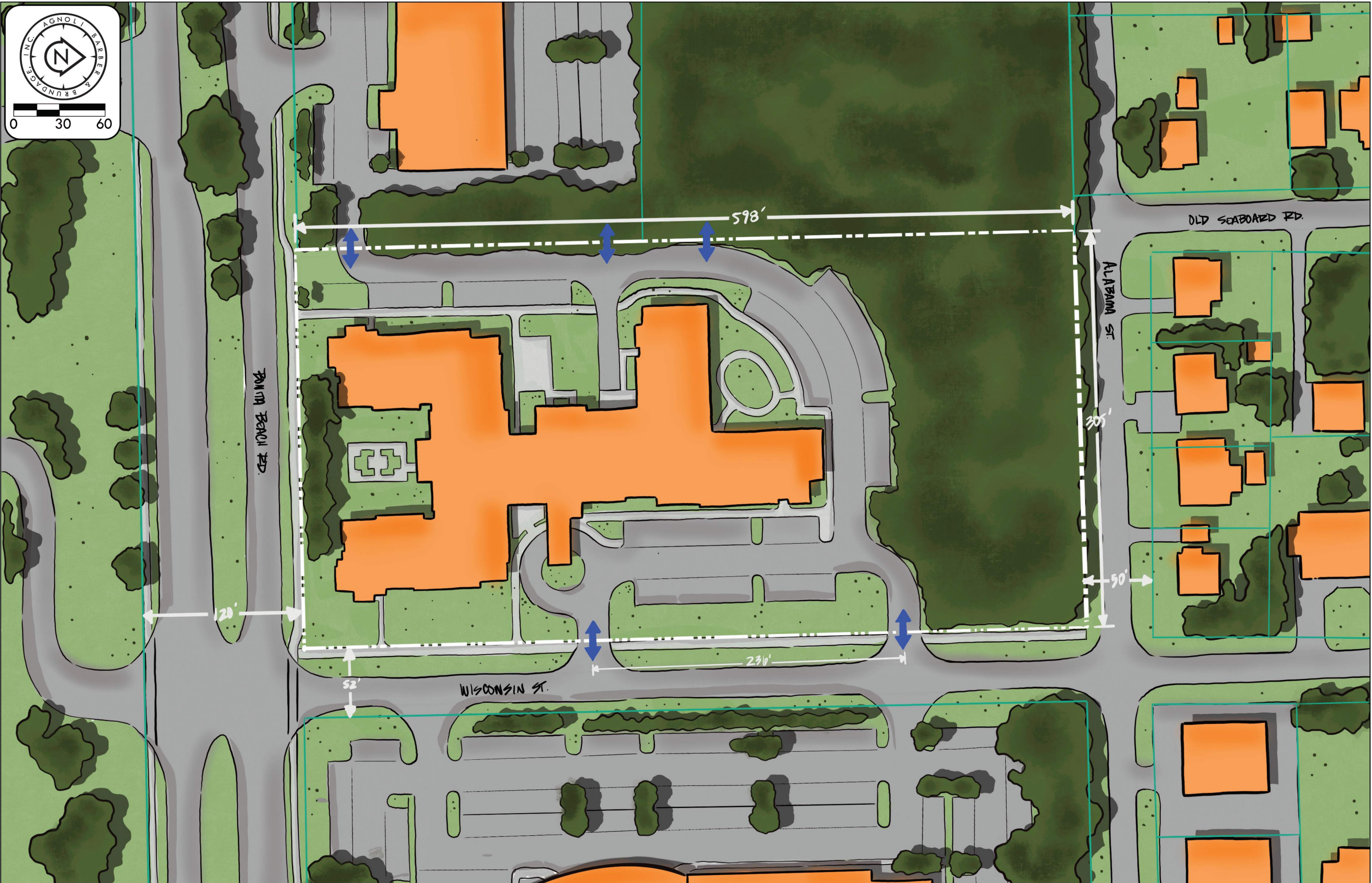
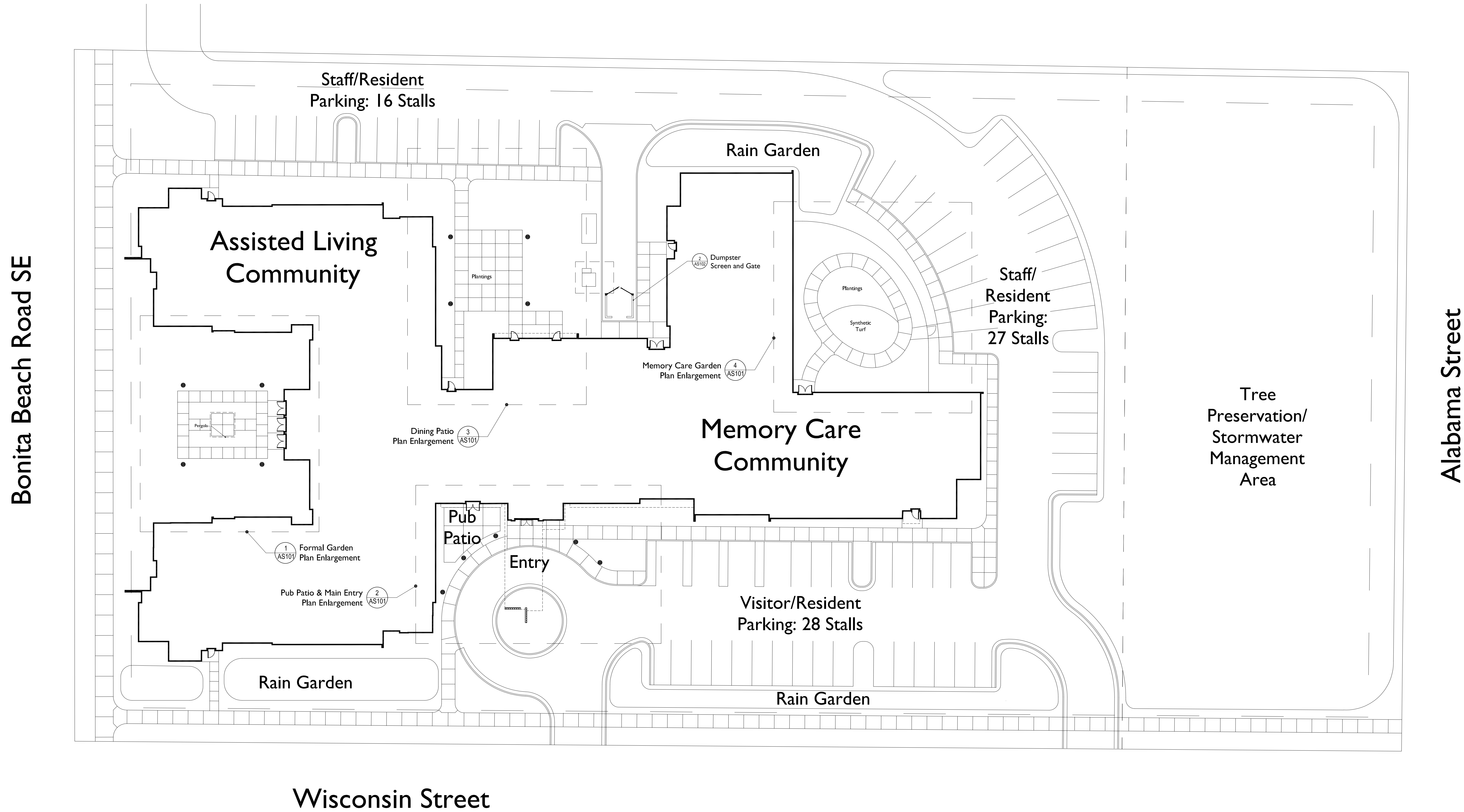


EXHIBIT D

Erdman Assisted Living Facility Block Plan

EXHIBIT E



No.	Description	Date
5	Adjust Parking	07/07/2021
4	Coordination	06/15/2021
3	City Review	05/14/2021
2	Coordination	04/29/2021
1	Schematic Design Final	02/26/2021

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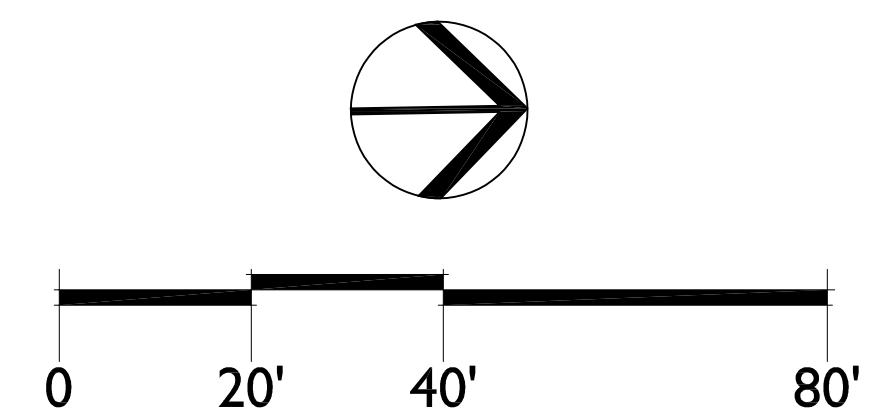
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**ARCHITECTURAL
 SITE LAYOUT PLAN**

Dmr:ralayton Chck:klueschow

Sheet Number
AS100

JOB # 668120

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**BONITA SPRINGS
SENIOR LIVING**

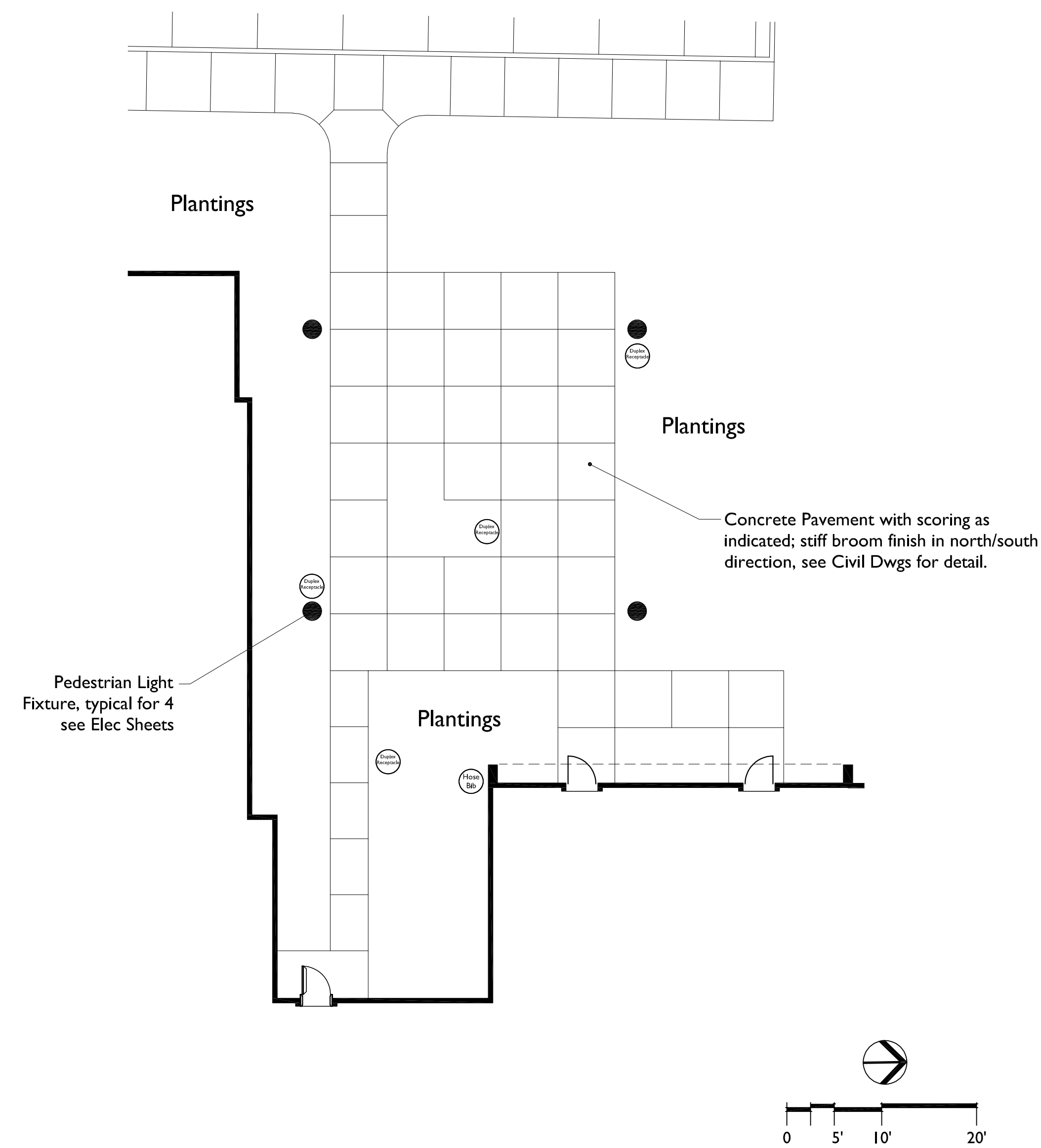
BONITA SPRINGS, FL

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ERDMAN COMPANY
COA# -

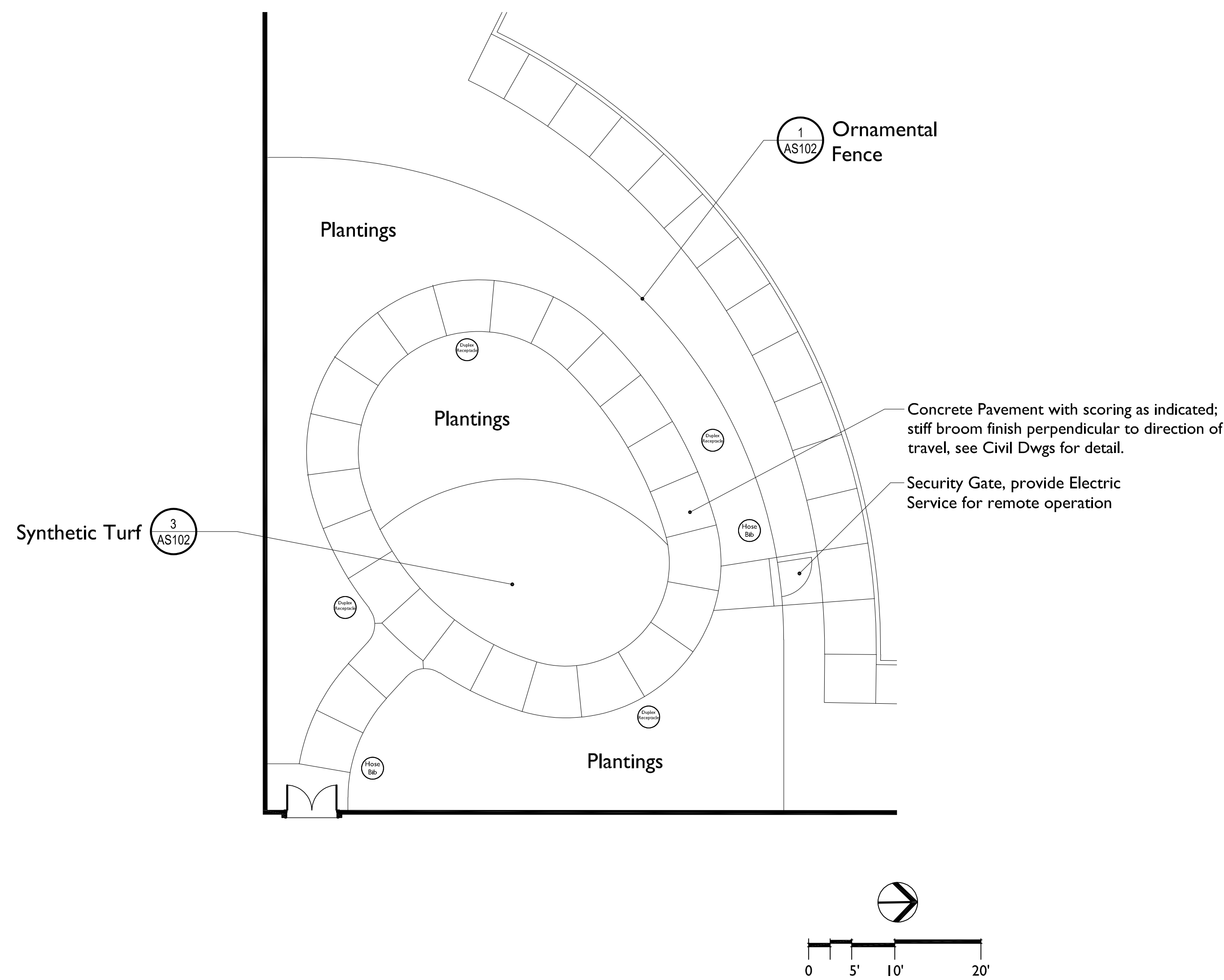
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ERDMAN COMPANY
COA# -

Contractor Services Provided By:
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Lic. No. -

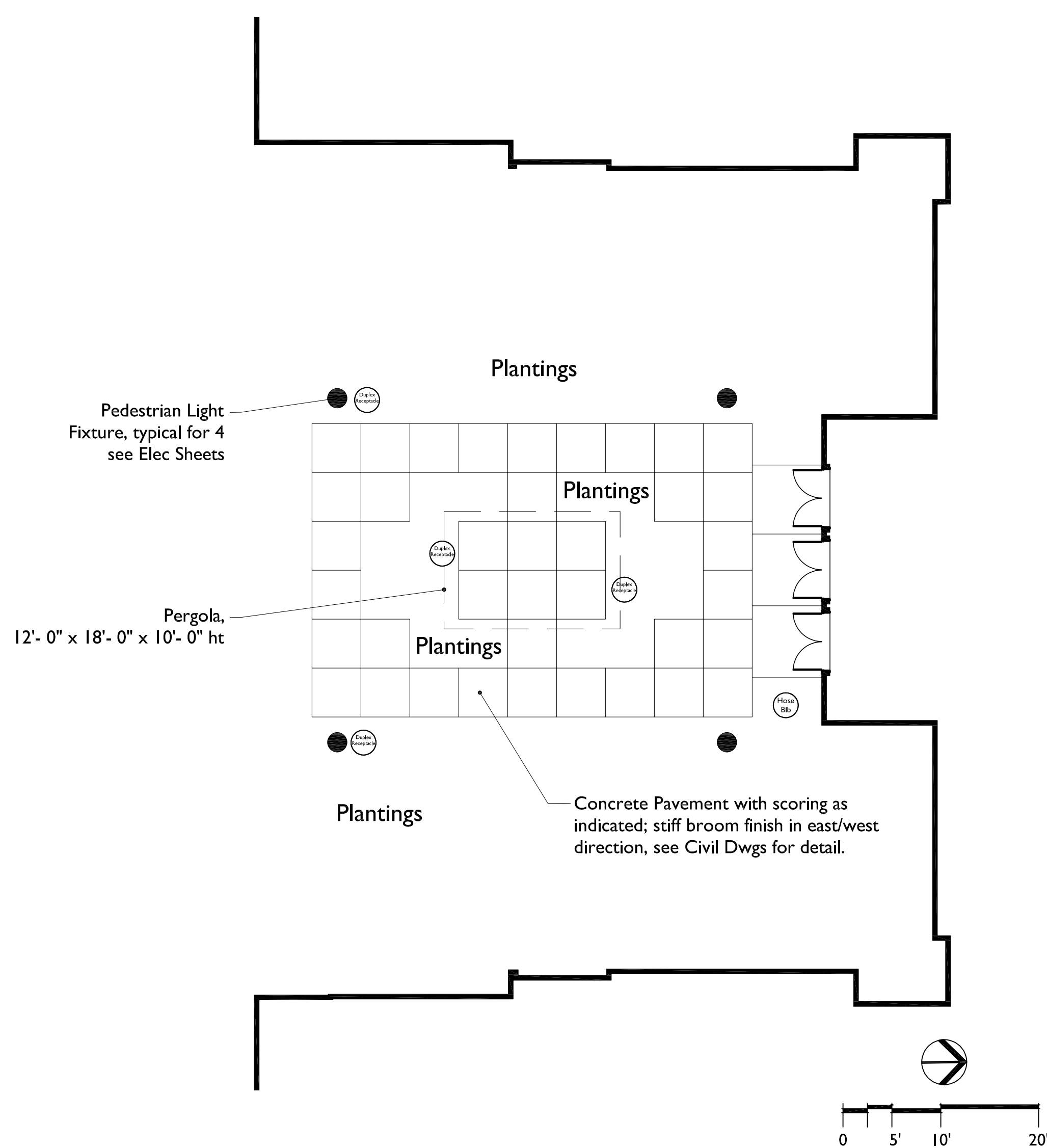
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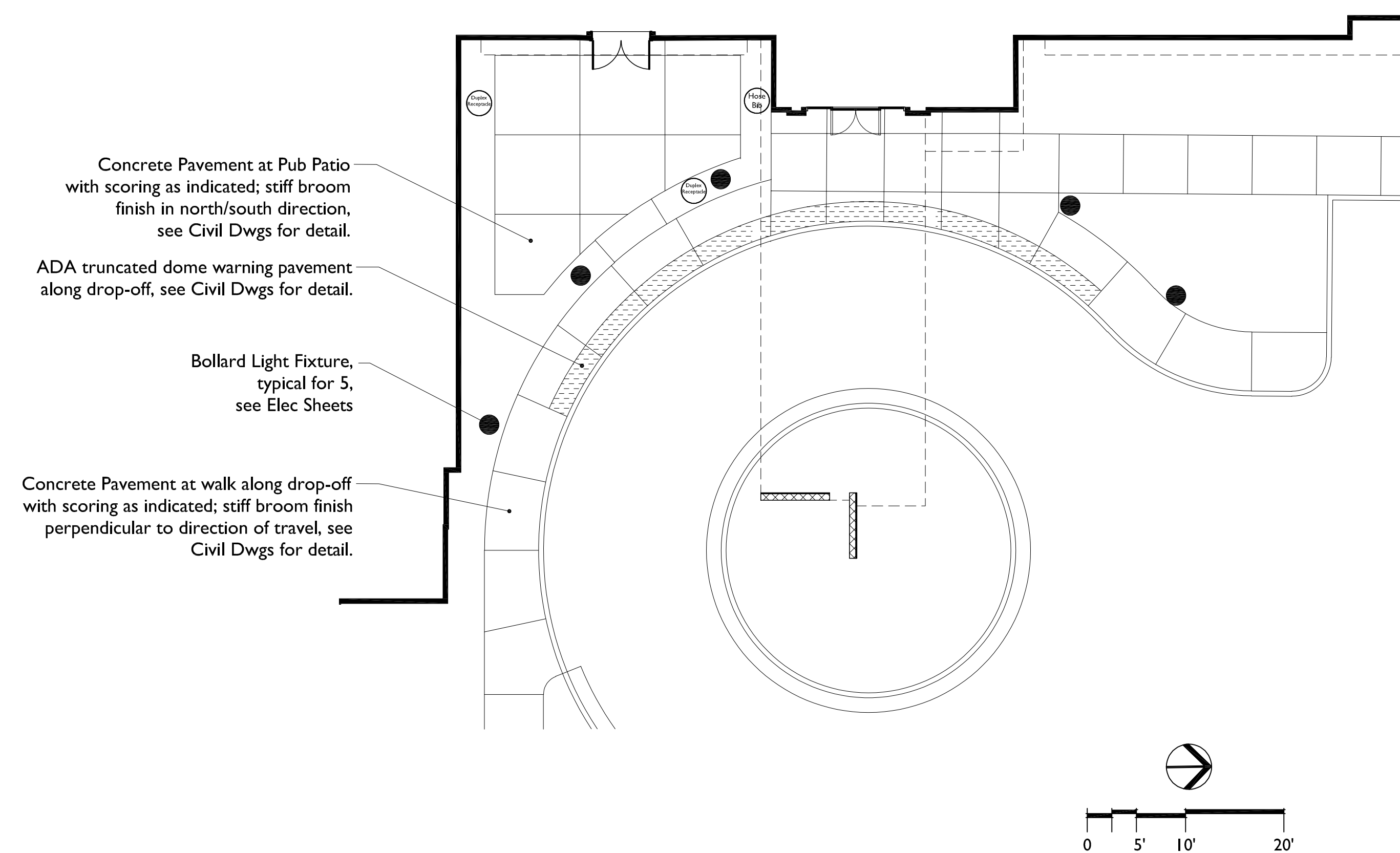
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SCALE: 1" = 10'



4 MEMORY CARE GARDEN LAYOUT AND SCORING PLAN
SCALE: 1" = 10'



1 FORMAL GARDEN LAYOUT AND SCORING PLAN
SCALE: 1" = 10'



2 PUB PATIO AND MAIN ENTRY LAYOUT AND SCORING PLAN
SCALE: 1" = 10'



No.	City Review Description	Date
1	City Review	05/14/2021

Document Release

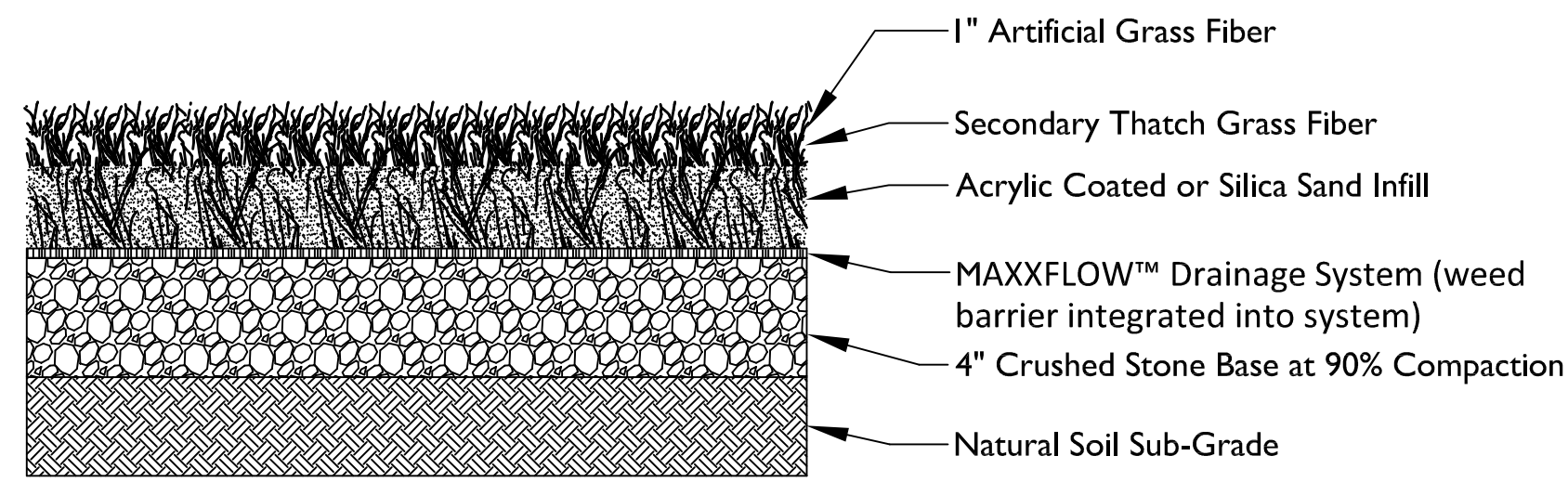
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CONSTRUCTION**

Sheet Name
**ARCHITECTURAL
SITE PLAN
ENLARGEMENTS**

Drn: rslayton Chk: klueschow

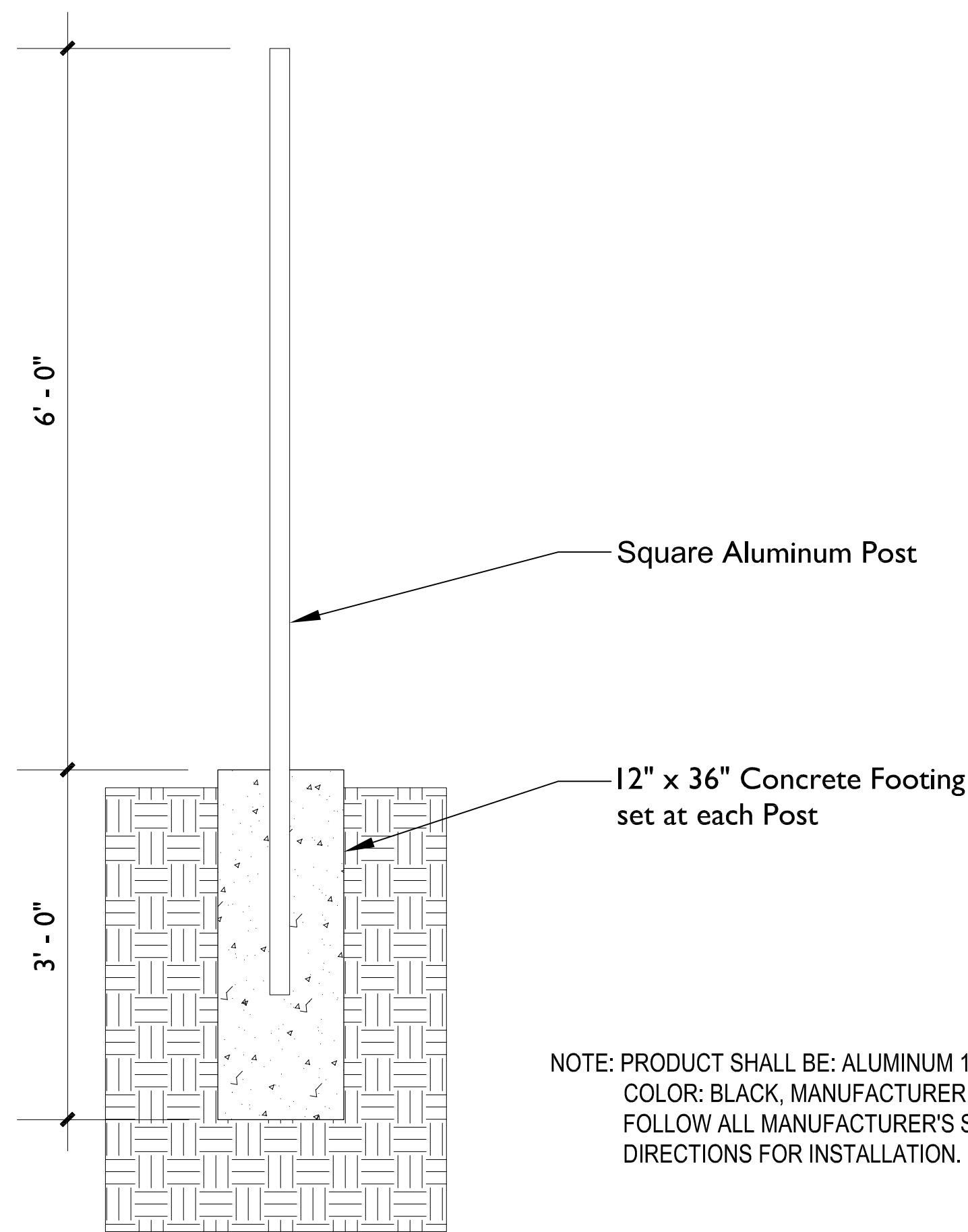
Sheet Number
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JOB # 668120

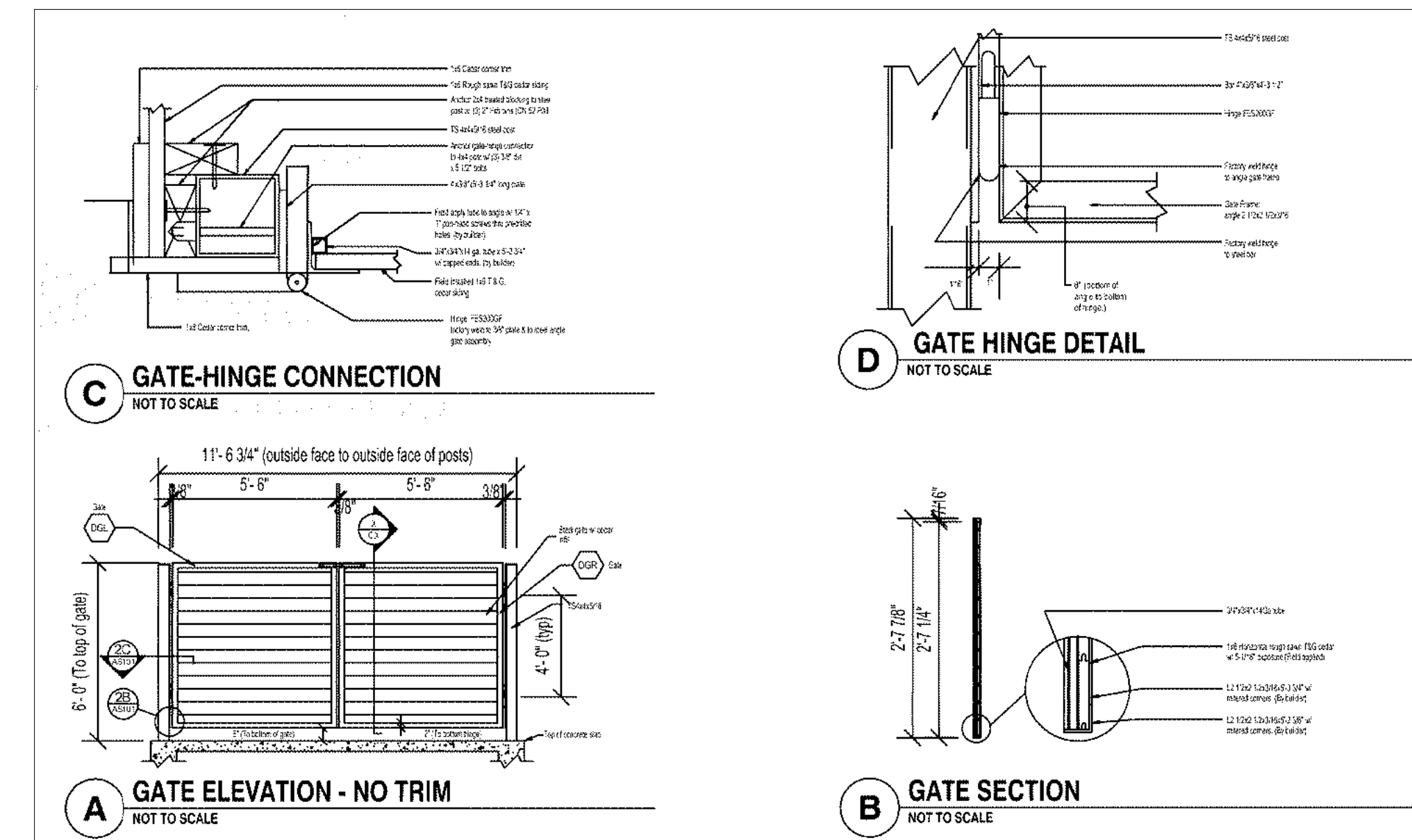


NOTE: PRODUCT SHALL BE 'SYNTHETIC TURF' AS MANUFACTURED BY SYNTHETIC TURF OF ILLINOIS, CHICAGO, IL 773-717-8987 Info@SynTurfIL.com OR APPROVED EQUAL. FOLLOW ALL MANUFACTURER'S SPECIFICATIONS AND DIRECTIONS FOR INSTALLATION.

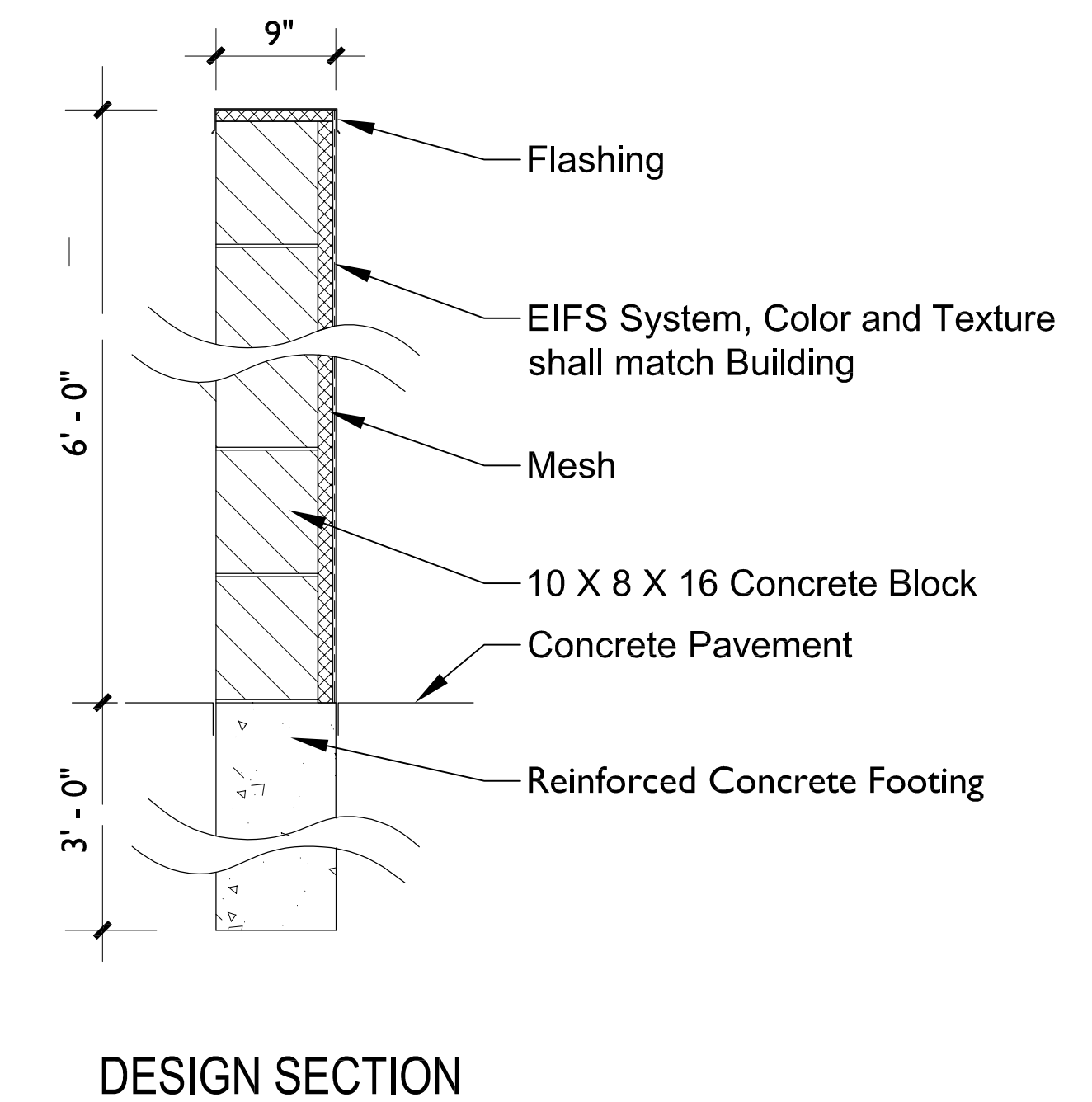
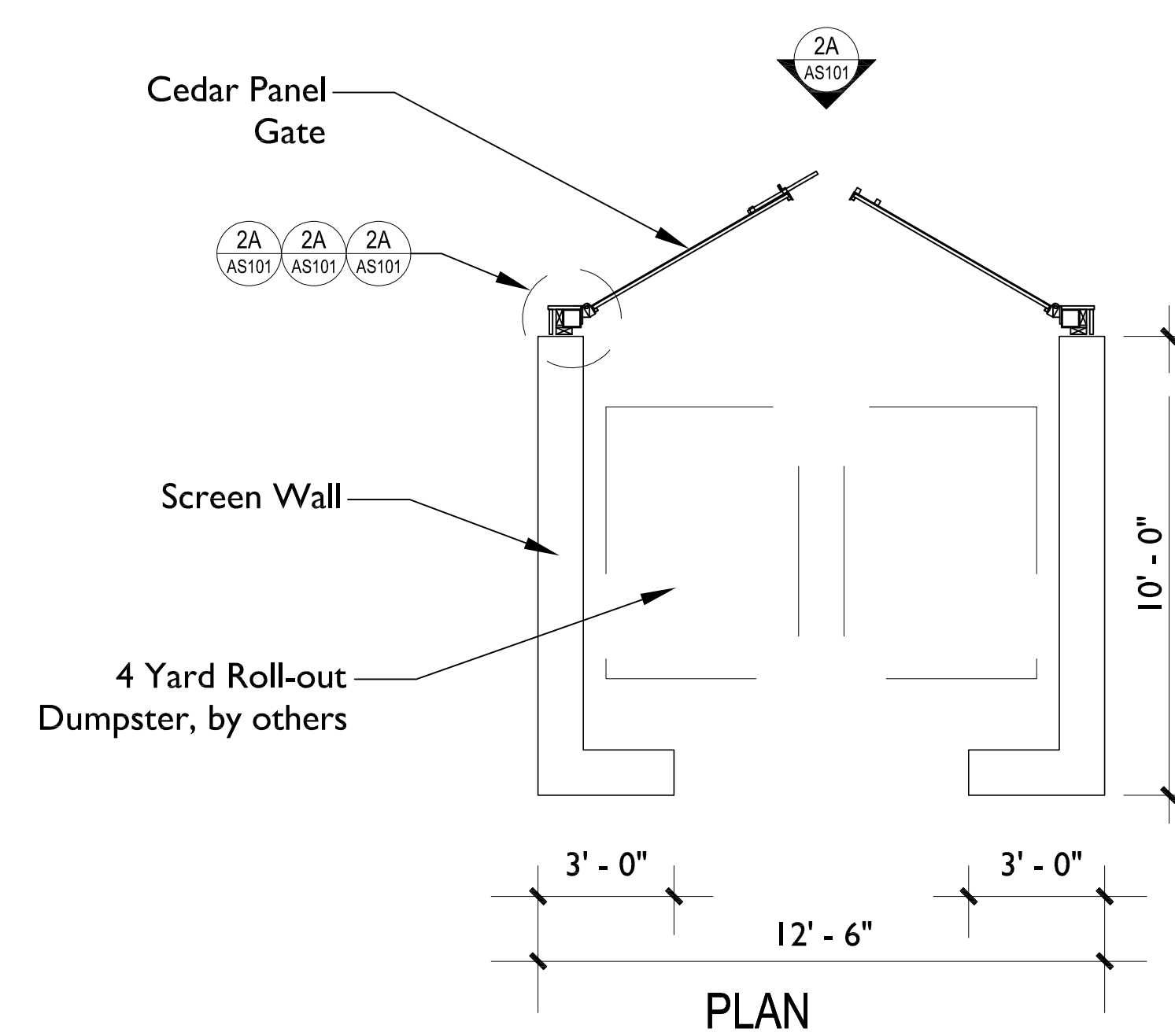
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1 DECORATIVE FENCE
NOT TO SCALE



GATE DETAILS



No.	Description	Date
1	City Review	05/14/2021

Document Release

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CONSTRUCTION**

Sheet Name
SITE DETAILS

Dmr.ralayton Chickkueschow

Sheet Number
AS102

JOB # 668120

**BONITA SPRINGS
SENIOR LIVING**

9726 BONITA BEACH RD. SE.
BONITA SPRINGS, FL 34135

Architectural Services Provided By:
ERDMAN COMPANY
ROBERT A. PRATT
COA# - AR99801

Engineering Services Provided By:
ERDMAN COMPANY
STRUCTURAL
ANDREW HOFFMAN
LIC# - 83813

MECHANICAL & PLUMBING
MIKE METEYER
LIC# - 55094

ELECTRICAL
RANDY WILDE
LIC# - 78054

Contractor Services Provided By:
ERDMAN COMPANY

Consultant Services Provided By:
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ABB, INC



2	SCHEMATIC DESIGN FINAL	02/28/2021
1	CITY SUBMITTAL 1	01/25/2021
No.	Description	Date
Document Release		

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CONSTRUCTION**

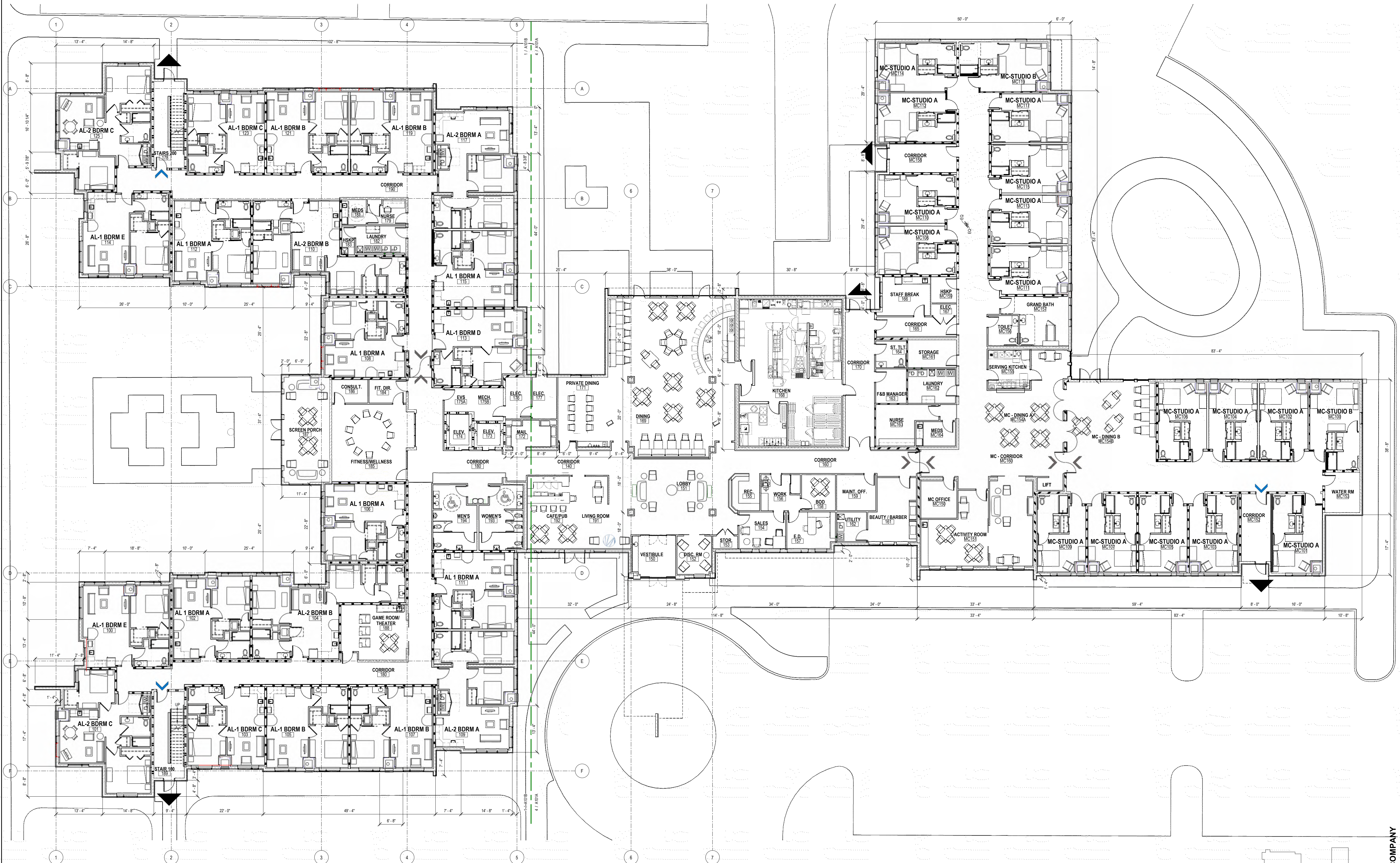
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Drn:KTHAO Chk:IWALLACE

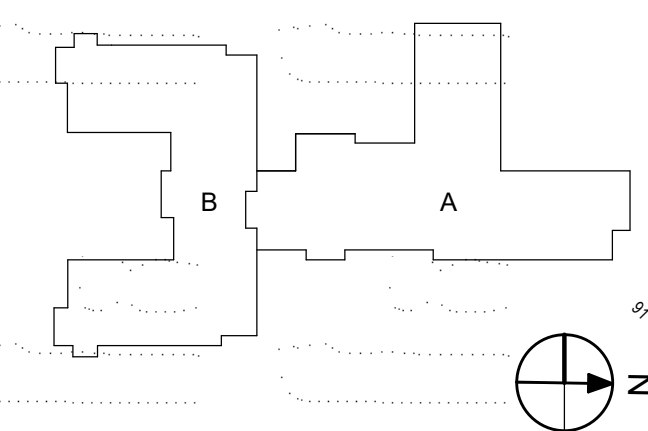
Sheet Number
A101

JOB # 668120

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1 FIRST FLOOR PLAN - OVERALL
SCALE: 3/32" = 1'-0"



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**BONITA SPRINGS
 SENIOR LIVING**

9726 BONITA BEACH RD. SE.
 BONITA SPRINGS, FL 34135

Architectural Services Provided By:
ERDMAN COMPANY
ROBERT A. PRATT
 COA# - AR99801

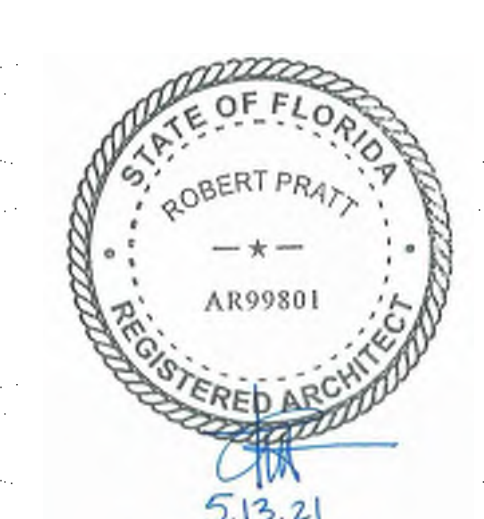
Engineering Services Provided By:
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STRUCTURAL
ANDREW HOFFMAN
 LIC# - 83813

MECHANICAL & PLUMBING
MIKE METEYER
 LIC# - 55094

ELECTRICAL
RANDY WILDE
 LIC# - 78054

Contractor Services Provided By:
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No.	Description	Date
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1	CITY SUBMITTAL 1	01/25/2021
Document Release		

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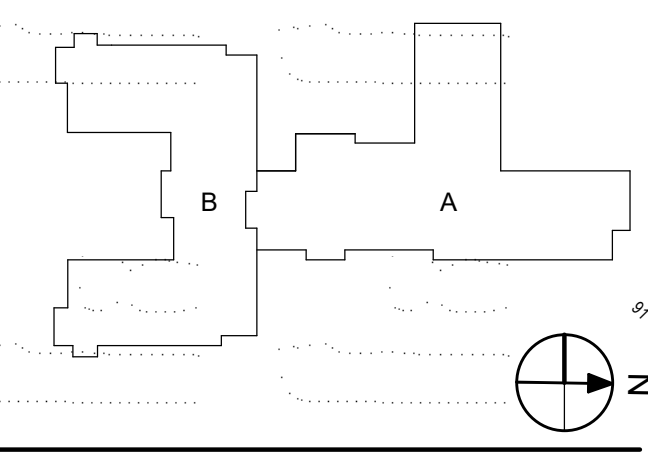
Sheet Name
**SECOND FLOOR
 PLAN - OVERALL**

Dr: KTHAO Ch: IWALLACE
 Sheet Number
A102
 JOB # 668120

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1 SECOND FLOOR PLAN - OVERALL
 SCALE: 3/32" = 1'-0"



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**BONITA SPRINGS
SENIOR LIVING**

9726 BONITA BEACH RD. SE.
BONITA SPRINGS, FL 34135

Architectural Services Provided By:
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ROBERT A. PRATT
COA# - AR99801

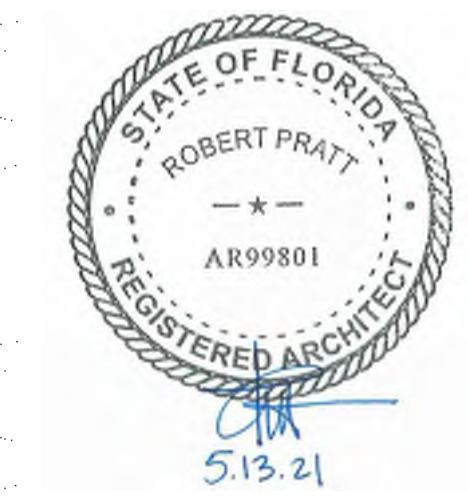
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STRUCTURAL
ANDREW HOFFMAN
LIC# - 83813

MECHANICAL & PLUMBING
MIKE METEYER
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RANDY WILDE
LIC# - 78054

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No.	Description	Date
2	SCHEMATIC DESIGN FINAL	02/26/2021
	Document Release	

**NOT FOR
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Sheet Name
**THIRD FLOOR
PLAN - AREA B**

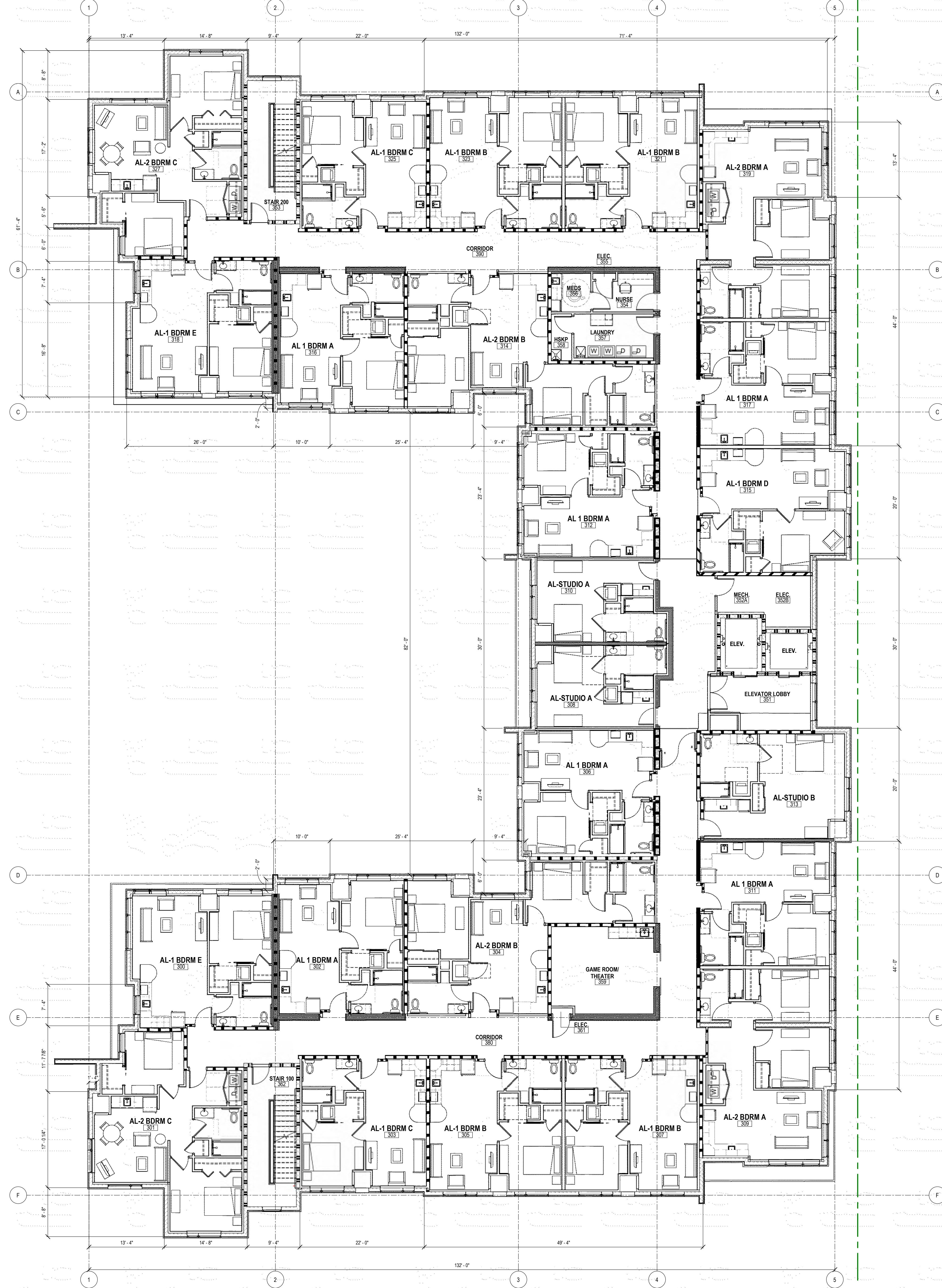
Dr: KTHAO Ch: IWALLACE

Sheet Number

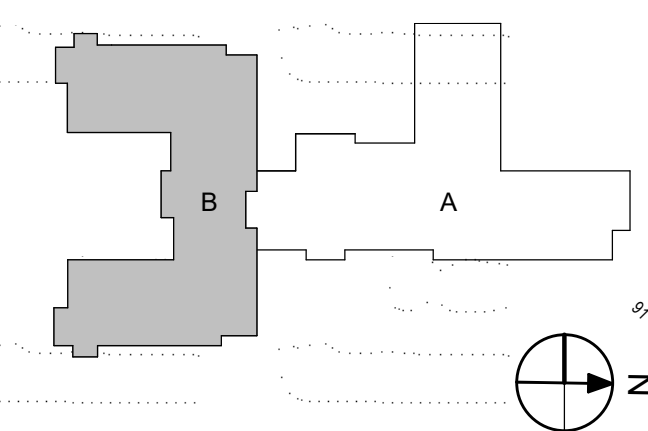
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JOB # 668120

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1 THIRD FLOOR PLAN - AREA B
SCALE: 1/8" = 1'-0"



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**BONITA SPRINGS
 SENIOR LIVING**

9726 BONITA BEACH RD. SE.
 BONITA SPRINGS, FL 34135

Architectural Services Provided By:
ERDMAN COMPANY
ROBERT A. PRATT
 COA# - AR99801

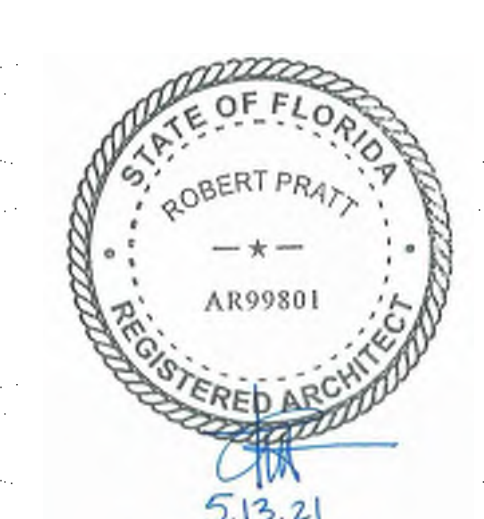
Engineering Services Provided By:
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STRUCTURAL
ANDREW HOFFMAN
 LIC# - 83813

MECHANICAL & PLUMBING
MIKE METEYER
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ELECTRICAL
RANDY WILDE
 LIC# - 78054

Contractor Services Provided By:
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No.	Description	Date
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	Document Release	

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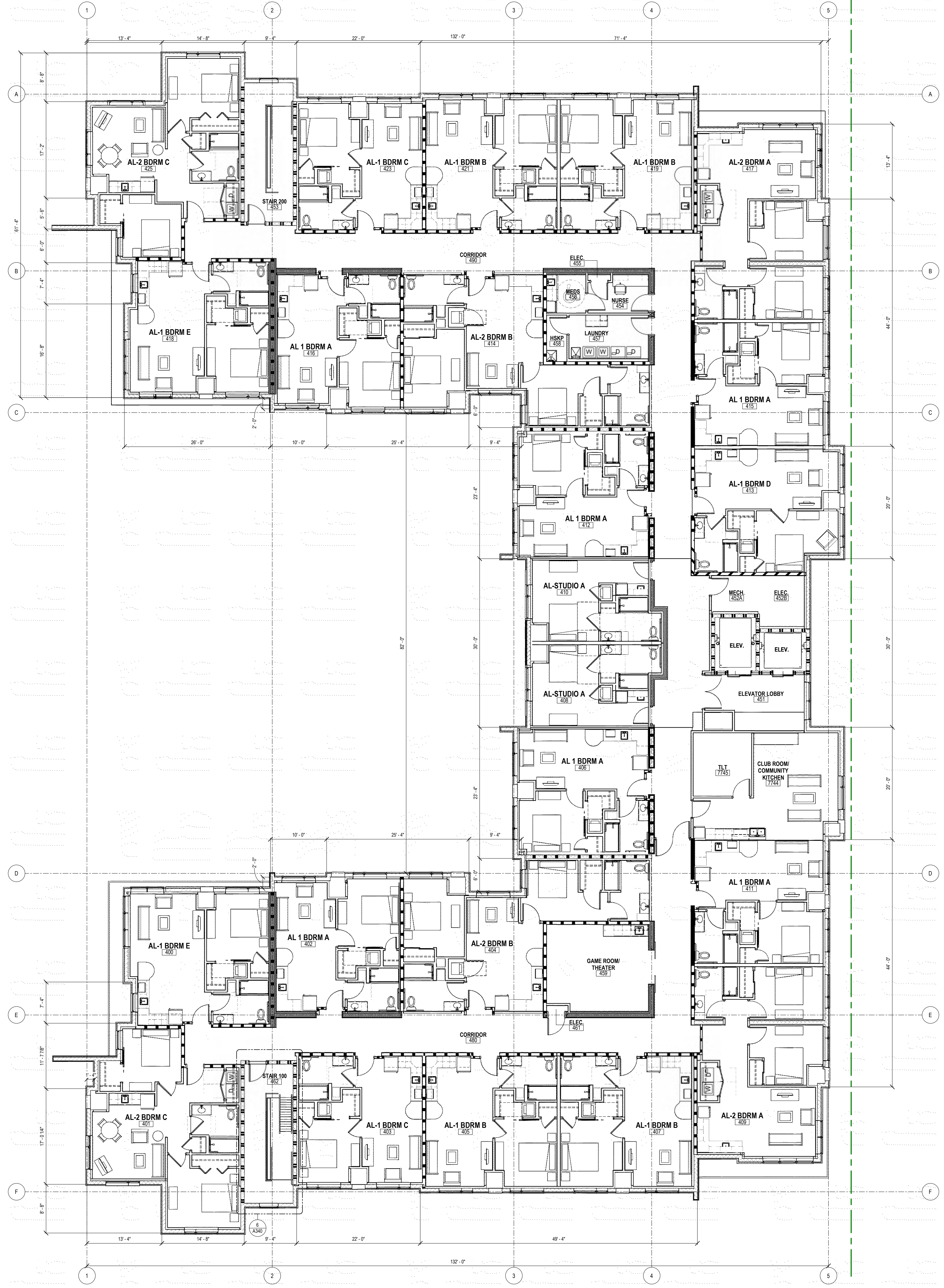
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**FOURTH FLOOR
 PLAN - AREA B**

Dr: KTHAO Ch: IWALLACE

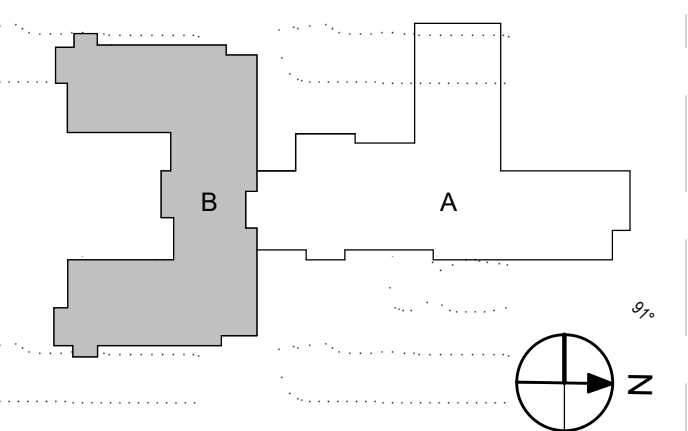
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JOB # 668120

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1 FOURTH FLOOR PLAN - AREA B
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No.	Description	Date
2	SCHEMATIC DESIGN FINAL	02/26/2021
Document Release		

**NOT FOR
CONSTRUCTION**

Sheet Name
**ROOF PLAN -
OVERALL**

Dr: DMONTROYA Chk: I WALLACE
Sheet Number
A105
JOB # 668120

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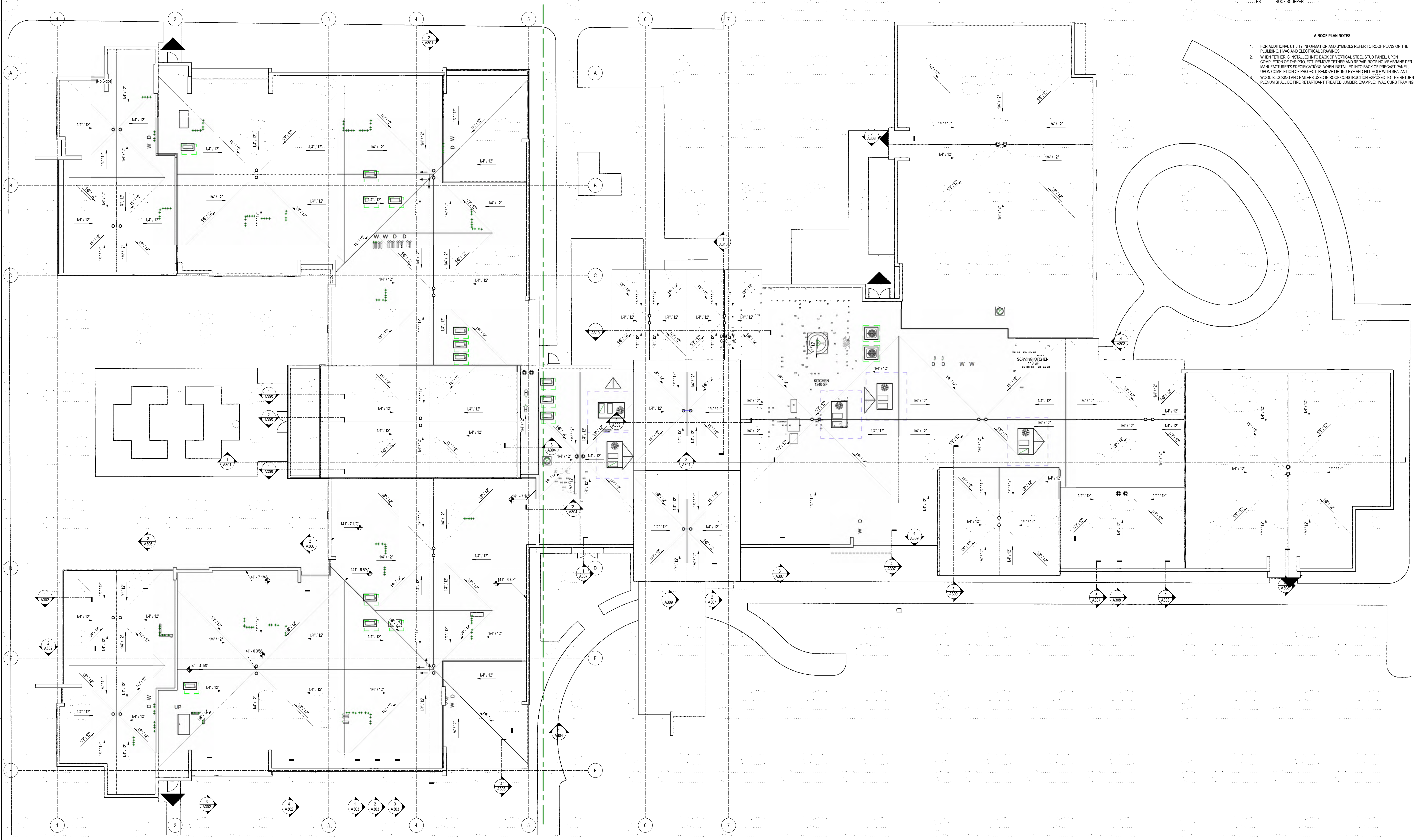
ROOF PLAN NOTES & SYMBOLS

- COORDINATE OPENINGS AND PENETRATIONS
- PROVIDE SADDLES AND CRICKETS AT ROOF TOP EQUIPMENT AND PENETRATIONS TO ENSURE POSITIVE DRAINAGE
- REFER TO ROOF PLANS ON MECHANICAL, ELECTRICAL & PLUMBING PLANS FOR ADDITIONAL INFORMATION
- ROOF TO SLOPE TO DRAIN AT 1/4" PER FOOT MIN. (TYPICAL)
- SLOPING STRUCTURAL STEEL IS TYPICAL, U.N.O.

- THESE NOTES COPIED FROM HECKTOWN/MORCO
REVISE TO SUIT PROJECT THEN DELETE THIS TEXT
- -
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A-ROOF PLAN NOTES

- FOR ADDITIONAL UTILITY INFORMATION AND SYMBOLS REFER TO ROOF PLANS ON THE PLUMBING, HVAC AND ELECTRICAL DRAWINGS
- WHEN TETHER IS INSTALLED INTO BACK OF VERTICAL STEEL STUD PANEL, UPON COMPLETION OF THE PROJECT, REMOVE TETHER AND REPAIR ROOFING MEMBRANE PER MANUFACTURER'S SPECIFICATIONS. WHEN INSTALLED INTO BACK OF PRECAST PANEL, UPON COMPLETION OF PROJECT, REMOVE LIFTING EYE AND FILL HOLE WITH SEALANT. WOOD BLOCKING AND NAILS USED IN ROOF CONSTRUCTION EXPOSED TO THE RETURN FLEUM SHALL BE FIRE RETARDANT TREATED LUMBER, EXAMPLE: HVAC CURB FRAMING.



**BONITA SPRINGS
SENIOR LIVING**

9726 BONITA BEACH RD. SE.
BONITA SPRINGS, FL 34135

Architectural Services Provided By:
ERDMAN COMPANY
ROBERT A. PRATT
COA# - AR99801

Engineering Services Provided By:
ERDMAN COMPANY
STRUCTURAL
ANDREW HOFFMAN
LIC# - 83813

MECHANICAL & PLUMBING
MIKE METEYER
LIC# - 55094

ELECTRICAL
RANDY WILDE
LIC# - 78054

Contractor Services Provided By:
ERDMAN COMPANY

Consultant Services Provided By:
CIVIL
ABB, INC

EXTERIOR GLAZING CALCULATIONS

Total Glazing % (Wall to Glazing Ratio)

Total Wall (SF) = +/- 40, 279 SF
Total glazing (Including Doors w/ glazing) = +/- 10,880 SF
Total Glazing % = +/- 27%

South Elevation (Excluding Hidden Elevations)

Total Wall (SF) = +/- 5,918 SF
Total glazing (Including Doors w/ glazing) = +/- 2,141 SF
Total Glazing % = +/- 41%

North Elevation (Excluding Hidden Elevations)

Total Wall (SF) = +/- 1,501 SF
Total glazing (Including Doors w/ glazing) = +/- 263 SF
Total Glazing % = +/- 18%

East Elevation (Excluding Hidden Elevations)

Total Wall (SF) = +/- 6,016 SF
Total glazing (Including Doors w/ glazing) = +/- 2,093 SF
Total Glazing % = +/- 35%

West Elevation (Excluding Hidden Elevations)

Total Wall (SF) = +/- 6,237 SF
Total glazing (Including Doors w/ glazing) = +/- 1,981 SF
Total Glazing % = +/- 31%



4 AL SOUTHERN ELEVATION
SCALE:



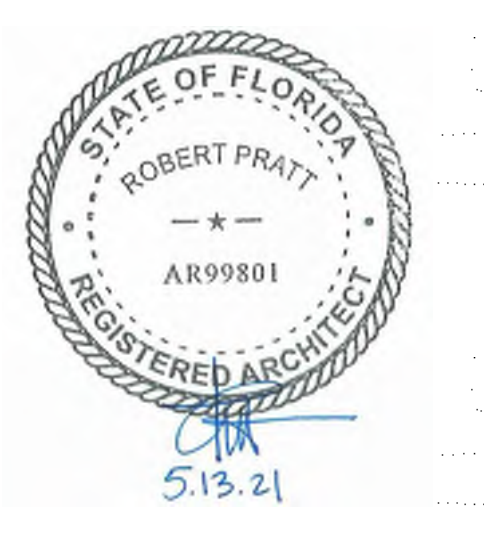
3 ENTRY PERSPECTIVE
SCALE:



2 NORTH EAST AXON
SCALE:



1 SOUTH EAST AXON
SCALE:



No.	Description	Date
2	SCHEMATIC DESIGN FINAL	02/26/2021
1	CITY SUBMITTAL 1	01/25/2021
Document Release		

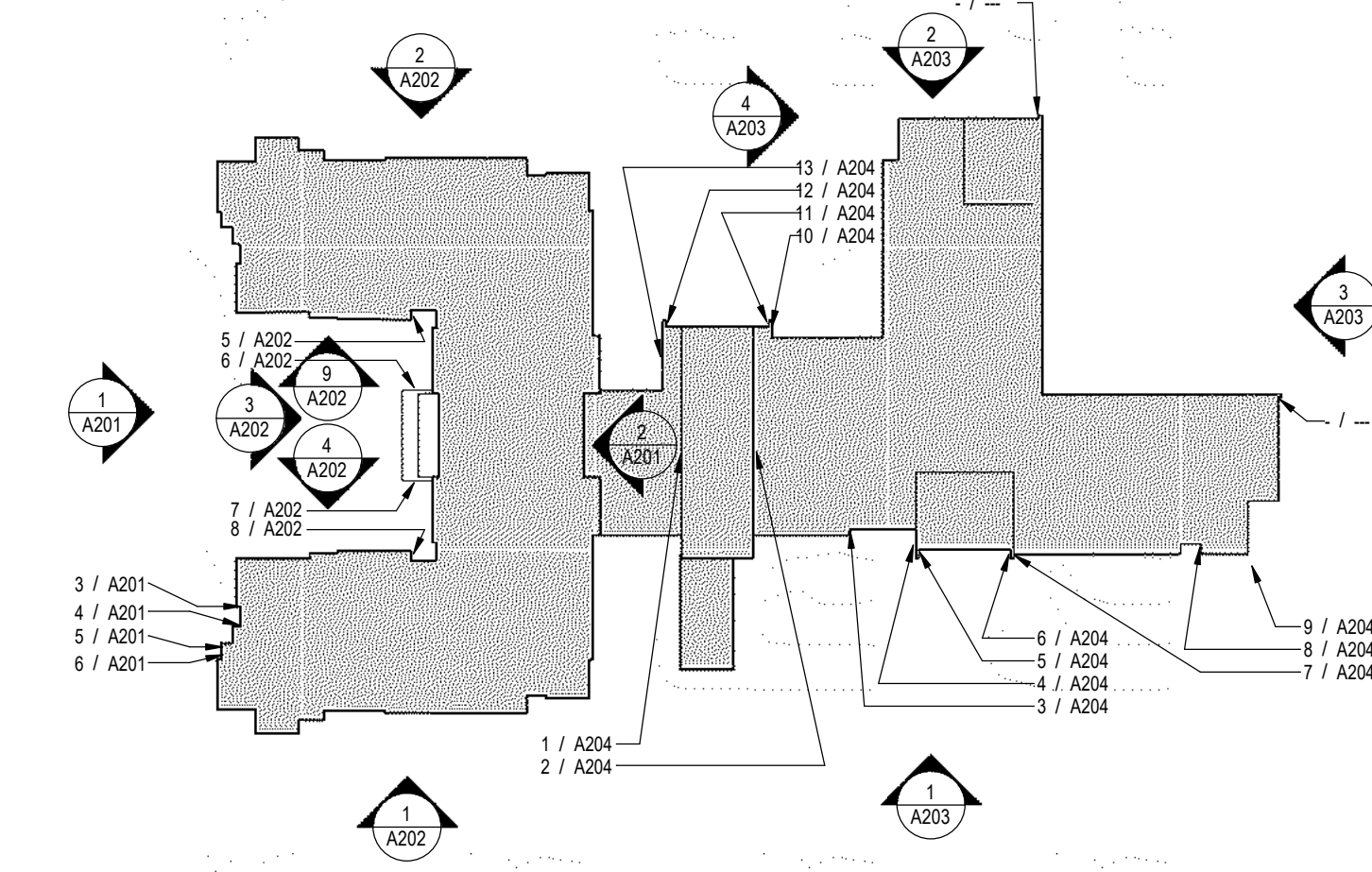
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CONSTRUCTION**

Sheet Name
**EXTERIOR
MASSING**

Drn: MBOOTH Chk: IWALLACE

Sheet Number
A200

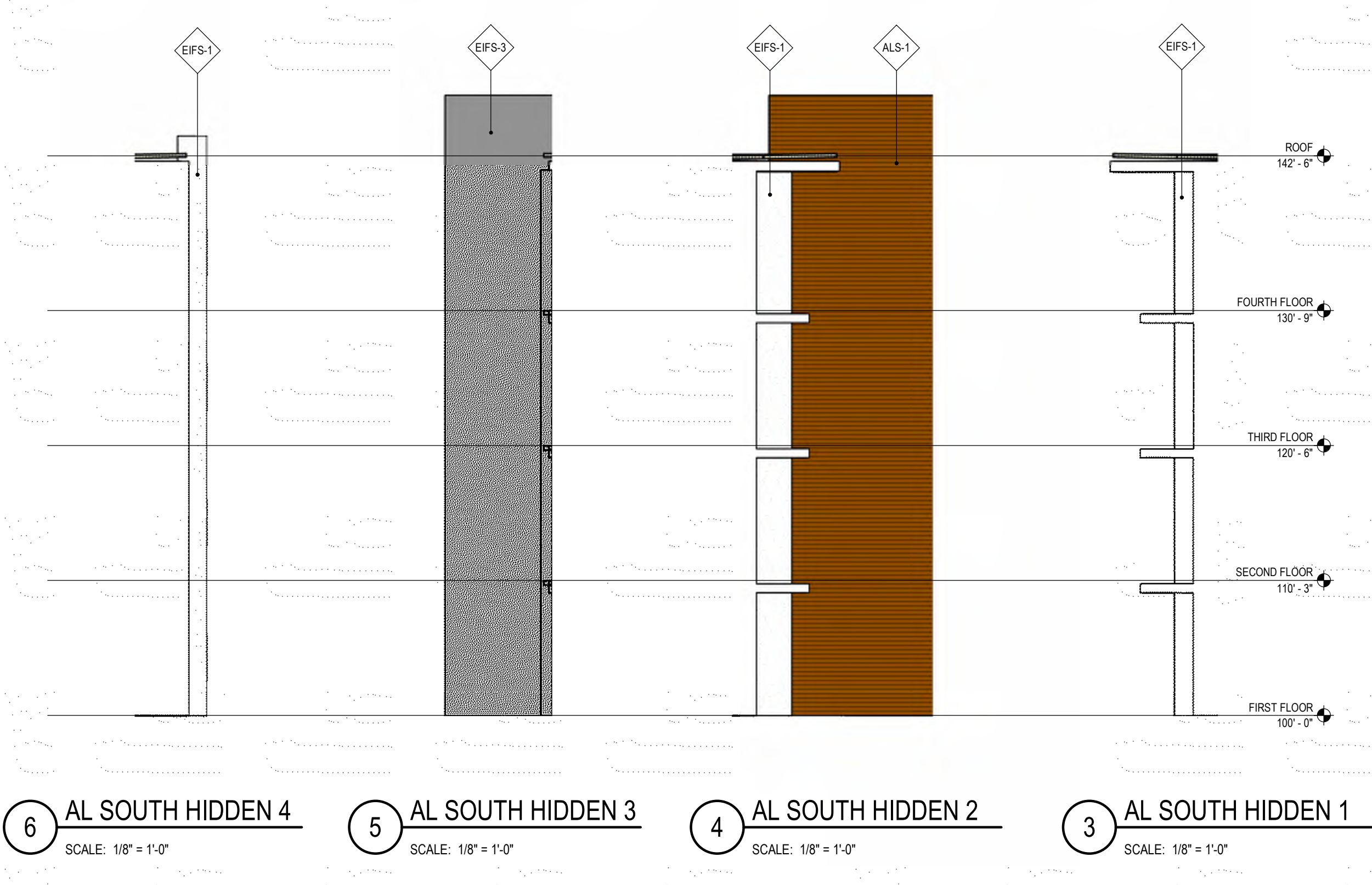
JOB # 668120



ELEVATION KEY PLAN
 SCALE: 1/64" = 1'-0"

EXTERIOR MATERIAL INFORMATION

- 055200 - METAL RAILINGS
 WMR-1 WIRE MESH RAILING
- 074600 - ALUMINUM SIDING AND SOFFIT SYSTEM
 ALS-1 HORIZONTAL LONGBOARD ARCHITECTURAL ALUMINUM SIDING
 WOOD GRAIN FINISH, COLOR: DARK CHERRY
- ALS-2 VERTICAL LONGBOARD ARCHITECTURAL ALUMINUM SIDING
 WOOD GRAIN FINISH, COLOR: DARK CHERRY
- 072400 - EXTERIOR INSULATION AND FINISH SYSTEM - EFS
 EFS-1 3" EFS, TEXTURED, WHITE
- EFS-2 2" EFS, SMOOTH TEXTURE, BLACK
- EFS-3 3" EFS, SMOOTH TEXTURE, GRAY
- 071100 - MANUFACTURED ROOF SPECIALTIES
 DS-1 DOWNSPOUT
- ALUMINUM COPING CAP
 ACC-1 PREFABRICATED TAPERED METAL COPING
- 084413 - GLAZED ALUMINUM CURTAINWALL
 CW-1 7 1/2" ALUMINUM CURTAIN WALL SYSTEM
- CWC-1 CURTAINWALL STRUCTURAL GLAZED MULLION CAP
- CWC-2 CURTAINWALL POLY CAPTURED MULLION CAP
- 099100 - PAINTS
 P-1 HIGH PERFORMANCE PAINT ON STEEL
- 100200 - ARCHITECTURAL GRILLES AND SCREENS
 AG-1 BY HVAC CONTRACTOR, SEE MECHANICAL DRAWINGS
 COLOR: PAINTED TBD
- MISCELLANEOUS
 EJ CONTROL JOINT
 EJ EXPANSION JOINT



2 AL NORTH
 SCALE: 1/8" = 1'-0"



1 AL SOUTH
 SCALE: 1/8" = 1'-0"



2	SCHEMATIC DESIGN FINAL	02/26/2021
1	CITY SUBMITTAL 1	01/25/2021
No.	Description	Date

Document Release

**NOT FOR
 CONSTRUCTION**

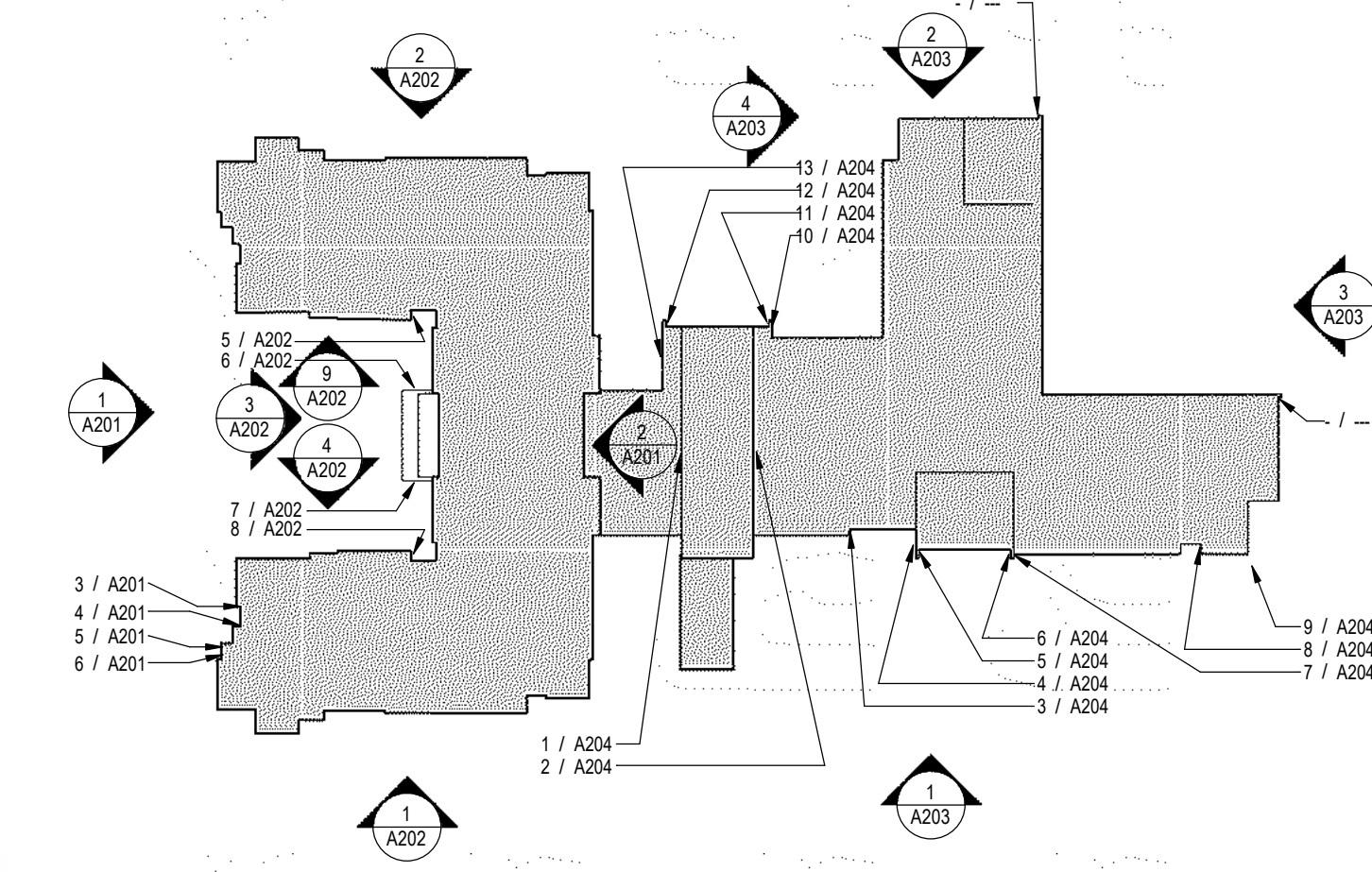
Sheet Name
**EXTERIOR
 ELEVATIONS - AL**

Drn: MBOOTH Chk: IWALLACE

Sheet Number
A201

JOB # 668120

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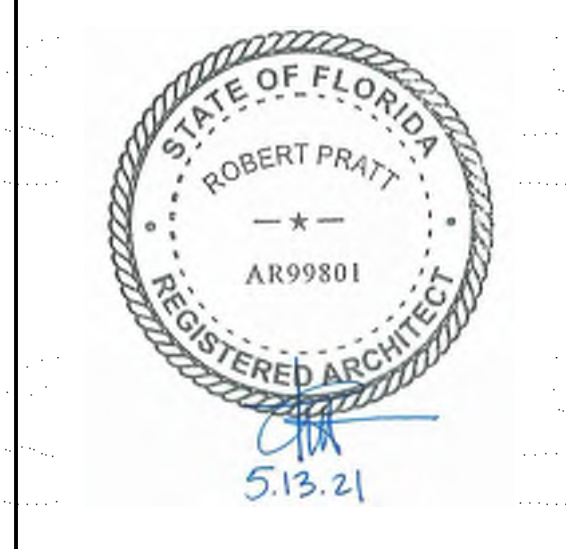
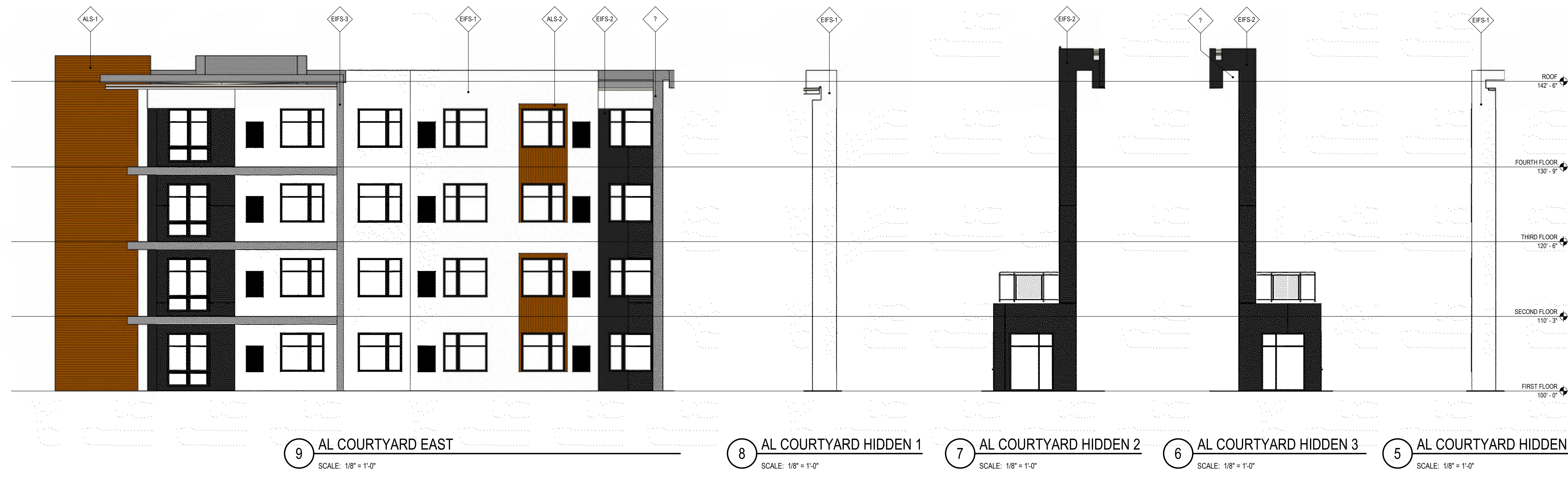


ELEVATION KEY PLAN

SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL INFORMATION

- 055200 - METAL RAILINGS
 WMR-1 WIRE MESH RAILING
- 074000 - ALUMINUM SIDING AND SOFFIT SYSTEM
 ALS-1 HORIZONTAL LONGBOARD ARCHITECTURAL ALUMINUM SIDING
 WOOD GRAIN FINISH, COLOR: DARK CHERRY
 ALS-2 VERTICAL LONGBOARD ARCHITECTURAL ALUMINUM SIDING
 WOOD GRAIN FINISH, COLOR: DARK CHERRY
- 072400 - EXTERIOR INSULATION AND FINISH SYSTEM - EFS
 EFS-1 3" EFS, TEXTURED, WHITE
 EFS-2 2" EFS, SMOOTH TEXTURE, BLACK
 EFS-3 3" EFS, SMOOTH TEXTURE, GRAY
- 071100 - MANUFACTURED ROOF SPECIALTIES
 DS-1 DOWNSPOUT
- ALUMINUM COPING CAP
 ACC-1 PREFABRICATED TAPERED METAL COPING
- 084413 - GLAZED ALUMINUM CURTAINWALL
 CW-1 7 1/2" ALUMINUM CURTAIN WALL SYSTEM
 CW-2 CURTAINWALL STRUCTURAL GLAZED MULLION CAP
 CURTAINWALL POLYLY CAPTURED MULLION CAP
- 099100 - PAINTS
 P-1 HIGH PERFORMANCE PAINT ON STEEL
- 100200 - ARCHITECTURAL GRILLES AND SCREENS
 AG-1 BY HVAC CONTRACTOR, SEE MECHANICAL DRAWINGS
 COLOR: PAINTED TBD
- MISCELLANEOUS
 CJ CONTROL JOINT
 EJ EXPANSION JOINT



No.	Description	Date
2	SCHEMATIC DESIGN FINAL	02/26/2021
1	CITY SUBMITTAL 1	01/25/2021

Document Release

**NOT FOR
 CONSTRUCTION**

Sheet Name
**EXTERIOR
 ELEVATIONS - AL**

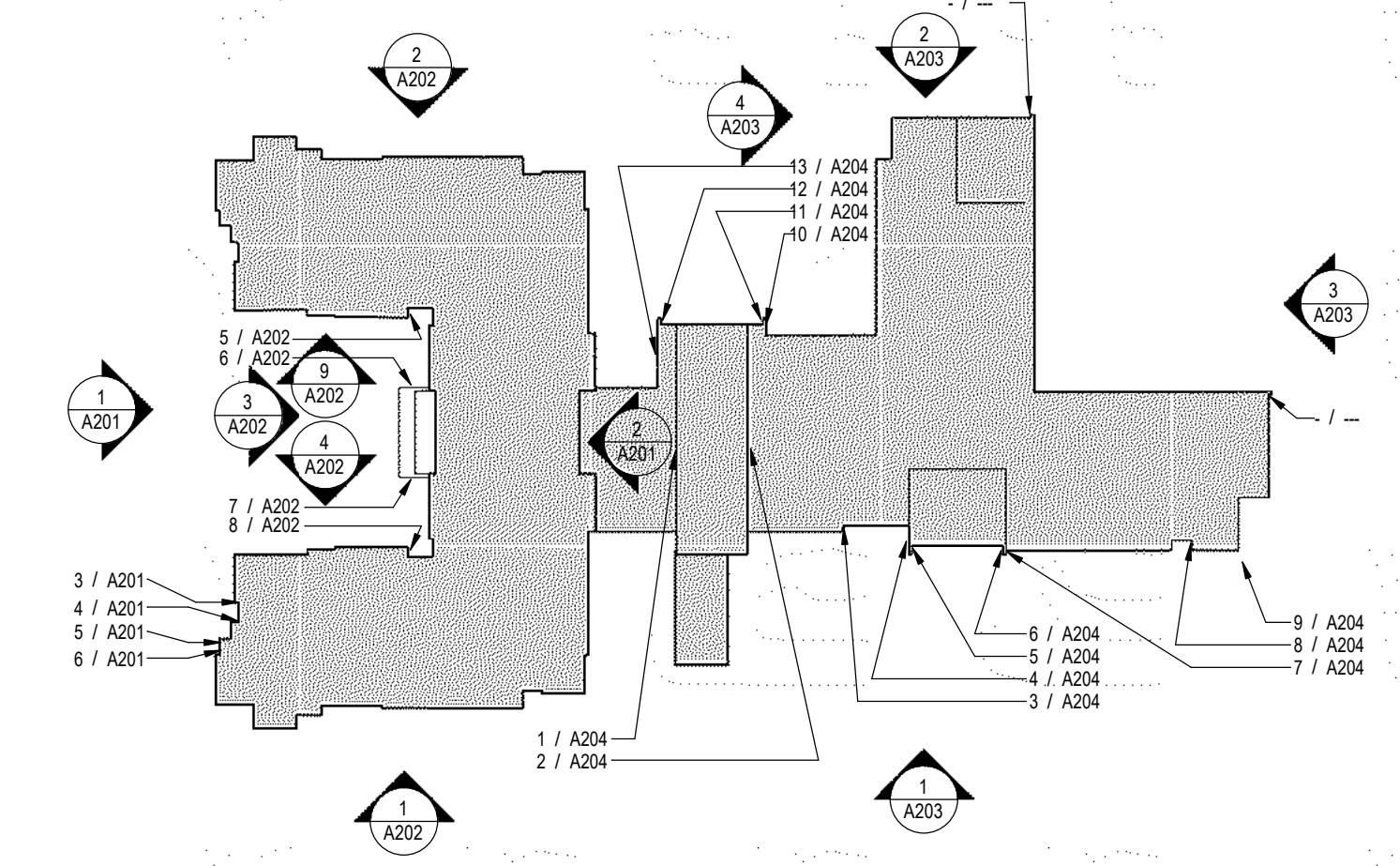
Drn: MBOOTH Chk: I WALLACE

Sheet Number
A202

JOB # 668120

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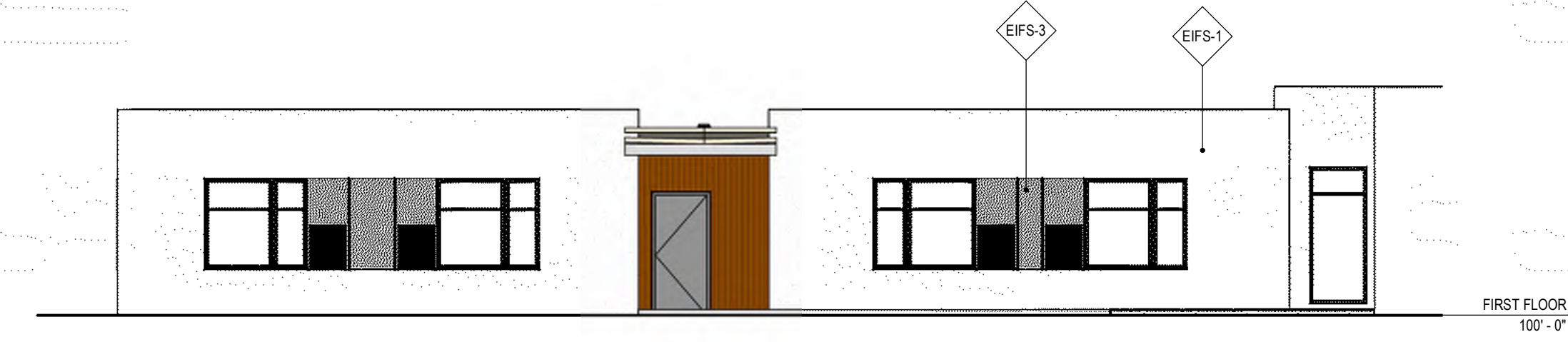


ELEVATION KEY PLAN

SCALE: 1/64" = 1'-0"

EXTERIOR MATERIAL INFORMATION

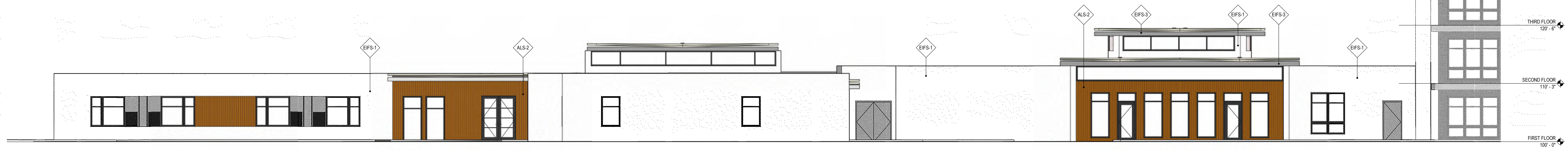
- 85300 - METAL RAILINGS
- WMR-1 WIRE MESH RAILING
- 07400 - ALUMINUM SIDING AND SOFFIT SYSTEM
- ALS-1 HORIZONTAL LONGBOARD ARCHITECTURAL ALUMINUM SIDING
WOOD GRAIN FINISH, COLOR: DARK CHERRY
- ALS-2 VERTICAL LONGBOARD ARCHITECTURAL ALUMINUM SIDING
WOOD GRAIN FINISH, COLOR: DARK CHERRY
- 07400 - EXTERIOR INSULATION AND FINISH SYSTEM - EIFS
- EIFS-1 3" EIFS TEXTURED, WHITE
- EIFS-2 2" EIFS SMOOTH TEXTURE, BLACK
- EIFS-3 3" EIFS SMOOTH TEXTURE, GRAY
- 07100 - MANUFACTURED ROOF SPECIALTIES
- DS-1 DOWNSPOUT
- ALUMINUM COPING CAP
- ACC-1 PREFABRICATED TAPERED METAL COPING
- 08415 - GLAZED ALUMINUM CURTAINWALL
- CW-1 7 1/2" ALUMINUM CURTAIN WALL SYSTEM
- CWC-1 CURTAINWALL STRUCTURAL GLAZED MULLION CAP
- CWC-2 CURTAINWALL FULLY CAPTURED MULLION CAP
- 09100 - PAINTS
- P-1 HIGH PERFORMANCE PAINT ON STEEL
- 10200 - ARCHITECTURAL GRILLES AND SCREENS
- AG-1 BY HVAC CONTRACTOR, SEE MECHANICAL DRAWINGS
COLOR: PAINTED TBO
- MISCELLANEOUS
- CJ CONTROL JOINT
- EJ EXPANSION JOINT



4 MC SOUTH
SCALE: 1/8" = 1'-0"



3 MC NORTH
SCALE: 1/8" = 1'-0"



2 MC WEST
SCALE: 1/8" = 1'-0"



1 MC EAST
SCALE: 1/8" = 1'-0"



No.	Description	Date
2	SCHEMATIC DESIGN FINAL	02/28/2021
1	CITY SUBMITTAL 1	01/25/2021

Document Release

**NOT FOR
CONSTRUCTION**

Sheet Name
**EXTERIOR
ELEVATIONS - MC**

Drn: MBOOTH Chk: IWALLACE
Sheet Number
A203
JOB # 668120

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ATTACHMENT "A"

BACKGROUND AND INFORMATIONAL ANALYSIS

Introduction/Synopsis

The purpose and intent of the various planned development districts is to further implement the goals, objectives and policies of the Comprehensive Plan by providing some degree of flexibility in planning and designing developments as defined in [Land Development Code \(LDC\) Sec. 4-200\(2\)](#). According to LDC Sec. 4-737(b), the RPD residential planned development districts are intended to further the general purpose of planned developments set forth in section 4-400(2) as it relates to residential areas. These districts are also intended to provide a property owner or land developer with a development technique that can increase residential density and its ancillary development in areas designated by the Bonita Plan, provided that the proposed development shall be completely independent of city subsidized facilities and services, and that the project will not have an adverse economic, environmental, fiscal, or social impact to its surrounding environs or to the city. The principal use of any residential planned development is human habitation in permanent year round dwelling units. However, the RPD districts permit some limited nonresidential uses for the convenience of the residents and the welfare of the public.

The standard of review conducted by Staff and other review agencies provides the basis for Staff's recommendation of the rezoning request as outlined in [LDC Sec. 4-131\(d\)\(3\)](#) and [LDC Sec. 4-299\(a\)\(2\) and \(4\)](#). This recommendation is presented to the Zoning Board where they will receive presentations by the Applicant and Staff and comments from the public, prior to making a recommendation to the City Council whom has the final decision-making authority.

The subject property consists of one parcel totaling 4.19+/- acres on the northern side of Bonita Beach Road, west of Old U.S. 41. The property neighbors commercial uses, primarily providing health care and other business service uses. In the rear of the property, single-family homes are constructed along Alabama Street, with single and two-family homes behind them. The subject property currently houses multi-family residences, with a zoning district designation of Two-Family Conservation (TFC-2). This request is to rezone the property into a Residential Planned Development (RPD) for a maximum density of 132 beds for an Assisted Living Facility. The request also includes a Master Concept Plan, development standards, and a proposed schedule of uses.

Master Concept Plan

The Master Concept Plan is a 1-page plan and is referenced as **Exhibit "B"**. The Plan was last submitted on September 8, 2021.

The plan incorporates the property development regulations of the Commercial Zone of the Bonita Beach Road Corridor Overlay, the required site design standards of Residential Planned Developments and incorporates the proposed schedule of uses.

The Applicant is requesting a maximum of 132 beds, within 108 units, for an Assisted Living Facility with ancillary residential uses including food service, fitness facilities and pools/hot tubs for the use of the residents and their guests. Based on the Conceptual Architectural Renderings

(**Exhibit “E”**) it is anticipated that the majority of the height and intensity will be internal to the site and focused towards Bonita Beach Road, reducing intensity as proximity increases north toward the single-family and two-family residential uses. It should be noted that Architectural review will occur at the time of local development order.

Schedule of Uses and Building Orientation

The types of uses proposed by the Applicant are enumerated in the schedule of uses (see **Attachment B**). These uses are further defined in [LDC Sec. 4-408-Use activity groups](#) and listed in [LDC Table 4-740-Use regulations table](#). The schedule of uses identifies specific uses for the two different development tracts (Tract A and Tract B). The existing LDC regulations for the Bonita Beach Road Corridor Overlay address the building form and orientation along these highly visible corridors. Based on the architectural renderings provided, the Applicant proposes 4-stories closest to Bonita Beach Road and decreases in intensity as the project continues north towards residential uses. Other architectural standards are also included in [LDC 3, Article IV, Design Standards for Commercial Buildings and Developments](#) relative to these same uses, the location and buffering of service function areas and facilities, and other design elements such as overhead doors. All of these factors aid in evaluating the proposed schedule of uses and whether or not they are appropriate at the subject location.

Surrounding Land Use

<u>Existing Zoning & Land Use</u>	<u>Future Land Use Map</u>
Subject Parcel: Two-Family Conservation (TFC-2), Bonita Beach Road Corridor Overlay-Commercial Zone, multi-family residences.	General Commercial
North: Two-Family Conservation (TFC-2), single-family and two-family homes.	Medium Density Residential
East: Wisconsin Street Right-of-Way, then Commercial Planned Development (CPD) within the Bonita Beach Road Corridor Overlay-Commercial Zone, commercial healthcare building.	General Commercial
South: Bonita Beach Road; then Agricultural (AG-2), Bonita Beach Road Corridor Overlay Commercial Zone- St. Mary’s Episcopal Church and Residential Planned Development (RPD)-Spanish Wells community.	General Commercial and Moderate Density-Mixed Use Planned Development

<p>West: Commercial Planned Development (CPD), business services commercial building and Two-Family Conservation (TFC-2), Bonita Beach Road Corridor Overlay- Commercial Zone, vacant.</p>	<p>General Commercial</p>
--	---------------------------

The surrounding area consists of residential single-family and two-family homes, vacant land, commercial businesses and places of worship to serve those residential properties. Other areas include the Spanish Wells Community (residential and golf course community), the Florida Cancer Specialists commercial building, and the St. Mary’s Episcopal and First Presbyterian Churches. The current proposal would be similar in nature to the residential units, although within a different type of structure. The surrounding uses can serve those future residents of the requested use. To the West, along Bonita Beach Road and U.S. 41, and to the East, along Old U.S. 41 and Bonita Beach Road, there are many restaurants and commercial locations for the residents to enjoy, should they choose to leave the campus.

Environmental Considerations

Site Summary

Historical aerials from the early 1950’s show that the project site was mostly cleared; it is currently occupied with multi-family residences. Nearly two acres of the north half of the property have grown back with native and invasive exotic vegetation. The soils are upland, dry soil types and no wetlands are present. Soil and current vegetation demonstrate that prior to the site being disturbed, it was likely an upland scrub habitat which has now transitioned into a canopy of Florida slash pine, invasive non-native earleaf acacia, and other non-native trees. A 0.42-acre upland area will be preserved and restored to retain indigenous vegetation on the site. All invasive exotic vegetation shall be removed from the preserve, and restoration of disturbed areas will be required.

Wildlife

A listed species survey was conducted, and no listed animal species were found or signs observed on the site.

Heritage Trees

Three heritage Florida slash pines were found on the site, all of which are either too close to the development area to retain or are in poor health. All three were approved for removal by the Tree Advisory Board and two of them will be replaced with 20’ native trees in the landscaping of the project with the species to be agreed upon by Staff and the Applicant at the time of local development order. One large pine in the indigenous preserve will remain to account for the third heritage pine to be removed. The preserve line has been adjusted in the northeast corner to retain the pine with adequate space for its protection during construction.

Perimeter Buffers

All required perimeter landscape buffers will be provided. Fifteen-foot Type D landscape buffers will be provided adjacent to the right of ways along Bonita Beach Road, and Wisconsin and Alabama Street. On the north side, the required indigenous preserve area will act as the buffer. During local development order review, Staff will assure the preserve vegetation meets the buffer requirements. Additionally, street trees will eventually be added along the Bonita Beach Road

right-of-way. A 5' Type A landscape buffer will be provided on the west side of the property adjacent to the existing commercial tract. General and parking area trees will also be required.

Archeological

The site is not located in an area of Archaeological Sensitivity.

Access and Traffic

As proposed, access to the site is provided via two points of ingress and egress from Wisconsin Street. The project also includes access interconnection easements to existing lands under separate ownership to the west and cross access easements for future interconnection(s) in the northwest area of the project. No access improvements are anticipated to be needed for this project.

The Applicant provided a detailed traffic impact statement (TIS) in accordance with the Traffic Impact Statement Guidelines. The City's transportation analyst and the Lee County Department of Transportation (LCDOT) reviewed a detailed TIS as a part of this request. The TIS showed that the proposed use will generate 37 two-way AM peak hour trips and 46 two-way PM peak hour trips. The segment of Bonita Beach Road from Arroyal Road to Wisconsin Street has a capacity of 1,860 vehicles per hour in the peak hour/peak direction. This segment is projected to be over capacity by 2025, with a volume to capacity ratio of 1.05 without the proposed RPD due to growth in background traffic. Therefore, there will be insufficient capacity on Bonita Beach Road between Arroyal Road and Wisconsin Street to accommodate the additional traffic. However, the project will only generate 16 additional trips in the peak direction during the PM peak hour. This is less than 1% of the peak hour/peak direction capacity for this facility. This would be considered *de minimis* except that Bonita Beach Road is a designated hurricane evacuation route per Policy 1.2.4(b)(6). The Applicant will be required to demonstrate concurrency at time of development order.

Floodplain Management

The project is located in the mapped special flood hazard area identified as Zone X, with no minimum FEMA elevation requirements. Elevation requirements will be determined by the water management district permit and drainage design.

Comprehensive Plan Considerations

Policy 1.1.14: General Commercial (Future Land Use Element) - Intended to accommodate a wide range of commercial uses serving the general population of the City. This designation recognizes, but is not specifically limited to, properties that have been developed, have received development approval or have been zoned for commercial use prior to the adoption of the Comprehensive Plan.

- a. *Appropriate uses include a wide range of commercial retail and service uses for residents and visitors; hotels/motels; offices; light industrial uses; schools; recreation; public and semi-public uses; multi-family uses up to 10 units per acre within the approximately 1,468 acres of gross land area in the land use category; and mixed residential and commercial use in planned developments.*
- b. *If affordable housing is provided, residential density may be increased by up to five additional dwelling units per acre.*

- c. *Maximum allowable height of structures shall be 75 feet from the base flood elevation to the eaves except that no new structures or modification of existing structures located on the islands west of the mainland may be constructed in excess of 35 feet of height.*
- d. *Nonresidential uses shall be limited to a maximum floor area ratio (FAR) of 1.2.*

The maximum standard density is 41.9 units for the subject site. Assisted living facilities, which do not have a full kitchen, have density equivalences of 1 dwelling unit equals four people. The request is for a maximum density of 132 people, or 33 dwelling units, 7.9 dwelling units per acre. The request is below the permitted maximum density of 10 dwellings units per acre. The proposed use provides retail and service uses for the residents of their facility. The request is **consistent** with **Policy 1.1.14** of the Future Land Use Element of the City of Bonita Springs.

Objective 1.11 (Future Land Use Element)- *Development orders and permits for new development or redevelopment shall be issued only if public facilities and services necessary to meet the City's adopted Level of Service (LOS) standards are available concurrent with the impacts of the development.*

Policy 1.11.1 (Future Land Use Element)- *Refers to the availability of public facilities and services necessary to support development concurrent with its impacts prior to the issuance of a development order or permit.*

The application was distributed to Bonita Springs Utilities, Lee County Department of Transportation, the Community Development Engineer and Transportation Engineer. These review disciplines had no objections to the request. Water, sewer, and solid waste capacity is available to the site. Storm water management, minor utility improvements, and other relevant issues are required to be addressed at time of local development order review.

The request as conditioned is **consistent** with **Policy 1.11.1** of the City of Bonita Springs Comprehensive Plan Future Land Use Element.

Future Land Use Element Policy 1.16.2: *Provide for the protection and enhancement of viewsheds along Bonita Beach Road through design features and elements that emphasize the gateway character of this corridor.*

The Applicant will be required to meet the architectural standards of the LDC and will be approved by the City Architect to meet the intent of the Bonita Beach Road Corridor. The request as conditioned is **consistent** with **Policy 1.16.2** of the City of Bonita Springs Comprehensive Plan Future Land Use Element.

Future Land Use Element Policy 1.16.4: *Promote use of aesthetically pleasing architectural standards, accessory structures, and additional hardscape and landscape features to create a strong sense of place along Bonita Beach Road.*

The Applicant has submitted Conceptual Architectural Renderings (**Exhibit "E"**) that include a vision for the project. The project includes inviting multi-modal provisions along Bonita Beach Road. All parking will be set back from Bonita Beach Road at least 5 feet behind the build-to line and shielded by an opaque screen. The request as conditioned is **consistent** with **Policy 1.16.4** of the City of Bonita Springs Comprehensive Plan Future Land Use Element.

Transportation Element Goal 2: *To implement a multi-modal transportation system along Bonita Beach Road using complete streets principles that ensures the safety of all users; equitable accommodation of all modes of transportation; the interconnection of the built and natural environment with transportation infrastructure; and facilitates a grid street network that mitigates congestion and links neighborhoods.*

The project proposes widening the Bonita Beach Road sidewalk abutting their property to 7' wide, in accordance with the Bonita Springs Bicycle and Pedestrian Master Plan. The request also incorporates an upgraded Lee County Bus Stop. The project also proposes to provide a 7' wide sidewalk along Wisconsin Street, providing a new pedestrian access for the residences north of the project.

The Applicant has submitted a Block Layout Plan (**Exhibit “D”**). The project will include access interconnection possibilities to properties to the west and northwest (commercial lots under separate ownership). The request as conditioned is **consistent** with **Transportation Element Goal 2** of the City of Bonita Springs Comprehensive Plan Future Land Use Element.

Objective 5.2 Development in the Coastal Management Area (Coastal Management Element)

Policy 5.2.4 *Development in the Coastal Management Area, except as otherwise restricted by 5-2 1 and the City's redevelopment project on Old U.S. 41, shall be infill only and shall not exceed the surrounding properties' density/intensity except as allowed by existing zoning at the time of the adoption of this Comprehensive Plan.*

The proposed development's intensity provides a slight increase in intensity in floor-to-area ratio. However, the request ultimately provides a less intense density compared to the permitted density to the North.

Policy 5.2.10 *Development in coastal areas shall consider site development techniques to reduce losses due to flooding and claims made under flood insurance policies issued in the state. These may include accommodate strategies, such as elevating structures, drainage improvements, or green infrastructure techniques that function to absorb or store water.*

The proposed development proposes to pipe existing drainage, build to the South Florida Water Management District standards and apply drainage techniques incorporated into the landscaping designs. These include rain gardens, open space and preserve. Review of drainage through an ICPR model will occur at time of local development order. The request as conditioned is **consistent** with **Policies 5.2.4 and 5.2.10** of the City of Bonita Springs Comprehensive Plan Conservation/Coastal Management Elements.

Planned Development Analysis, Formal Findings LDC 4-131 and LDC 4-299

Review criteria	Yes – Mostly - Partly – No- Not Applicable
Demonstrate compliance with the Bonita Plan, this Land Development Code, and any other applicable code or regulation; and	Yes – The request is consistent with the densities, intensities, and design principles of the Bonita Beach Road Corridor. Portions of

	<p>their plan exceed regulations that the City adopted as part of the Bonita Beach Road Corridor Overlay for the Commercial Zone regulations. The request is also consistent with the Bonita Plan.</p>
<p>The request meets or exceeds performance and location standards set forth for the proposed uses; and</p>	<p>Not-applicable. This is a carry-over provision from Lee County where performance and location standards are evaluated as a part of the Lee Plan.</p>
<p>Including the use of TDR or affordable housing bonuses are the densities or intensities (general uses) consistent with the Comprehensive Plan; and</p>	<p>Yes – The request includes a maximum density of 132 beds, an equivalency of 7.9 dwelling units per acre, which is below the maximum density permitted in the Bonita Plan.</p>
<p>The request is compatible with existing or planned uses in the surrounding area; and</p>	<p>Yes – The request and proposed Master Concept Plan follow and exceed some of the design principles set forth in the Bonita Beach Road Corridor Overlay Commercial Zone.</p>
<p>Approval of the request will not place an undue burden upon existing transportation or planned infrastructure facilities and will be served by streets with the capacity to carry traffic generated by the development; and</p>	<p>Mostly – This project is bound by roads owned and maintained by Lee County and the City of Bonita Springs. The existing capacity of Bonita Beach Road is not greatly impacted by this request. A detailed traffic analysis will be reviewed at time of local review development order in accordance with the City’s LDC. If improvements are required, they will be assessed at time of local development order.</p>
<p>Will the request adversely affect environmentally critical areas and natural resources; and</p>	<p>No – While areas of native vegetation are present on the site, none are considered environmentally sensitive lands. A 0.42 acre pine flatwood habitat will be preserved and restored on site.</p>
<p>Public facilities are, or will be, available and adequate to serve the proposed land use; and</p>	<p>Yes - Public facilities will be available and/or provided to the site at the Applicant’s expense.</p>
<p>The proposed use or mix of uses is appropriate at the subject location; and</p>	<p>Yes – The development incorporates a commercial use providing services to those residents within the building while providing a residential use incorporated in a mixed commercial and residential area. The project meets the intent of the Bonita Beach Road Overlay.</p>

<p>The recommended conditions to the concept plan and other applicable regulations provide sufficient safeguards to the public interest; and</p>	<p>Yes – Conditions for building form, access and interconnection, water management (water quantity, quality, and stabilization), transportation and multimodal, and other infrastructure requirements are included in the recommended conditions.</p>
<p>The recommended conditions are reasonably related to the impacts on the public's interest created by or expected from the proposed development; and</p>	<p>Yes</p>
<p>Deviations enhance the achievement of the objectives of the planned development and preserves and promotes the general intent of this chapter to protect the public health, safety and welfare</p>	<p>Yes</p>

ATTACHMENT B.i.

Applicant's Name: _____

Project Name: _____

STRAP Number(s): _____

Application Form: _____ **Computer Generated*** _____ **City Printed**

* By signing this application, the applicant affirms that the form has not been altered.

STAFF USE ONLY

Case Number: _____

Date of Application: _____

Fee: _____

Current Zoning: _____

Land Use Classification(s): _____

Comp. Plan Density: _____

Date of Zoning
Public Hearing: _____

Date of City Council
Public Hearing: _____

Planner Assigned: _____

Staff Recommendation: _____

TYPE OF APPLICATION

_____ DRI _____ PD – Existing Development _____ PD – Amendment

_____ Option 1 _____ Option 2

**PART I
APPLICANT\PROPERTY OWNERSHIP INFORMATION**

A. Name(s) of applicant(s): _____

Mailing Address: Street: _____

City: _____ State: _____ Zip: _____

Phone Number: Area Code: _____ Number: _____ Ext: _____

E-mail: _____

B. Relationship of applicant to property:

_____ Owner _____ Trustee _____ Option holder _____ Lessee _____ Contract Purchaser

_____ Other (indicate): _____

*If applicant is NOT the owner or the person authorized by the Covenant of Unified Control, submit a **Notarized Authorization Form** from the owner or his authorized representative. Label as Exhibit I-B.*

** If the application is City-initiated, enter the date the action was initiated by the Council: _____ Attach a copy of the "green sheet" and a list of all property owners, and their mailing addresses, for all properties within the area described. Names and addresses must be those appearing on the latest tax rolls of Lee County. Label the "green sheet" as "Exhibit I-B-2" and the list as "Exhibit I-B-3". [Sec. 4-193]*

C. Name of owner(s) of property: _____

Mailing Address: Street: _____

City: _____ State: _____ Zip: _____

Phone Number: Area Code: _____ Number: _____ Ext: _____

Fax Number: Area Code: _____ Number: _____

D. Date property was acquired by present owner(s): _____

E. Is the property subject to a sales contract or sales option? _____ NO _____ YES

F. Is owner(s) or contract purchaser(s) required to file a disclosure form? _____ NO _____ YES. If yes, please complete and submit Exhibit I-F (attached).

G. Are there any existing deed restrictions or other covenants on this property which may affect this request?
_____ NO _____ YES. If yes, submit a copy of the deed restrictions or other covenants and a statement explaining how the restrictions may affect the requested action. Label as "Exhibit I-G".

H. Authorized Agent(s): List names of authorized agents (submit additional sheets if necessary).

Name: _____

Address: _____

Contact Person: _____

Phone: _____ E-mail: _____

**PART II
GENERAL INFORMATION**

A. Request:

1. Rezoning from _____ TO:(check all applicable)

- | | |
|--------------------------|-----------------------------------|
| _____ RPD - Residential | _____ MPD - Mixed Use |
| _____ MHPD - Mobile Home | _____ RVPD - Recreational Vehicle |
| _____ CPD - Commercial | _____ CFPD - Community Facilities |
| _____ IPD - Industrial | _____ AOPD - Airport Operations |

2. Option Chosen: _____ Option 1 _____ Option 2

3. Other - Provide specific details. _____

B. Legal Description and Boundary Sketch: Is property within a platted subdivision recorded in the official Plat Books of Lee County?

_____ NO. Attach a legible copy of the legal description (label it Exhibit II-B-1.) and Certified sketch of description as set out in chapter 5J-17.053. (labeled Exhibit II-B-2.). **If the legal description is available on computer disc (Word or Word Perfect) please provide a copy at time of application.**

_____ YES. Property is identified as:

Subdivision Name: _____

Plat Book: _____ Page: _____ Unit: _____ Block: _____ Lot: _____

Section: _____ Township: _____ Range: _____

Attach a copy of the Plat Book page with subject property clearly marked. Label this Exhibit II-B-3.

C. Project Street Address: _____

D. General Location Of Property (referenced to major streets): _____

E. City of Bonita Springs Plan Information

1. City of Bonita Springs Land Use Classification: _____

2. Are you proposing any City of Bonita Springs amendments which could affect the subject property?

_____ NO _____ YES If yes, submit a copy of the proposed amendment (labeled as "Exhibit II-E-1") along with a statement as to how the proposed amendment will affect your property (labeled as "Exhibit II-E-2").

F. Drainage, Water Control and Other Environmental Issues

1. Is the property within an Area of Special Flood Hazard as indicated in the Flood Insurance Rate Maps (FIRM)s?

_____ NO _____ YES. If yes, specify the minimum elevation required for the first habitable floor).
_____ NGVD (MSL)

2. Are there any environmentally sensitive lands such as, but not limited to: wetlands, mangrove forests, creek & river shorelines, sand dunes, xeric scrub, mature pine forests, or other unique land forms as defined in the Bonita Plan Goal 15 and its Objectives and Policies, Objective 4.1, Policies 7.1.1 d. 2, 7.2.3, Goal 14 and Policies 14.1.1 through 14.3.5 and applicable sections of the Land Development Code (LDC). Are there any listed species occupied habitat as defined in the Bonita Plan or LDC on the subject property, Bonita Plan Policy 7.1.1 d. 2, 7.4.1 through 7.10.3, Objective 7.12 and Policies 7. 12.1 through 7.12.3, and applicable sections of the LDC?

_____ NO _____ YES If yes, delineate these areas on a map or aerial photo and label it Exhibit II-F-1. Also, complete Exhibit II-F-2 attached hereto.

- G. Present Use of Property: Is the property vacant? _____ NO _____ YES

If the property is not vacant, the owner or applicant's signature on this application indicates that the Owner agrees to either remove all existing buildings and structures, OR that the proposed use of the building or structure(s) will be in compliance with all applicable requirements of the Land Development Regulations. **[Sec. 4-194(b)(3)]**

Briefly describe current use of the property: _____

H. Property Dimensions

1. Width (average if irregular parcel): _____ Feet
2. Depth (average if irregular parcel): _____ Feet
3. Frontage on road or street: _____ Feet on _____
 (Name of street)
4. Total land area: _____ Acres or Square Feet

I. Land Area Calculations

1. Undevelopable Areas:
 - a. Freshwater wetland areas _____
 - b. Other wetland areas _____
 - c. Submerged land subject to tidal influence: _____
 - d. Total (a + b + c): _____
2. Remaining developable land (H.4 less I.1.d): _____

**PART III
PROPOSED DEVELOPMENT**

A. Nature of Request

1. Will the development contain living units? _____NO _____YES. If the answer is yes, please indicate the total number of living units proposed, by type:

_____ Single Family _____ Mobile Homes _____ Recreational Vehicles

_____ Zero-Lot-Line _____ Duplex/Two Family _____ Townhouses

_____ Multiple Family _____ TOTAL ALL TYPES

2. If the development will contain living units, please complete Exhibit III-A-2 (attached) and enter the following information:

a. PERMITTED total units (from Exhibit III-A-2): _____

b. PROPOSED total units (from A-1. above): _____

c. PROPOSED density (from Exhibit III-A-2): _____

3. Will the development contain non-residential areas? _____NO _____YES. If the answer is yes, please indicate the size [gross square footage (gsf) unless indicated otherwise] of each general class of uses below:

Retail: _____ Total gsf

Offices: _____ Total gsf

Medical: _____ gsf Non-medical: _____ gsf

Hotel/Motel: _____ Total units

Size of units: _____ 0-425 sq. Ft. _____ 426-725 sq. Ft. _____ 726 or more sq. Ft.

Industrial: _____ Total gsf

Under roof: _____ gsf Not under roof: _____ gsf

Mines, Quarries, or General Excavation: Acres to be excavated: _____

Other-specify: _____

Number of Beds (if applicable): _____ OR: _____ gsf

4. Building Height

_____ Maximum height of buildings (in feet above grade)

_____ Number of Habitable Floors

5. Aviation Hazard: Do you propose any structures, lighting, or other features that might affect safe flight conditions?

_____ NO _____ YES. If yes, please submit an explanation and label it Exhibit III-A-5.

B. Facilities

1. Fire District: _____

2. Water Supply

a. Estimated daily consumption of potable water:

1. Residential units: _____ gpd

2. Mobile Home units: _____ gpd

3. Rec. Vehicle units: _____ gpd

4. Commercial: _____ gpd

5. Industrial: _____ gpd

b. Source of potable water: _____

c. Do you have a written agreement from the utility company to serve your project?
_____ NO _____ YES. If yes, please submit a copy of the agreement.

d. Source of Non-potable water: _____

3. Sanitary Sewer Service

a. Estimated daily production of wastewater:

1. Residential units: _____ gpd

2. Mobile Home units: _____ gpd

3. Recreational Vehicles: _____ gpd

4. Commercial: _____ gpd

5. Industrial: _____ gpd

b. Is any special effluent anticipated? _____ NO _____ YES. If yes, please complete Exhibit III-B-3 (attached).

c. Source of sanitary sewer service: _____

d. Do you have a written agreement from the utility company to serve your project?
_____ NO _____ YES. If yes, please submit a copy of the agreement.

e. Will a private on-site disposal facility be used? _____ NO _____ YES. If yes, please complete Exhibit III-B-3 (attached).

f. Are individual sewage disposal systems proposed? _____ NO _____ YES.

C. Transportation

1. Has this project been exempted from filing a Traffic Impact Statement?

_____ NO _____ YES _____ NOT REQUIRED (Exist. development). If it has been exempted, attach a copy of the exemption and label it Exhibit III-C.

PART V

AFFIDAVIT

I, Pearl Sheffield certify that I am the owner or authorized representative of the property described herein, and that all answers to the questions in this application and any sketches, data or other supplementary matter attached to and made a part of this application, are honest and true to the best of my knowledge and belief. I also authorize the staff of the City of Bonita Springs Community Development to enter upon the property during normal working hours for the purpose of investigating and evaluating the request made thru this application.

Pearl V. Sheffield
Signature of Owner or Owner-authorized Agent

2/3/21
Date

Pearl V. Sheffield, Trustee
Typed or printed name and title

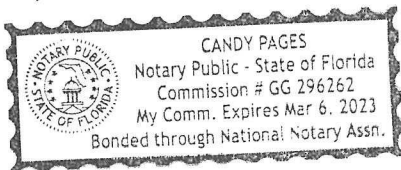
STATE OF FLORIDA)
COUNTY OF LEE)

The foregoing instrument was certified and subscribed before me this 3 day of Feb 2021, by Pearl Sheffield, who is personally known to me or who has produced PKN as identification.

Candy Pages
Signature of notary public

Candy Pages
Printed name of notary public

(SEAL)



PART V

AFFIDAVIT

I, Greg Markvluer certify that I am the owner or authorized representative of the property described herein, and that all answers to the questions in this application and any sketches, data or other supplementary matter attached to and made a part of this application, are honest and true to the best of my knowledge and belief. I also authorize the staff of the City of Bonita Springs Community Development to enter upon the property during normal working hours for the purpose of investigating and evaluating the request made thru this application.

[Signature]
Signature of Owner or Owner-authorized Agent

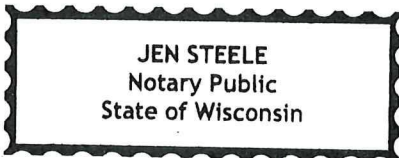
2-16-21 Date ^{subject to 24 hour notice} JM

Greg Markvluer, VP of Real Estate Development
Typed or printed name and title

STATE OF FLORIDA) Wisconsin
COUNTY OF LEE) Dane

The foregoing instrument was certified and subscribed before me this 16 day of February 2021, by Greg Markvluer, who is personally known to me or who has produced Employee ID as identification.

(SEAL)



Expires 9/13/24

[Signature]
Signature of notary public

Jen Steele
Printed name of notary public

**EXHIBIT I-F
DISCLOSURE OF INTEREST FORM FOR:**

STRAP NO. 34-47-25-B3-00254.0040 **CASE NO.** _____

1. If the property is owned in fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest.

Name and Address	Percentage of Ownership
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

2. If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each.

Name, Address, and Office	Percentage of Stock
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

3. If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with percentage of interest.

Name and Address	Percentage of Interest
Dougherty Pauline TR for Pauline Dougherty Trust	100
9726 Bonita Beach RD SE	_____
Bonita Springs FL 34135	_____
_____	_____
_____	_____
_____	_____
_____	_____

4. If the property is in the name of a GENERAL PARTNERSHIP OR LIMITED PARTNERSHIP, list the names of the general and limited partners.

Name and Address	Percentage of Ownership
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

5. If there is a CONTRACT FOR PURCHASE, whether contingent on this application or not, and whether a Corporation, Trustee, or Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners.

Name, Address, & Office (if applicable)	Percentage of Stock
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of Contract: _____

6. If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust.

Name and Address

For any changes of ownership or changes in contracts for purchase subsequent to the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest shall be filed.

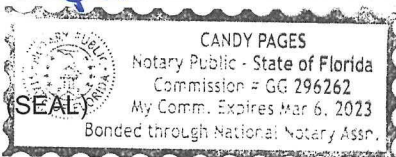
The above is a full disclosure of all parties of interest in this application, to the best of my knowledge and belief.

Signature: Pearl V. Sheffield
(Applicant)

Pearl V. Sheffield
(Printed or typed name of applicant)

STATE OF FLORIDA
COUNTY OF LEE

The foregoing instrument acknowledged before me this 18 day of February, 2021, by Pearl Sheffield, who is personally known to me or who has produced PKN as identification.



Candy Pages
Signature of Notary Public

Candy Pages
Printed Name of Notary Public

**EXHIBIT II-F-2
ENVIRONMENTAL ISSUES**

A. Topography: Describe the range of surface elevations of the property:

B. Sensitive Lands: Identify any environmentally sensitive lands, including, but not limited to, wetlands (as defined in the Comprehensive Plan), flow ways, creek beds, sand dunes, other unique land forms [see the Comprehensive Plan for listed species occupied habitat (see Sec. 4-1337 et seq. of the Land Development Code)].

C. Preservation/Conservation of Natural Features: Describe how the lands listed in B. above will be protected by the completed project:

D. Shoreline Stabilization: If the project is located adjacent to navigable natural waters, describe the method of shoreline stabilization, if any, being proposed:

**EXHIBIT III-A-2
PRELIMINARY DENSITY CALCULATIONS***

A. Gross Residential Acres

- 1. Total land area: _____ acres
- 2. Area to be used for non-residential uses: (Line A.2.a. plus A.2.b.): _____ acres
 - a. R-O-W providing access to non-residential uses: _____ acres
 - b. Non-residential use areas: _____ acres
- 3. Gross residential acres (Line A.1 less A.2): _____ acres
 - a. Uplands areas _____ acres
 - b. Freshwater Wetlands areas _____ acres
 - c. Other Wetland areas _____ acres

B. Comprehensive Plan Land Use Classification: _____ (If more than one classification, calculations for each classification must be submitted)

Density Standards (from the Comprehensive Plan)

- 1. Maximum density for Land Use Classification: _____ units/gross res. acre
- 2. Maximum total density for Land Use Classification: _____ units/gross res. acre

MAXIMUM PERMITTED DWELLING UNITS

(Density Equivalence)
1 unit = 4 Assisted Living Units

C. High Density Residential, High Density Mixed Use/Village, "Old 41" Town Center Mixed Use Redevelopment Overlay Area.

- 1. Standard density uplands units (A.3.a. times B.1) _____ units
- 2. Standard density wetlands units (A.3.b. & A.3.c. times B.1) _____ units
- 3. Total standard density units (sum of C.1 & C.2) _____ units
- 4. Max. Total density units [A.3.a. times ((B.1 plus 1/2 of (B.2 less B.1)))] _____ units
- 5. **Sub-total permitted std. density units** (line C.3 or C.4 - whichever is less): _____ **Units Sub-total**
- 6. BONUS UNITS (REQUESTED)
 - a. Low-moderate housing density: _____ units
 - b. TDR units: _____ units
 - c. **Sub-total (C.6.a plus C.6.b)** _____ units
- 7. **Total Permitted Units (C.5. plus C.6.c):** _____ **Units Total**

NOTE: may not exceed (A.3.a. times B.2) plus (A.3.b. and A.3.c. times .05).

* Subject to staff review and correction.

D. Moderate Density Mixed Use/Planned Development, Medium Density Multi-Family Residential, Medium Density Residential, Moderate Density Residential

- 1. Standard density uplands units (A.3.a. times B.1) _____ units
- 2. Standard density freshwater wetlands units (A.3.b. times B.1) _____ units
- 3. Total standard density units (sum of D.1 & D.2) _____ units
- 4. Maximum upland density (A.3.a. times 8) _____ units
- 5. **Total permitted units** (line D.3 or D.4 - whichever is less): _____ **Units**

E. Suburban Density Residential, Low Density Residential, Estate Residential

- 1. Standard density uplands units (A.3.a. times B.1) _____ units
- 2. Standard density freshwater wetlands units (A.3.b times B.1) _____ units
- 3. Total standard density (sum of E.1 & E.2) _____ units
- 4. Maximum upland density (A.3.a. times 4) _____ units
- 5. **Total permitted units** (line E.3 or E.4 - whichever is less): _____ **Units Total**

F. Conservation, Resource Protection, DRGR

- 1. Total acres of "Open Land" _____ acres
- 2. Maximum density (F.1 times 0.2*) _____ units
- 3. Total permitted units: _____ units

**EXHIBIT III-B-3
SANITARY SEWER FACILITIES**

A. **Special Effluent:** If special effluent is anticipated, please specify what it is and what strategies will be used to deal with its' special characteristics:

B. **Private On-site Facilities:** If a private on-site wastewater treatment and disposal facility is proposed, please provide a detailed description of the system including:

1. Method and degree of treatment:

2. Quality of the effluent:

3. Expected life of the facility:

4. Who will operate and maintain the internal collection and treatment facilities:

5. Receiving bodies or other means of effluent disposal:

C. **Spray Irrigation:** If spray irrigation will be used, specify:

1. The location and approximate area of the spray fields:

2. Current water table conditions:

3. Proposed rate of application:

4. Back-up system capacity:

**EXHIBIT I-B-4
COVENANT OF UNIFIED CONTROL**

The undersigned do hereby swear or affirm that they are the fee simple title holders and owners of record of property commonly known as 9726 Bonita Beach RD SE Bonita Springs FL 34135 and legally described in exhibit A attached hereto. (street address)

The property described herein is the subject of an application for planned development zoning. We hereby designate Thomas D. Barber as the legal representative of the property and as such, this individual is authorized to legally bind all owners of the property in the course of seeking the necessary approvals to develop. This authority includes but is not limited to the hiring and authorization of agents to assist in the preparation of applications, plans, surveys, and studies necessary to obtain zoning and development approval on the site. This representative will remain the only entity to authorize development activity on the property until such time as a new or amended covenant of unified control is delivered to the City of Bonita Springs.

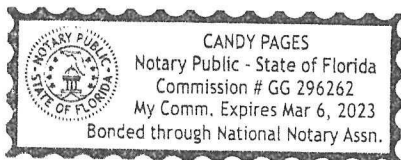
The undersigned recognize the following and will be guided accordingly in the pursuit of development of the project:

1. The property will be developed and used in conformity with the approved master concept plan including all conditions placed on the development and all commitments agreed to by the applicant in connection with the planned development rezoning.
2. The legal representative identified herein is responsible for compliance with all terms, conditions, safeguards, and stipulations made at the time of approval of the master concept plan, even if the property is subsequently sold in whole or in part, unless and until a new or amended covenant of unified control is delivered to and recorded by the City of Bonita Springs.
3. A departure from the provisions of the approved plans or a failure to comply with any requirements, conditions, or safeguards provided for in the planned development process will constitute a violation of the Land Development Code.
4. All terms and conditions of the planned development approval will be incorporated into covenants and restrictions which run with the land so as to provide notice to subsequent owners that all development activity within the planned development must be consistent with those terms and conditions.
5. So long as this covenant is in force, City of Bonita Springs can, upon the discovery of noncompliance with the terms, safeguards, and conditions of the planned development, seek equitable relief as necessary to compel compliance. The City of Bonita Springs will not issue permits, certificates, or licenses to occupy or use any part of the planned development and the City may stop ongoing construction activity until the project is brought into compliance with all terms, conditions and safeguards of the planned development.

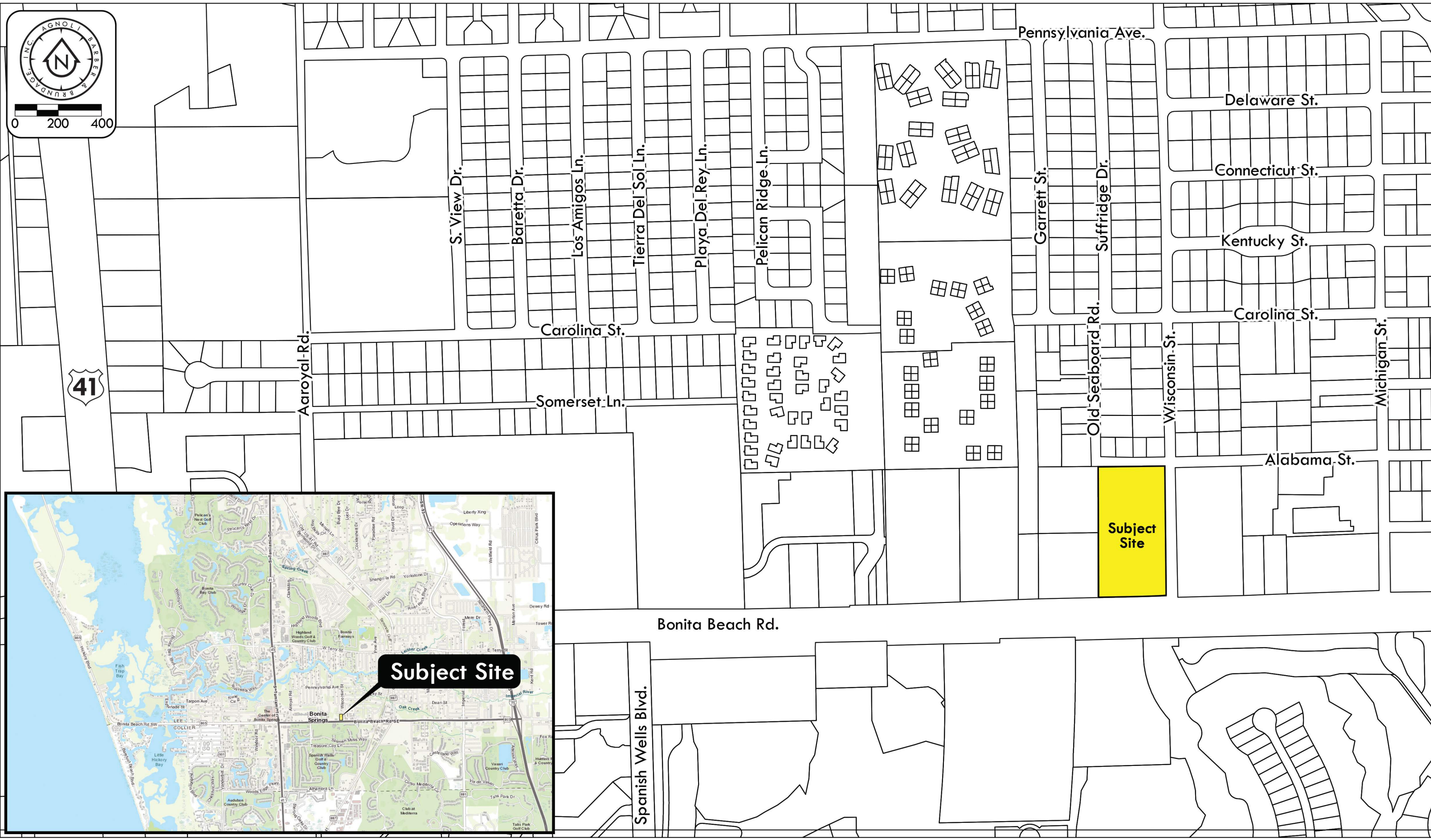
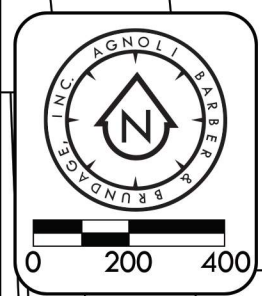
Pearl V. Sheffield
Owner
Pearl V. Sheffield
Printed Name

STATE OF FLORIDA
COUNTY OF LEE

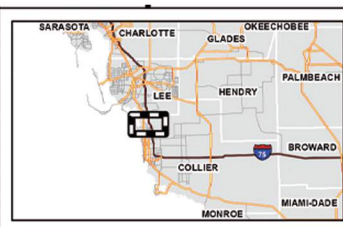
Sworn to (or affirmed) and subscribed before me this 18 day of February, 2021, by Pearl Sheffield, who is personally known to me or who has produced PKN as identification.



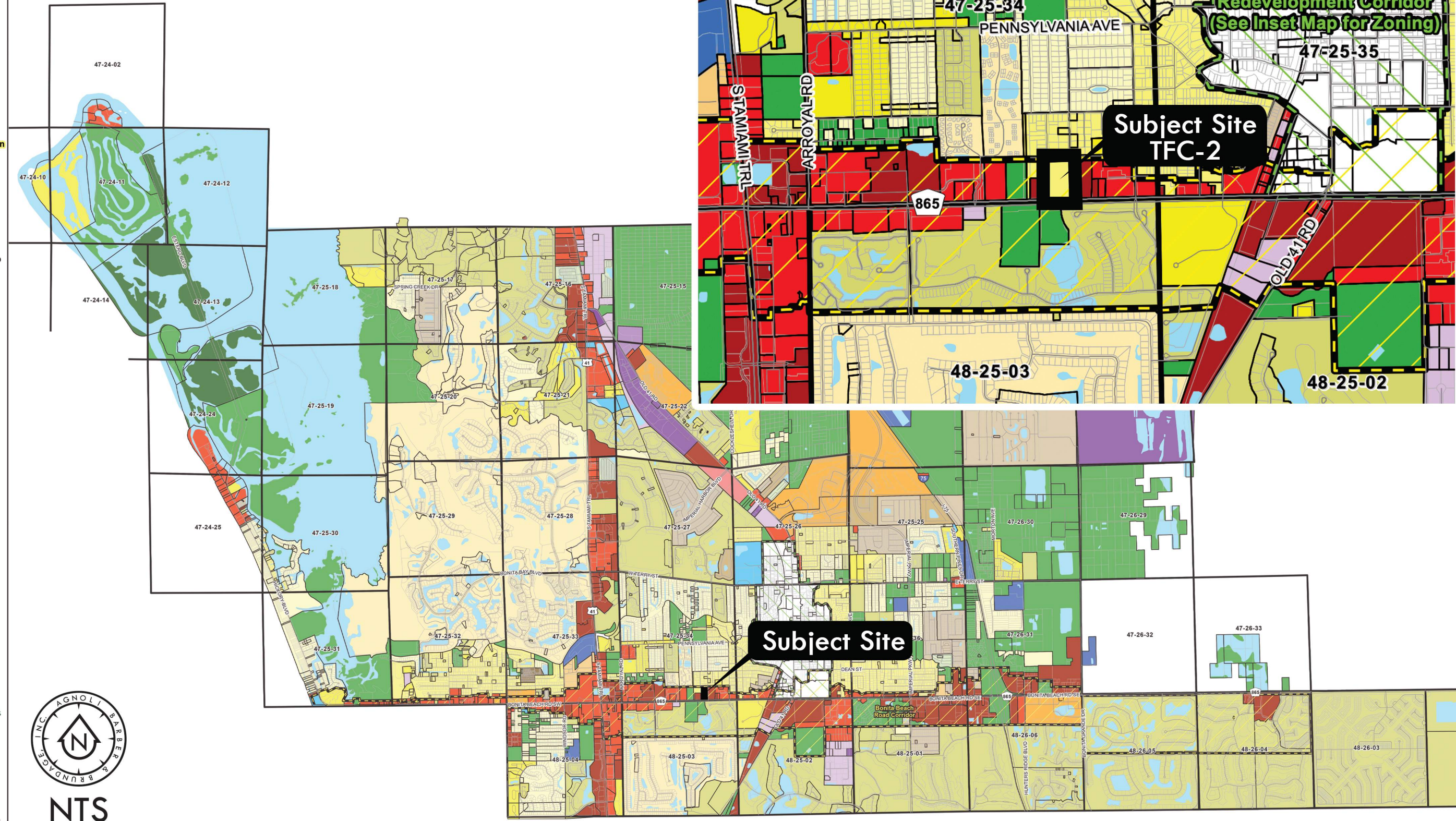
Candy Pages
Notary Public
Candy Pages
(Name typed, printed or stamped)
(Serial Number, if any)



ATTACHMENT B.iii.



- LEGEND**
- Overlay District**
- Bonita Beach Road Corridor
 - Old US 41 Redevelopment Corridor
- Zoning District**
- RSA: Residential Single-Family
 - RS-1: Residential Single-Family
 - RS-2: Residential Single-Family
 - RS-3: Residential Single-Family
 - RS-4: Residential Single-Family
 - TFC-2: Res. Two-Family Conservation**
 - TF-1: Residential Two-Family
 - RM-2: Residential Multiple-Family
 - RM-6: Residential Multiple-Family
 - RPD: Residential PD
 - MH-1: Mobile Home Residential
 - MH-2: Mobile Home Residential
 - MHPD: Mobile Home PD
 - MHPD-RVPD: Mobile Home/Rec. Veh. PD
 - PUD: Planned Unit Development
 - RPD/CPD: Residential/Commercial PD
 - MPD: Mixed Use PD
 - C-1A: Commercial
 - C-1: Commercial
 - C-2: Commercial
 - CN-1: Neighborhood Commercial
 - CN-2: Neighborhood Commercial
 - CC: Community Commercial
 - CG: General Commercial
 - CS-1: Special Commercial Office
 - CS-2: Special Commercial Office
 - CT: Tourist Commercial
 - CM: Marine Commercial
 - CPD: Commercial PD
 - CPD/IPD: Commercial/Industrial PD
 - IL: Light Industrial
 - IG: General Industrial
 - IPD: Industrial PD
 - IPD/CPD: Industrial/Commercial PD
 - CF-2: Community Facilities
 - CF-3: Community Facilities
 - CFPD: Community Facilities PD
 - RV-1: Recreational Vehicle
 - RV-3: Recreational Vehicle
 - RVPD: Recreational Vehicle PD
 - AG-2: Agricultural
 - AG-3: Agricultural
 - EC: Environmentally Critical



Zoning Districts
City of Bonita Springs
 Bonita Springs, FL
 Community Development Department

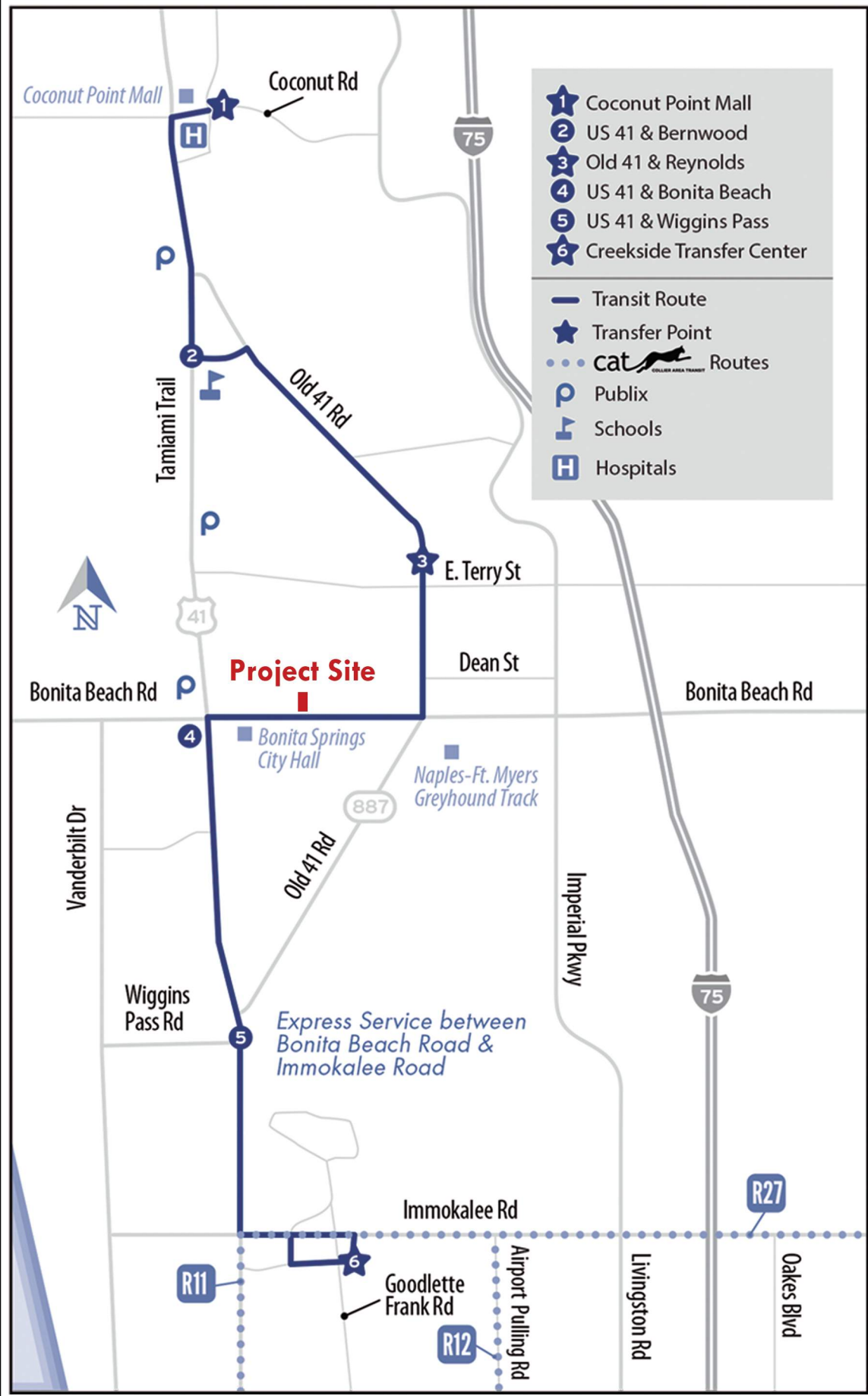
Map published on 9/24/2013 at 10:01:23 AM.

This map is for informational purposes only and is not to be interpreted as a legal document. The City assumes no legal responsibility for the information shown on this map.
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Erdman Assisted Living Facility Zoning Map

Exhibit II-F-3
 Source: City of Bonita Springs
 Created: 11/20/20



The LinC ROUTE 600

MONDAY - SATURDAY SERVICE

SOUTHBOUND						NORTHBOUND					
1	2	3	4	5	6	6	5	4	3	2	1
Coconut Point Mall	US 41 & Bernwood	Old 41 & Reynolds	US 41 & Bonita Beach	US 41 & Wiggins Pass	Creekside Transfer Ctr	Creekside Transfer Ctr	US 41 & Wiggins Pass	US 41 & Bonita Beach	Old 41 & Reynolds	US 41 & Bernwood	Coconut Point Mall
*6:00	6:09	6:15	6:22	6:23	6:39	6:44	6:52	6:58	7:07	7:16	7:22
7:30	7:42	7:48	7:56	7:57	8:13	8:23	8:30	8:34	8:42	8:51	8:57
9:00	9:12	9:18	9:26	9:27	9:43	9:53	10:00	10:04	10:12	10:21	10:27
10:30	10:43	10:50	10:59	11:01	11:18	11:28	11:35	11:39	11:47	11:56	12:02
12:15	12:28	12:35	12:44	12:46	1:03	1:10	1:17	1:21	1:29	1:38	1:44
1:55	2:08	2:15	2:24	2:26	2:43	2:50	2:57	3:01	3:09	3:18	3:24
3:45	3:57	4:03	4:11	4:12	4:28	4:35	4:42	4:46	4:54	5:03	5:09
5:30	5:43	5:50	5:59	6:01	6:19	6:21	6:28	6:32	6:40	6:49	6:55

SUNDAY SERVICE

SOUTHBOUND						NORTHBOUND					
1	2	3	4	5	6	6	5	4	3	2	1
Coconut Point Mall	US 41 & Bernwood	Old 41 & Reynolds	US 41 & Bonita Beach	US 41 & Wiggins Pass	Creekside Transfer Ctr	Creekside Transfer Ctr	US 41 & Wiggins Pass	US 41 & Bonita Beach	Old 41 & Reynolds	US 41 & Bernwood	Coconut Point Mall
7:30	7:42	7:48	7:56	7:57	8:13	8:23	8:30	8:34	8:42	8:51	8:57
9:00	9:12	9:18	9:26	9:27	9:43	9:53	10:00	10:04	10:12	10:21	10:27
10:30	10:43	10:50	10:59	11:01	11:18	11:28	11:35	11:39	11:47	11:56	12:02
12:15	12:28	12:35	12:44	12:46	1:03	1:10	1:17	1:21	1:29	1:38	1:44
1:55	2:08	2:15	2:24	2:26	2:43	2:50	2:57	3:01	3:09	3:18	3:24
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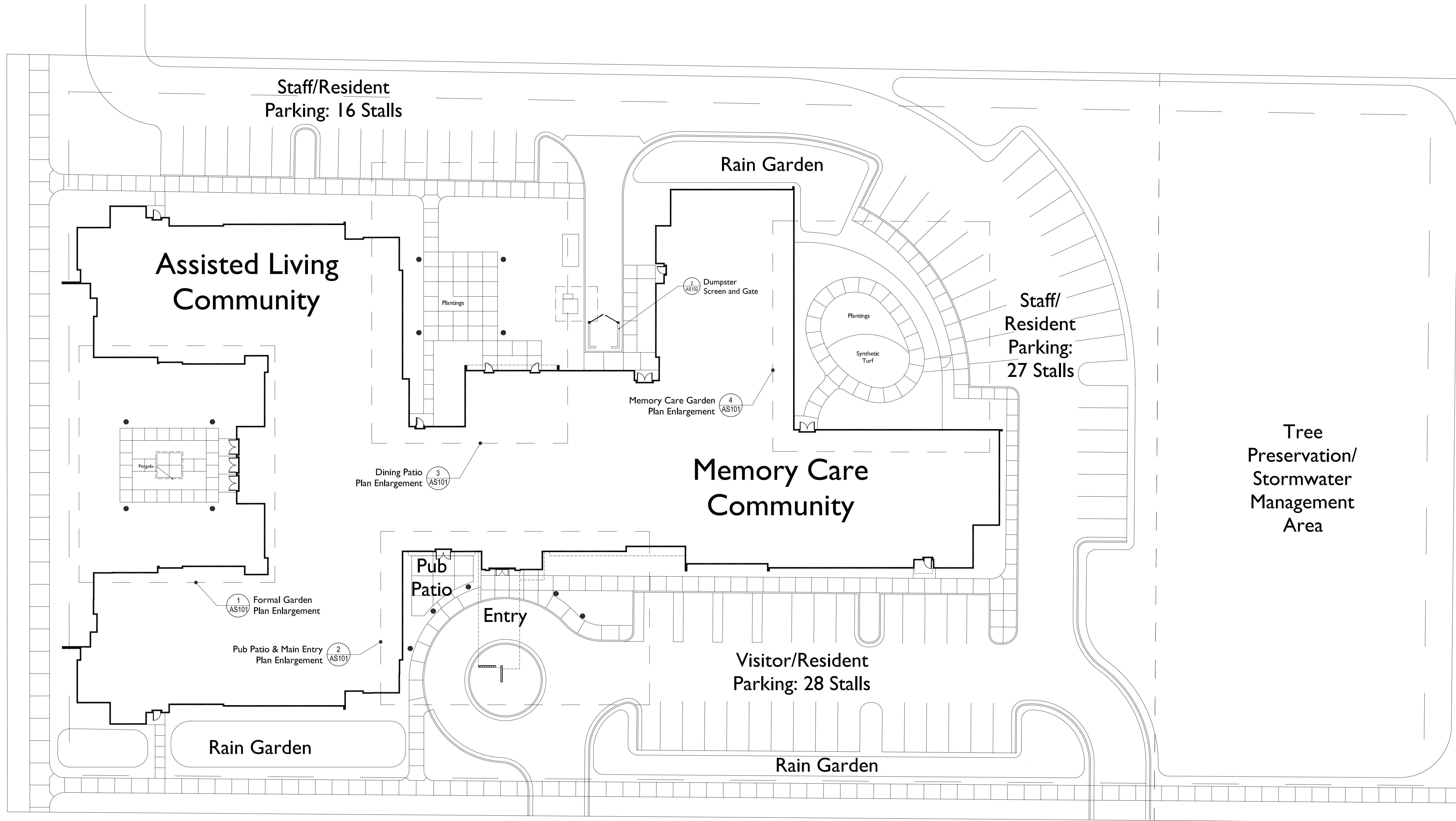


ATTACHMENT B.v.

Bonita Beach Road SE

Alabama Street

Wisconsin Street



No.	Description	Date
5	Adjust Parking	07/07/2021
4	Coordination	06/15/2021
3	City Review	05/14/2021
2	Coordination	04/29/2021
1	Schematic Design Final	02/26/2021

Document Release

**NOT FOR
 CONSTRUCTION**

Sheet Name
**ARCHITECTURAL
 SITE LAYOUT PLAN**

Dmr:ralayton Chck:kueschow

Sheet Number
AS100

JOB # 668120

© 2020 ERDMAN COMPANY

ATTACHMENT B.vi.

Narrative

This proposed development will provide services that are much needed in the area. Southwest Florida is an ever-aging community, whose residents are in need of assistance and looking for safe, comfortable options to enjoy their later years. A majority of Southwest Florida's elderly residents start by living in gated communities. As these individuals get older and require more assistance, it is the natural progression for them to transition into an assisted living facility. The assisted living facility service has evolved into a necessary resource in the local community. This region especially has many elder residents who have moved from the North seeking warmth and a peaceful retirement and do not have families locally to help care for them. Having appropriate places for our seniors to be taken care of is important for the smart growth of our community. The Erdman Facility is designed to maintain that same sense of community, safety, and social connection for its residents. The development will offer 108 total rooms; 90 of which will be assisted living and 18 will be dedicated to memory care. A portion of the assisted living units will be double units which are shared units generally reserved for domestic partners. The break down for number of beds is as follows: 84 single bedroom and 24 double bedrooms for a total of 132 potential occupants.



An Assisted Living Facility (ALF) is a building or section of building used as a home for the aged or similar place. It provides housing, food services, supervision etc. It is not designed for independent living. All residents within the facility will need at least some level of care depending on their condition. It will provide services including preparation of meals for residents, medication management, shower and dressing assistance, laundry services, and similar aid. The facility staff will include dedicated drivers for residents, nutritionists, dieticians, 24-hour nursing and wheel-chair assistance. Further transportation assistance will be provided by a minivan or car driven by staff as well. Regulations for development of this RPD shall be in accordance with the contents of this document and all applicable sections of the Bonita Comprehensive Plan, the Land Development Code (LDC), and the Administrative Code in the effect at the time of approval of the first Development Order (DO). Where the RPD ordinance does not Provide development standards, then the provision of the specific sections of the LDC that are otherwise applicable shall apply.

ATTACHMENT B.vi.

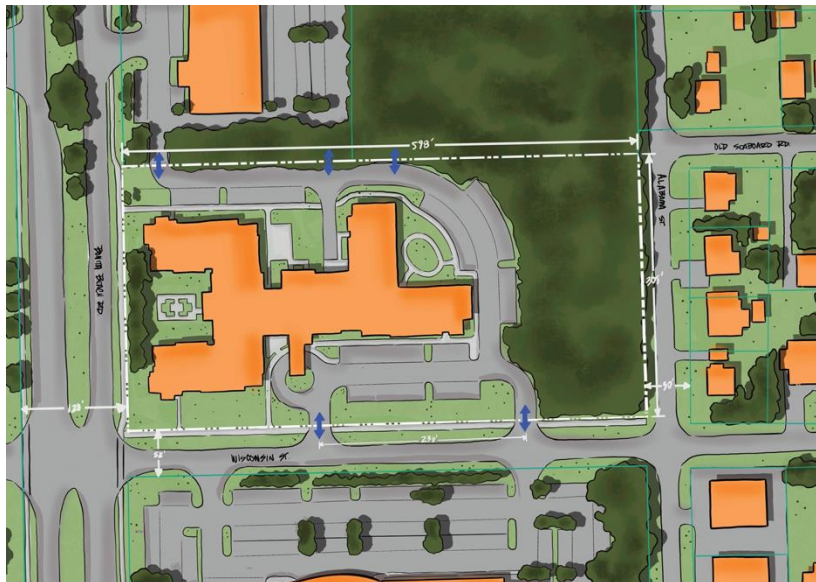
Advances in modern medicine will continue to extend our quality of life, ailments that were life threatening just years ago can now be managed inside a facility that in essence is a hybrid of a



residential home and a medical facility. The images shown throughout the document display the design aesthetic and general look of similar projects designed around the country. Some of the images displayed are not project specific but are intended to be used as a reference to highlight the character and attention to detail that is incorporated in every project.

This specific elderly care facility will provide a small-scale campus type feel. The experience of the amenity areas and common spaces will continue the comfortable residential feel of the individual living units.

A natural aesthetic will be incorporated into the character of the site, the architectural and landscape design will be Bonita Springs specific and compliment the natural site features, the land



development code as well as the Bonita Beach Road overlay. The density of the land use and unit density of the project will be concentrated to the south along Bonita Beach Road consistent with the Bonita Beach Road overlay as well as the Future Land Use map. This will keep the intensity of the project away from the residential properties

to the north. The future zoning allows for 4 units per acre and the code dictates that one residential unit is equivalent to 4 assisted living units.

ATTACHMENT B.vi.

The primary building on site will be a 95,000-sf facility complete with interconnected pathways and open space park and garden areas. A 0.42-acre preserve will be located to the north of the property. Storm water retention and drainage will be utilized throughout the site. Public multimodal pathways are designed to be 7 ft in width along Bonita Beach Road and Wisconsin Street. The bus stop along Bonita Beach Road will be renovated and designed to meet City of Bonita LDC requirements found in sec. 3-440.

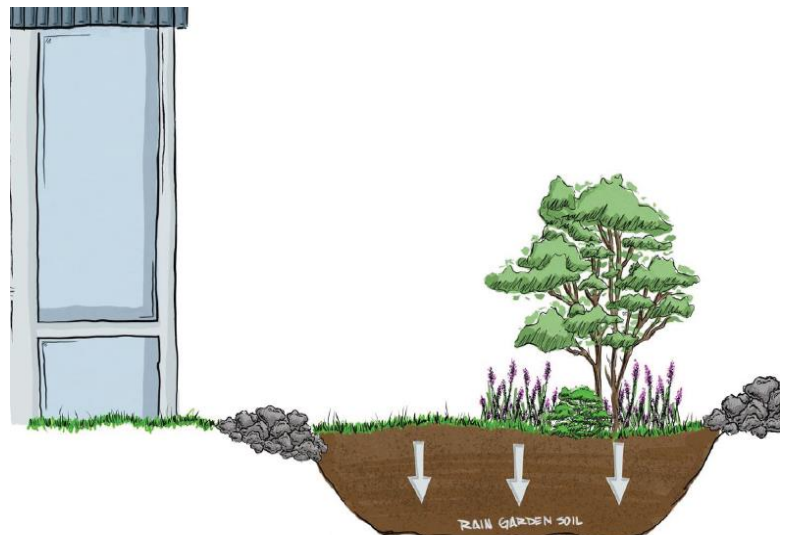


This project has been designed in a way to accommodate the surrounding properties and ensure compatibility within the local community. Located on a 4.19-acre parcel within the Bonita Beach road overlay the site design focuses the intensity of the project close to the right of way, the middle and northern portions of the site have lower building heights and expansive landscape buffering as well as a preserve abutting Alabama street to the North.

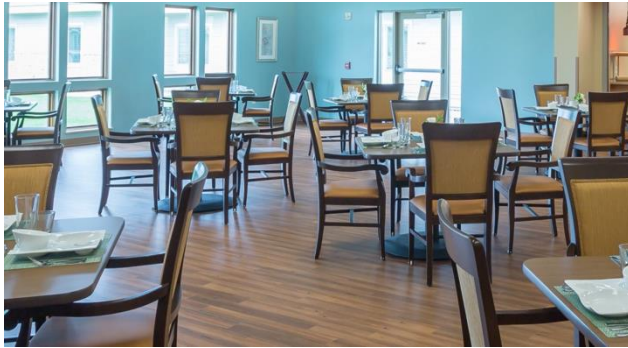


"Good design is obvious. Great design is transparent." - Joe Sparano

18 rooms will be designated to memory care units as shown on the Master Concept Plan. This will be a collection of single occupant studio units without a kitchenette. These units will also have access to central dining and activity spaces, assisted bathing facilities, controlled outside space and dedicated housekeeping facilities. The memory care portion of the building will also have controlled access in and out.



ATTACHMENT B.vi.



Each room will be limited to a kitchenette including a fridge, microwave, and sink. The residents will have access to central dining and activity spaces, and housekeeping facilities.

Some additional design elements that will create a significant improvement to the corridor and benefit the general public include the following:

- Upgraded Bus Shelter on Bonita Beach Road
- Widened sidewalks on Beach Road and Wisconsin Street
- Interconnectivity and possibly shared access to adjacent commercial developments
- Lush landscaping and buffering
- Water Quality improvements such as, rain gardens, retention areas and stormwater pre-treatment

As a point of clarification with this application the general standards for a RPD in accordance with Section 4-325 are described below.

- a) All planned developments shall be consistent with the provisions of the Bonita Plan.

The planned development is consistent with the growth management plan of the City of Bonita. The future Land Use Plan lists the property in a future commercial district and designates higher intensity along Bonita Beach Road. As such this higher density assisted living facility satisfies those requirements.

ATTACHMENT B.vi.

- b) All planned developments, unless otherwise excepted, shall be designed and constructed in accordance with the provisions of all applicable city development regulations in force at that time.

Yes, the project will be designed and constructed in accordance with the provisions of City of Bonita, Bonita Springs Utilities, and the South Florida Water Management District.

- c) The tract or parcel proposed for development under this article must be located so as to minimize the negative effects of the resulting land uses on surrounding properties and the public interest generally, and must be of such size, configuration and dimension as to adequately accommodate the proposed structures, all required open space, including private recreational facilities and parkland, bikeways, pedestrian ways, buffers, parking, access, on-site utilities, including wet or dry runoff retention, and reservations of environmentally sensitive land or water. In large residential or commercial planned developments, the site planner is encouraged to create subunits, neighborhoods or internal communities which promote pedestrian and cyclist activity and community interaction.

The planned development will be a 4 story, 120 unit assisted living facility located at 9726 Bonita Beach Road SE. Each unit will be complete with a kitchenette including a fridge, microwave, and sink. The site is approximately 4.19 acres and is compatible with the commercial developments to the east and west. The subject site is along the Beach Road corridor where the greater amount of density should be located within the city. The project is designed in such a way to adequately accommodate the proposed structure as well as provide facilities such as sidewalks, stormwater retention, utility infrastructure, 10% native preservation, and adequate parking areas. The breakdown of land use for the planned development is as follows:

<i>Building:</i>	<i>0.87 acres</i>
<i>Pavement:</i>	<i>0.78 acres</i>
<i>Sidewalks:</i>	<i>0.30 acres</i>
<i>Retention:</i>	<i>0.48 acres</i>
<i>Preserve:</i>	<i>0.42 acres (10%)</i>

ATTACHMENT B.vi.

Open:	1.27 acres
<u>Pervious Pavers</u>	<u>0.07 acres</u>
Total:	4.19 acres

d) The tract or parcel shall have access to existing or proposed roads:

- 1) In accordance with chapter 3 and as specified in the Bonita Plan traffic circulation element or the official trafficways map of the county;

Yes, the parcel will have two points of access to an existing road; Wisconsin Street which then leads to Bonita Beach Road. The property will also provide for future interconnections to the property to the west.

- 2) That have either sufficient existing capacity or the potential for expanded capacity to accommodate both the traffic generated by the proposed land use and that traffic expected from the background (through traffic plus that generated by surrounding land uses) at a level of service D or better on an annual average basis and level of service E or better during the peak season, except where higher levels of service on specific roads have been established in the Bonita Plan; and

Yes, the Traffic Impact Statement attached with this application has determined that the level of service along the connecting roadways will not be degraded.

- 3) That provide ingress and egress without requiring site-related industrial traffic to move through predominantly residential areas.

The proposed development's entrances will be roughly 240 ft and 475 ft from Bonita Beach road and is adjacent to an existing commercial development. There will be no industrial traffic moving through residential areas.

e) If within the Lee Tran public transit service area, the development shall be designed to facilitate the use of the transit system.

ATTACHMENT B.vi.

There is an existing Lee Transit public bus stop located on-site and the planned development will be designed to facilitate the use of the transit system and tie the existing bus stop into the site. The bus stop facilities will be upgraded in accordance with Lee County.

- f) Development and subsequent use of the planned development shall not create or increase hazards to persons or property, whether on or off the site, by increasing the probability or degree of flood, erosion or other danger, nor shall it impose a nuisance on surrounding land uses or the public's interest generally through emissions of noise, glare, dust, odor, air or water pollutants.

The development will not create or increase hazards such as flooding, erosion or other danger to neighboring persons or property. The site will receive an Environmental Resource Permit (ERP) through the South Florida Water Management District (SFWMD) and will be required to provide attenuation for a volume of water produced by a 25-year storm, an improvement of what is currently on the site. As for stormwater treatment water quality systems will be provided to ensure that the post development nutrients do not exceed those found in the pre-development scenario. Fire prevention, safety and access will be provided to the site in accordance with LDC regulations and the NFPA fire code.

- g) Every effort shall be made in the planning, design and execution of a planned development to protect, preserve or to not unnecessarily destroy or alter natural, historical or archaeological features of the site, particularly mature native trees and other threatened or endangered native vegetation. Alteration of the vegetation or topography that unnecessarily disrupts the surface water or groundwater hydrology, increases erosion of the land, or destroys significant wildlife habitat is prohibited. That habitat is significant that is critical for the survival of rare, threatened or endangered species of flora or fauna.

ATTACHMENT B.vi.

An Environmental Biologist was on site on November 20th, 2020 to map the area. No listed species were found on site, nor was any native habitat discovered. Two heritage trees will need to be removed and with approval from the Heritage Tree board, they will be mitigated for with additional plantings. The planned development will have a 0.45 acre preserve on the north end of the property that will be required to be clear of exotics and possibly planted in order to provide an adequate buffer to the north.

- h) A fundamental principle of planned development design is the creative use of the open space requirement to produce an architecturally integrated human environment. This shall be coordinated with the achievement of other goals, e.g., the preservation or conservation of environmentally sensitive land and waters or archaeological sites.

The Planned Development will integrate the use of open space throughout the property. It will include two rain gardens, a memory care garden, a dining patio, pool deck, and pub patio. The feel and aesthetic of the project will be an upscale mixture of comfortable assisted living units alongside vegetated outdoor spaces.

- i) Site planning and design shall minimize any negative impacts of the planned development on surrounding land and land uses.

The planned development is compatible with the land uses to the east and west and will be designed in a way to minimize negative impacts to surrounding properties. The project will be adequately secured along the property boundaries.

- j) Where a proposed planned development is surrounded by existing development or land use with which it is compatible and of an equivalent intensity of use, the design emphasis shall be on the integration of this development with the existing development, in a manner consistent with current regulation.

ATTACHMENT B.vi.

This development integrates wells with surrounding developments. To the east of the property is a Florida Cancer Specialists & Research Institute whose property is similar in size and the land use is complimentary to the assisted living use, it may even create some internal capture trips. The site will also be designed to interconnect to the office building to the west. The assisted living facility will be a fitting transitional property from the commercial land use along Bonita Beach Road to the residential properties behind the project site. The northern side abutting residential will have a wide native buffer.

- k) Where the proposed planned development is surrounded by existing development or land use with which it is not compatible or which is of a significantly higher or lower intensity of use (plus or minus ten percent of the gross floor area per acre if a commercial or industrial land use, or plus or minus 20 percent of the residential density), or is surrounded by undeveloped land or water, the design emphasis will be to separate and mutually protect the planned development and its environs.

The adjacent land uses are compatible with this development. It is surrounded by Bonita Beach road, and two commercial CPD developments to the East and West. This being a quasi-residential/commercial property with an intensity of 10 units per acre, it is an appropriate transition to the commercial properties and the TFC-2 to the North. The density is concentrated to the South next to the ROW away from the residential uses.

- l) In large residential or commercial planned developments, the site planner is encouraged to create subunits, neighborhoods or internal communities which promote pedestrian activity and community interaction.

The residential planned development will be interconnected to all abutting roads with interconnected sidewalks within, through and around the site. It will also have a Lee Tran bus stop along Bonita Beach Road.

ATTACHMENT B.vi.

- m) In order to enhance the viability and value of the resulting development, the designer shall ensure the internal buffering and separation of potentially conflicting uses within the planned development.

The subject site is bounded by three right-of-way which will each require 15' type D buffers. These buffers run along Alabama Street to the north, Wisconsin Street to the east, and Bonita Beach Road to the south. The Northern property buffer will be accommodated by the previously mentioned preserve. Abutting the commercial property to the west will require a 5' type A buffer. The project is made up of one cohesive use and will not require any internal buffering, although the vegetated gardens around the building will buffer the parking area.

- n) Density or type of use, height and bulk of buildings and other parameters of intensity should vary systematically throughout the planned development. This is intended to permit the location of intense or obnoxious uses away from incompatible land uses at the planned development's perimeter, or, conversely, to permit the concentration of intensity where it is desirable, e.g., on a major road frontage or at an intersection.

This project has concentrated the building and site intensity along the Bonita Beach roadway frontage as recommended.

- o) Unless otherwise provided for in this article, minimum parking and loading requirements shall be as set forth in article VI, divisions 25 and 26, of this chapter. Where it can be reasonably anticipated that specified land uses are generators of occasional peak demand for parking space, a portion of the required parking may be pervious or semi-pervious surfaces subject to the condition that it be constructed and maintained so as to prevent erosion of soil. In all cases, however, sufficient parking shall be provided to prevent the spilling over of parking demand onto adjacent properties or rights-of-way at times of peak demand.

ATTACHMENT B.vi.

Adequate parking will be provided on-site. The proposed plan incorporates 70 parking spaces where the required spaces per code are 42 spaces. (132 residents/4 = 33 plus an additional 10% of residents = 14, totaling 47 spaces).

4-1732.d, numbers 1 and 2 both delineate city code for calculating required parking, given we cannot meet the required in the first scenario with full kitchens per unit (which we do not have) or come within 10% of the latter scenario (shown above), we would offer that our development utilize a hybrid parking calculation approach described below:

A limited amount the Assisted Living residents will have their own vehicles. The facility will have 114 assisted beds and 18 memory care beds. The memory care residents will not be permitted to have a vehicle. Based on previous developments approximately 1/4 of the assisted living residents will drive their own vehicles. (114 residents x 1/4 = 30 spaces). The staff will require a maximum of one space for every 4 residents per code. (132 residents / 4 = 33 spaces). The residents typically have 1 guest at a time per 20 residents (120 residents / 20 guests = 7 spaces).

Therefore, the maximum required spaces for the site would total 66 spaces needed for the site and we are proposing 70 spaces.

- p) Joint use of parking by various land uses within the planned development may be permitted by special condition where it can be demonstrated or required that the demand for parking by the various uses will not conflict. Joint parking agreements between uses within and uses without the planned development shall be governed by agreement per general regulation (see section 4-1730), without exception.

ATTACHMENT B.vi.

Not applicable

- q) Internal consistency through sign control, architectural controls, uniform planting schedules and other similar controls is encouraged.

FDOT required standard signage, development wayfinding signage, landscaping, and other controls will be provided per the City LDC. The architectural design will be compliant with the City of Bonita Architectural standards as well as the Bonita Beach Road overlay regulations.

ATTACHMENT B.vii.

Coastal Management Area Provisions Compliance

Objective 5.2: Development in the Coastal Management Area (CMA). The City shall minimize flood risk that results from high-tide events, storm surge, flash floods, stormwater runoff, and the related impacts of sea-level rise in the Coastal Management Area (CMA).

Policy 5.2.1: Rezoning to allow higher densities shall not be permitted on barrier and coastal islands.

Not Applicable, the site is not located on a barrier or coastal Island.

Policy 5.2.2: Shoreline development in V Zones shall be protected from flood risk, coastal erosion, wave action, and storms by vegetation, setbacks, and/or beach renourishment, rather than by seawalls or other hardened structures that tend to hasten beach erosion. Repairs of lawfully constructed, functional, hardened structures as defined in F.S. Chapter 161 may be allowed subject to applicable state and local review and approval.

Not Applicable, the site is not located along the shoreline and is not in a V zone.

Policy 5.2.3: Through the City's Comprehensive Plan amendment process, land use designations of undeveloped areas within the Coastal Management Area shall be considered for reduced density categories (or assignment of minimum allowable densities where density ranges are permitted) in order to limit the future population exposed to coastal flooding.

The site is currently a single-family home, but will be redeveloped to a greater density, in accordance with the future land use in the Bonita Plan.

Policy 5.2.4: Development in the Coastal Management Area, except as otherwise restricted by 5-2 1 and the City's redevelopment project on Old U.S. 41, shall be infill only and shall not exceed the surrounding properties' density/intensity except as allowed by existing zoning at the time of the adoption of this Comprehensive Plan.

Acknowledged, the proposed development is compliant with the future land use of the Bonita Plan. The project is within the Bonita Beach Road Overlay and has been designed in accordance with those development standards.

The proposed density of the project is equivalent to 40 units per acre. It is classified as General Commercial in the Future Land Use Map, which has a maximum density of 10 units per acre, without any bonuses being applied. As an assisted living facility, City of Bonita LDC allows an equivalence of 4 assisted living units to 1 unit. This bonus brings the total permitted density to 40 units per acre which is equal to the proposed. The proposed RPD is consistent with the Comprehensive Plan.

Please see the exhibit showing floor to area ratios of the proposed development and the surrounding developments comparing intensity in the area.

Policy 5.2.5: The City shall continue to target its land acquisition program to provide public access to the estuary, open space, preservation and recreation, and shall consider vacant properties in the Coastal Management Area for public acquisition.

ATTACHMENT B.vii.

Acknowledged, the project will include a 0.45 acre preserve along the north end of the property. There will also be sidewalks along the Right of way for public access around the site along Bonita Beach Road and Wisconsin Street.

Policy 5.2.6: All development and major redevelopment in the Coastal Management Area shall conform to the City's Flood Damage Protection Ordinance and be consistent with the flood-resistant construction requirements in the Florida Building Code and applicable flood plan management regulations set forth in 44 C.F.R. part 60.

The project will remain consistent with the flood resistant construction requirements in the Florida Building Code and Flood Plan management regulations.

Policy 5.2.7: No new mobile home parks will be allowed within the Coastal Management Area.

Not applicable, the project will be an Assisted Living Facility.

Policy 5.2.8: Development seaward of the Coastal Construction Control Line (CCCL) shall require applicable State of Florida approval and will be consistent with Ch. 161. F.S.

Acknowledged, the project is not located seaward of the CCCL.

Policy 5.2.9: New development requiring seawalls for protection from coastal erosion shall not be permitted.

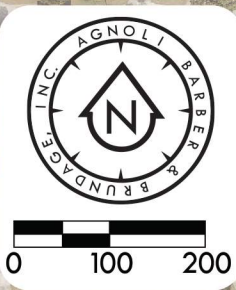
Not applicable, the project is not located along waterfront.

Policy 5.2.10: Development in coastal areas shall consider site development techniques to reduce losses due to flooding and claims made under flood insurance policies issued in the state. These may include accommodation strategies, such as elevating structures, drainage improvements, or green infrastructure techniques that function to absorb or store water.

The project is in an area of minimal flood hazard (zone X). Drainage for the site will be designed in a way that is consistent with SWFMD and LDC requirements.

Policy 5.2.11: The Downtown District, as defined in the Future Land Use Element, is exempt from Policies 5.2.3 and 5.2.4 of this Coastal Management Element.

Acknowledged.



Hacienda Village PUD

Single Family

Single Family

Alabama St.

Wisconsin St.

Michigan St.

Bonita Beach Road

LAS BRISAS RPD

LAS BRISAS RPD

Legend
 FAR: Floor to Area Ratio
 TBS: Total Building Size
 TA: Total Site Acreage

FAR: 0.25
TBS: 28,356sf.
TA: 2.62ac.

FAR: 0.44
TBS: 17,306sf.
TA: 0.9ac.

FAR: 0.27
TBS: 13,366sf.
TA: 1.13ac.

FAR: 0.32
TBS: 14,944sf.
TA: 1.06ac.

FAR: 0.19
TBS: 40,030sf.
TA: 4.82ac.

FAR: 0.00
TBS: 0sf.
TA: 3.81ac.

FAR: 0.00
TBS: 0sf.
TA: 1.94ac.

FAR: 0.29
TBS: 23,672sf.
TA: 1.89ac.

FAR: 0.52
TBS: 95,000sf.
TA: 4.19ac.

FAR: 0.42
TBS: 41,000sf.
TA: 2.26ac.

CC

FAR: 0.34
TBS: 72,450sf.
TA: 4.77ac.

FAR: 0.41
TBS: 46,342sf.
TA: 2.57ac.

FAR: 0.09
TBS: 7,539sf.
TA: 1.86ac.

FAR: 0.84
TBS: 7,985sf.
TA: 0.69ac.

FAR: 0.14
TBS: 72,099sf.
TA: 11.54ac.

FAR: 0.11
TBS: 23,339sf.
TA: 5.1ac.

ATTACHMENT B.ix.

Exhibit IV-G

Schedule of Uses

The Erdman RPD shall be developed as an Assisted Living Facility, which will include 108 units. Those units will be broken down as: 84 single bedroom, 24 two bedroom. A total 18 of the single bedroom units will be dedicated to memory care. An Assisted Living Facility (ALF) is a building or section of building used as a home for the aged or similar place. It is not designed for independent living. All residents within the facility will need at least some level of care depending on their condition. The assisted living facility will provide services including preparation of meals for residents, medication management, shower and dressing assistance, laundry services, and similar aid. The facility staff will include dedicated drivers for residents, nutritionists, dieticians, 24-hour nursing and wheel-chair assistance. Further transportation assistance will be provided by a bus and minivan or car driven by a designated driver. Regulations for development of this RPD shall be in accordance with the contents of this document and all applicable sections of the Bonita Comprehensive Plan, the Land Development Code (LDC), and the Administrative Code in the effect at the time of approval of the first Development Order (DO). Where the RPD ordinance does not Provide development standards, then the provision of the specific sections of the LDC that are otherwise applicable shall apply.

Tract A

A. Principle Uses:

1. Assisted Living Facility
2. Memory Care Units
3. Skilled Nursing Care Facilities per LDC 4-408 19.c. Group III
4. Any other principal use which is comparable in nature with the foregoing list of permitted principal uses.

B. Accessory Uses:

Accessory uses and structures customarily associated with the permitted principal uses and structures, including;

1. Food Services limited to residents and their guests per SIC code 5812.
2. Consumption on premises limited to residents and their guests.
3. Parking limited to residents and their guests.
4. Facility Office Area.
5. Fitness Facility limited to residents and their guests.
6. Pools/Hot Tubs limited to residents and their guests.
7. Patios and Raingardens.
8. Outdoor Dining Areas
9. Internal pathways and sidewalks limited to use by staff, residents, and their guests
10. Uses and Structures that are accessory and incidental to the RPD use.

ATTACHMENT B.ix.

Tract B

A. Principal Uses:

1. Preserve

B. Accessory Uses:

Accessory uses and structures customarily associated with the permitted principal uses and structures as allowed by the LDC in indigenous preserves, including:

1. Pathways and Boardwalks
2. Other Passive Uses as allowed by the LDC in indigenous preserves.

ATTACHMENT B.x.

Exhibit IV-H

Existing Schedule of Deviations & Justifications

A deviation from the standard parking requirements per city code Sec. 4-899(b)(3)a. is requested due to the nature and proposed operation of the facility. The proposed plan incorporates 70 parking spaces where the required minimum number of spaces per code is 47 spaces. The 47 spaces per code specifically addresses assisted living units where the residents are not permitted to have their own vehicles. In contrast some of the residents in these units will have their own vehicles. Generally, Assisted Living residents have moved to such a facility for the main reason that they can no longer drive. In a typical scenario an Assisted Living resident would not drive or have a vehicle, but this development does not want to exclude those residents that might want that option.

While city code addresses either residents driving or not being permitted to have a vehicle, it does not address a hybrid, such as this facility. Section D from 4-1732 of the LDC below specifically addresses Assisted Living Facility parking calculations. Number one of that section describes a facility where resident parking is permitted and would be calculated based on residential units, this would require the following: 84 one-bedroom units x 1.5 = 126 and 24 two bedroom units x 1.75 = 40 which totals 166 total spots. Alternatively, the calculation for number 2 would require 47 spaces, which is one space per 4 beds plus an additional 10%.

If the details of the code below are investigated further, there are some factors that make this facility a hybrid. The units will have a microwave but not customary cooking facilities in each room. Additionally, there will be a central community kitchen with food and beverage service. The facility will have designated employee driver as well as a 14-passenger bus and a car or minivan solely for the purpose of chauffeured transportation for the residents.

The design of this development has been tailored to fit the specific needs of this operator, one who successfully operates numerous other similar facilities and has experienced a maximum of 25% of residents will own a car. The purpose of this request is to reduce the amount of impervious area and what would be unused parking spaces. This project also includes a preserve area equivalent to 10% of the property, which is not required by code, but has been set aside as a benefit to the community and local residents. There is also a bus stop on site that will be improved for the benefit of the community as well.

ATTACHMENT B.x.

Sec. 4-1732. Required spaces.

All uses permitted under this chapter are subject to the following minimum requirements:

- (1) *Dwelling, housing and living units.* For all common parking lots, in addition to the spaces required in this subsection, additional parking spaces equal to ten percent of the total required must be provided to accommodate guest parking.
 - a. *Single-family, duplex, two-family attached and mobile home units.* The minimum requirement is two spaces for each dwelling unit. Stacking of vehicles in the driveway is permitted.
 - b. *Townhouses.* Minimum requirements are as follows:
 1. For townhouses with individual parking driveways on each lot, two spaces per dwelling unit. Stacking of vehicles in the driveway is permitted.
 2. For townhouses sharing a common parking lot, two spaces per dwelling unit. Stacking of vehicles in the driveway is not permitted.
 - c. *Multiple-family buildings.* Stacking of vehicles is not permitted. Minimum requirements are as follows:
 1. Studio or efficiency: 1.25 spaces per unit.
 2. One bedroom 1.5: spaces per unit.
 3. Two bedrooms: 1.75 spaces per unit.
 4. Three or more bedrooms: two spaces per unit.
 - d. *Assisted living facilities (section 4-1182), continuing care facilities (section 4-1183), health care facilities, Groups I and II (section 4-408(c)(19), social services, Groups III and IV (section 4-408(c)(4) and other similar uses).*
 1. Any living unit designed as a dwelling unit and intended primarily as a self-care facility will be treated as a dwelling unit and will be required to provide parking spaces as set forth in section 4-1732(1)a through c for similar type dwelling units. For purposes of this section, a microwave oven or other cooking facilities such as a toaster or a hot plate using 115-120 volt electrical service do not constitute customary cooking facilities. Where the living units are maintained under unified control and the residents are not capable or permitted to bring or operate private vehicles on the same premises, community development may authorize up to a 75 percent reduction in required parking spaces; provided sufficient parking is provided for employees and visitors.
 2. Living units which do not contain customary cooking facilities within the individual units but instead have a central kitchen for food preparation and where meals are served in a central dining area or individual rooms must calculate parking requirements as follows: one parking space per four residents or four beds (whichever is greater), plus ten percent. Where the living units are maintained under unified control and the residents are not capable or permitted to own or operate private vehicles on the same premises, community development may authorize up to a 75 percent reduction in required parking spaces; provided sufficient parking is provided for employees and visitors.

Calculations:

Per City code

1 parking space per 4 residents plus an additional 10% of residents

132 residents / 4 = 33 parking spaces

ATTACHMENT B.x.

132 residents x 10% = 14 parking spaces

33 + 14 = 47 parking spaces

A limited number of the Assisted Living residents will have their own vehicles. The facility will have 90 units designated to assisted living for 114 residents and 18 will be dedicated to memory care. The memory care residents will not be permitted to have a vehicle. Based on previous developments a maximum of 1/4 of the assisted living residents will have their own transportation. Facility Staff will require 1 space for every 4 residents per city code. Residents also typically have 1 guest at a time for every 20 residents. Those real world metrics from other similar developments are shown below.

Calculations:

Residents: 114 assisted living residents x 1/4 = 30 resident parking spaces

Staff: 132 residents / 4 = 33 staff parking spaces

Guests: 132 residents / 20 = 7 guest spaces

30 + 33 + 7 = 70 parking spaces

Therefore, the maximum required spaces for the site would total 70 to provide parking for residents, staff, and guests. The Master Concept Plan proposes to incorporate 70 spaces.



Traffic Impact Statement

Erdman

Residential Planned Development (RPD)

Bonita Springs, FL
09/08/2021

ATTACHMENT B.xi.

Prepared for:

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Statement of Certification

I certify that this Traffic Impact Statement has been prepared by me or under my immediate supervision and that I have experience and training in the field of Traffic and Transportation Engineering.

This item has been electronically signed and sealed by Norman J. Trebilcock, P.E., State of Florida license 47116, using a *SHA-1* authentication code. Printed copies of this document are not considered signed and sealed, and the *SHA-1* authentication code must be verified on any electronic copies.

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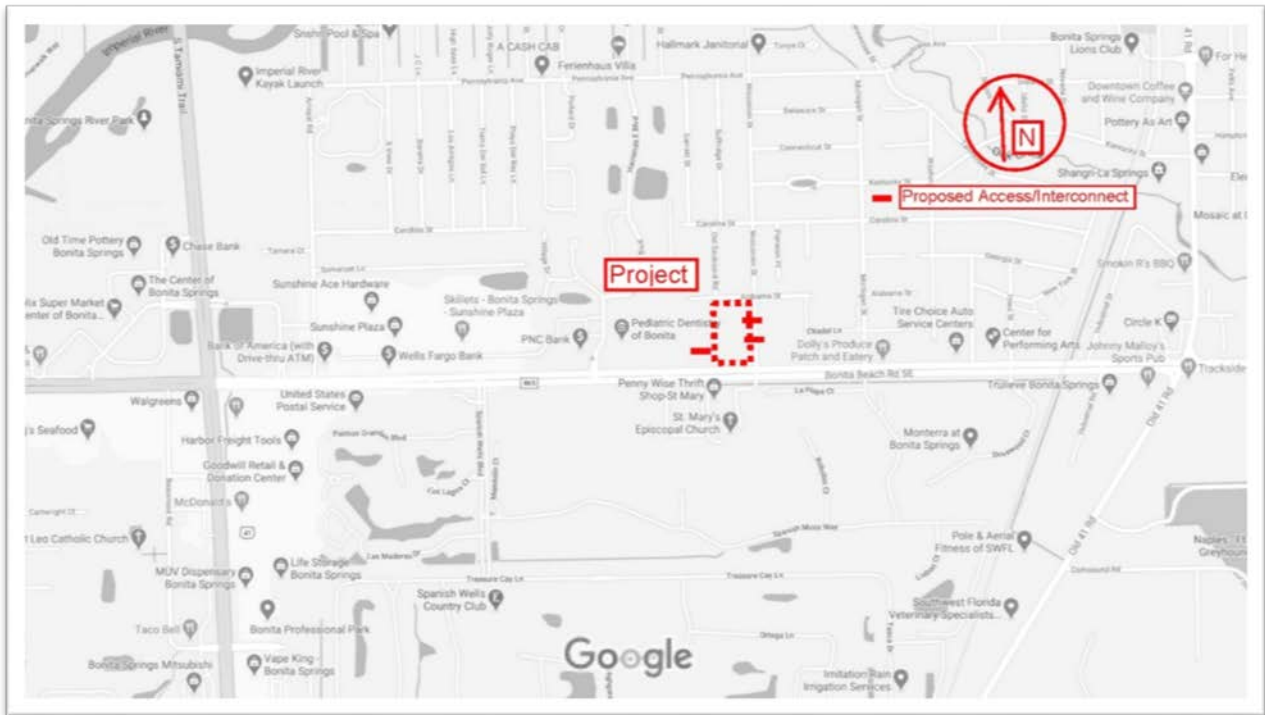
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Project Description

The Erdman project is located north of Bonita Beach Road (CR 865) and west of Wisconsin Street, within the limits of the City of Bonita Springs. The subject site lies in Section 34, Township 47 South, Range 25 East, in Lee County, Florida.

For location and layout of the project refer to **Figure 1 – Project Location Map**, which follows, and **Appendix A: Project Master Site Plan**.

Figure 1 – Project Location Map



The subject site is currently mostly vacant and is approximately 4.3 acres.

The project proposes to develop an Assisted Living and Memory Care facility to consist of an approximately 95,000 square foot (sf) building with 108 care units.

This traffic study has been prepared consistent with the City of Bonita Springs Traffic Impact Statement (TIS) Guidelines (per F.A.C. 17-076) and Lee County Turn Lane Policy (F.A.C. 11-4) recommendations.

The project provides the best use scenario with respect to the project's trip generation as depicted in the Institute of Transportation Engineers (ITE) Trip Generation Manual. The development program is illustrated in **Table 1**. The ITE land use designation is depicted in agreement with the ITE Land Use Code (LUC) description.

Table 1
Proposed Development Program

Development	ITE Land Use Code	Size
Erdman	254 – Assisted Living	95,000 sq. ft. 108 units ⁽¹⁾

Note(s): (1) Up to 132 beds.

For the purposes of this analysis, the future forecast year is 2025.

A methodology meeting was held with the City of Bonita Springs Transportation Planning staff (via email) on January 11, 2021, as illustrated in **Appendix B: Initial Meeting Checklist (Methodology)**.

As illustrated in the proposed Master Site Plan, connections to the subject site are proposed as follows: one interconnect access to the existing adjacent development to the west, and 2 full movement accesses onto Wisconsin Street.

Trip Generation

Traffic generation associated with the proposed development is evaluated generally based on ITE Trip Generation Manual, 10th Edition and ITE Trip Generation Handbook, 3rd Edition.

The software program OTISS, Online Traffic Impact Study Software (most current version) is used to create the trip generation for the project. The ITE rates or equations have been used for the trip generation calculations, as applicable. Detailed calculations can be found in **Appendix C: ITE Trip Generation Calculations**.

The project provides the highest traffic impact scenario with respect to the project’s proposed trip generation. For the purpose of this report, the ITE Land Use Code (LUC) 254 – Assisted Living is utilized as a representative trip generator code for the proposed development. The ancillary uses commonly associated with group care facilities (such as administrative office space, monitored supervision for some residents, etc.) are considered passive incidental to the proposed residential land use and are not included in the trip generation analysis.

A trip generation comparison is provided for the PM peak hour period between available and applicable variables for ITE LUC 254: 1,000 sf GFA, occupied beds and beds. Based on the traffic projections illustrated in the ITE trip generation comparison illustrated in **Appendix C**, the highest traffic impact is based on building area and is utilized for traffic analysis purposes in this report.

Based on ITE recommendations, no reductions for internal capture or pass-by trip are considered for this project.

In agreement with the City of Bonita Springs TIS guidelines, significantly impacted roadways are identified based on projected AM and PM peak hour, peak direction project trips. In addition, site access operational analysis is calculated based on AM and PM peak hour project trips.

A summary of the proposed project trip generation calculations is illustrated in **Table 2**.

Table 2
Project Trip Generation – Build-out Conditions – Average Weekday

Development	24 Hour Two-Way	AM Peak Hour			PM Peak Hour		
		Enter	Exit	Total	Enter	Exit	Total
ITE Land Use / Size							
Assisted Living / 95,000 sq. ft.	398	29	8	37	14	32	46

Trip Distribution and Assignment

The traffic generated by the development is assigned to the adjacent roadway network based on the knowledge of the area and as approved in the methodology meeting.

As illustrated in the adopted City of Bonita Springs TIS guidelines, significantly impacted roadways are defined as any segment where the directional AM and PM peak hour project trips exceed 2% or 3%, as applicable, of the directional peak hour capacity of the level of service standard for each segment identified.

Based on the information contained in the 2020 City of Bonita Springs Traffic Count Report, Wisconsin Street is not a traffic monitored facility.

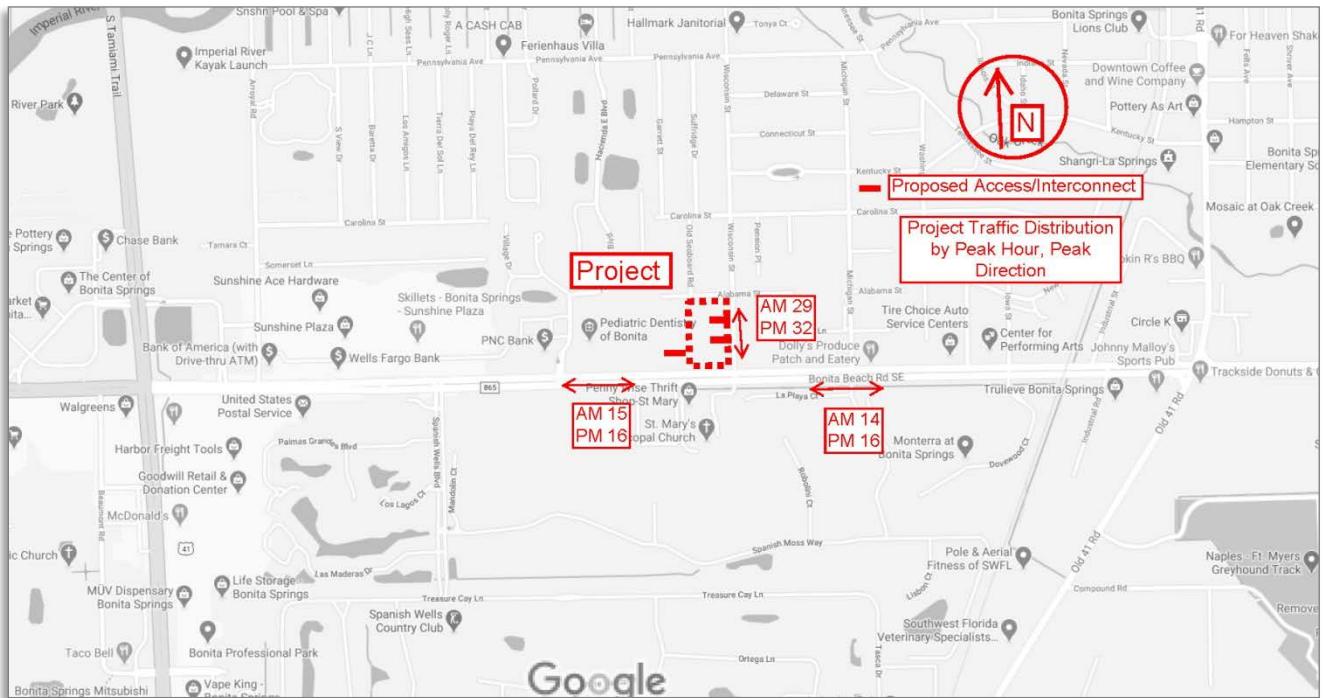
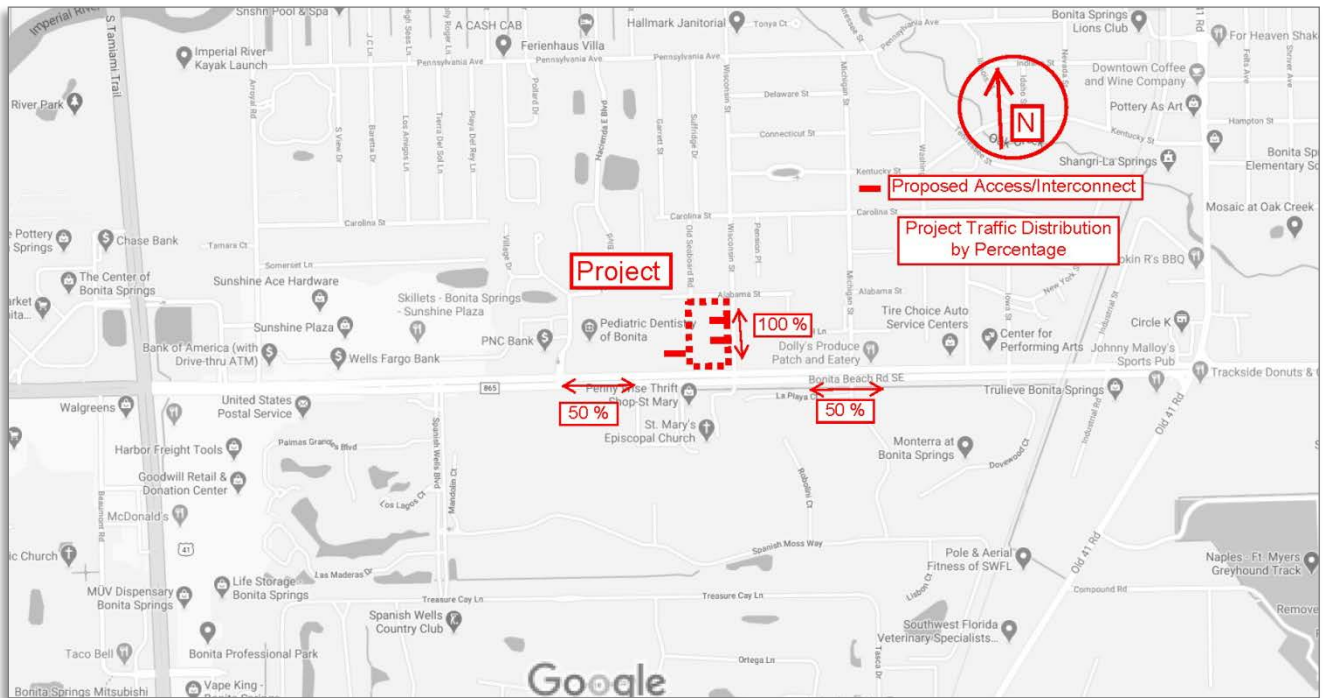
The site-generated trip distribution is shown in **Table 3, Project Traffic Distribution for AM and PM Peak Hour, Peak Direction** and is graphically depicted in **Figure 2 – Project Distribution by Percentage and by AM and PM Peak Hour, Peak Direction**.

Table 3
Project Traffic Distribution for AM and PM Peak Hour, Peak Direction⁽¹⁾

Roadway	Roadway Segment Location	Distribution of Project Traffic	Peak Hour, Peak Direction Project Volume	
			AM	PM
Bonita Beach Rd	Arroyal Rd to Wisconsin St	50%	15	16
Bonita Beach Rd	Wisconsin St to Old 41 Rd	50%	14	16

Note(s): (1) As illustrated in **Table 2**, the Entering traffic is the peak direction for the AM peak hour and the Exiting traffic is the peak direction for the PM peak hour.

Figure 2 – Project Distribution by Percentage and by AM and PM Peak Hour, Peak Direction



Background Traffic

Future Growth Rates Determination

Historic growth rates are estimated for the segments of the roadway network in the study area using a general guidance of a minimum 2% growth rate, or historical growth rates from available traffic counts.

Projected historical linear growth rates are calculated for a 5-year period (2015 – 2020) based on daily traffic volumes illustrated in the 2020 City of Bonita Springs traffic count report. A shorter time period was selected for the analyzed Bonita Beach Road segments due to available traffic data. Refer to **Appendix D: Bonita Springs 2020 Traffic Count Data (Excerpts)**.

Annual growth rate determination is illustrated in **Table 4A**.

Table 4A
Annual Growth Rate Determination ⁽¹⁾

Roadway	Roadway Segment Location	FTE Station Number	Historic Traffic Count (Year)\Volume		Growth Rate Calculated	Growth Rate Applied
			From	To		
Bonita Beach Rd	Arroyal Rd to Wisconsin St	1229	(2016)/32,300	(2020)/35,500	2.5%	2.5%
Bonita Beach Rd	Wisconsin St to Old 41 Rd	0005	(2017)/28,500	(2020)/31,300	3.3%	3.3%

Note(s): (1) Historic traffic counts are depicted in **Appendix D**.

Background Traffic Determination – City of Bonita Springs Traffic Data

In accordance with the City of Bonita Springs TIS Guidelines, background traffic volumes reflect peak hour, peak season, peak direction traffic volumes.

The 2020 City of Bonita Springs traffic count report is used to determine the current 2020 peak hour, peak season, peak direction traffic volumes for the analyzed roadway segments. The 2020 peak hour, peak season, peak direction volumes are determined as the highest direction volume of a typical weekday during peak season (per City’s traffic count report – three day average counted under peak season conditions). Refer to **Appendix D: Bonita Springs 2020 Traffic Count Data (Excerpts)**.

The 2020 base year traffic volumes were factored by the appropriate annual growth rate (**Table 4A**) in order to determine the 2025 background peak hour, peak season, peak direction traffic volumes.

Table 4B illustrates the year 2020 and 2025 background traffic (without project) and the Level of Service (LOS) for the roadway links within the study area. The LOS evaluation is based on the most current Lee County Service Volumes on Arterials (refer to **Appendix E**).

As illustrated within the Methodology Meeting notes (refer to **Appendix B**), this report calculates future background traffic using annual growth rates in lieu of potential vested or reserved trips assigned to the analyzed roadway network.

Table 4B
Background Traffic without Project (2020 – 2025) – City of Bonita Springs Traffic Data

Roadway	Roadway Segment Location	2020 Peak Hour, Peak Season, Peak Direction Volume - LOS ⁽¹⁾	Traffic Annual Growth Rate ⁽²⁾	Growth Factor ⁽³⁾	2025 Peak Hour, Peak Season, Peak Direction Volume – LOS ⁽⁴⁾
Bonita Beach Rd	Arroyal Rd to Wisconsin St	1,740 – C	2.5%	1.125	1,958 - F
Bonita Beach Rd	Wisconsin St to Old 41 Rd	1,386 – C	3.3%	1.165	1,615 – C

- Note(s): (1) Refer to **Appendix D** and **Appendix E**.
(2) Refer to **Table 4A**.
(3) Growth Factor = (1 + Annual Growth Rate x 5); 2025 Projected Volume = 2020 Volume x Growth Factor.
(4) Refer to **Appendix E**.

Based on the traffic data illustrated in **Table 4B**, Bonita Beach Road segment from Wisconsin Street to Old 41 Road is shown to operate at LOS “C” or better under 2020 and 2025 background traffic conditions (without project). In addition, Bonita Beach Road segment from Arroyal Road to Wisconsin Street performs with an adequate LOS under current traffic conditions and it is projected to exceed the adopted LOS performance standard under future 2025 background conditions without project’s traffic.

Existing and Future Roadway Network

Roadway improvements that are currently under construction or are scheduled to be constructed within the five years of the current Capital Improvement Program (CIP), are considered to be committed improvements for the purposes of this study. As no capacity improvements were identified for the evaluated roadway links, no changes to the study network are anticipated in the year 2025.

Based on the City of Bonita Springs Transportation Element – Policy 1.1.3, the minimum acceptable peak hour/peak season/peak direction roadway levels of service (Standard LOS) shall be as follows: LOS “E” for arterials and collectors and LOS “D” for local roads.

Based on the City of Bonita Springs Transportation Element – Figure 1 – Future Road System Functional Classification, the analyzed roadways are classified as follows: Wisconsin Street – minor collector and Bonita Beach Road – major arterial. Refer to **Appendix F: Bonita Springs Future Road System Functional Classification**.

In addition, as illustrated in the Lee County Public Facilities Level of Service and Concurrency Report, 2020 Inventory and Projections, the adopted LOS performance standard for Bonita Beach Road from US 41 to Old 41 Road is LOS “E” with an associated capacity of 1,860 vehicles per hour (vph). Refer to **Appendix G: 2020 Lee County Concurrency Report (Excerpt)**.

Table 5 illustrates current 2020 and future 2025 roadway conditions, as well as the adopted Standard LOS.

Table 5
Existing and Future Roadway Conditions ⁽¹⁾

Roadway	Roadway Segment Location	2020 Roadway Conditions	2020 Standard LOS	2020 Standard Capacity Volume	2025 Roadway Conditions	2025 Standard LOS	2025 Standard Capacity Volume
Bonita Beach Rd	Arroyal Rd to Wisconsin St	4LD	E	1,860	4LD	E	1,860
Bonita Beach Rd	Wisconsin St to Old 41 Rd	4LD	E	1,860	4LD	E	1,860

Note(s): 2LN = 2-lane narrow roadway; 4LD, 6LD = 4-lane, 6-lane divided roadway, respectively; LOS = Level of Service.

(1) Refer to **Appendix G**.

Project Impacts to Area Roadway Network – Roadway Link Analysis

Significant impacts and LOS determination for the area roadway network are evaluated to establish the project impacts for the forecast year 2025.

Significantly impacted roadways are defined as any segment where the directional peak hour project trips exceed 2% or 3%, as applicable, of the directional peak hour capacity of the level of service standard for each segment as identified in Subsection 5.03 of the City of Bonita Springs TIS Guidelines.

As previously mentioned, the LOS evaluation is based on the most current Lee County Service Volumes on Arterials (refer to **Appendix E**).

Future 2025 background traffic volumes are combined with estimated AM and PM peak hour, peak direction project trips, as illustrated in **Table 6A** and **Table 6B**.

Table 6A
Roadway LOS – Traffic Impact – AM Peak Hour, Peak Season, Peak Direction

Roadway Link	Roadway Segment Location	Standard Capacity Volume – LOS ⁽¹⁾	2025 Background Service Volume – LOS ⁽²⁾	AM Pk Hr, Pk Dir, Project Volume Added ⁽³⁾	2025 Total AM Pk Hr, Pk Season, Pk Dir, Roadway Volume–LOS ⁽⁴⁾	Project AM Pk Hr, Pk Dir as % of Standard Capacity	2025 Background Volume exceeds Standard Capacity?	2025 Total Volume exceeds Standard Capacity?
Bonita Beach Rd	Arroyal Rd to Wisconsin St	1,860 – E	1,958 – F	15	1,973 – F	0.8%	Yes	Yes
Bonita Beach Rd	Wisconsin St to Old 41 Rd	1,860 – E	1,615 – C	14	1,629 – C	0.8%	No	No

Note(s): (1) Refer to **Table 5** from this report.

(2) Refer to **Table 4B** from this report and **Appendix E**.

(3) Refer to **Table 3** from this report.

(4) 2025 Projected Volume = 2025 background + Project Volume added and **Appendix E**.

Table 6B
Roadway LOS – Traffic Impact – PM Peak Hour, Peak Season, Peak Direction

Roadway Link	Roadway Segment Location	Standard Capacity Volume – LOS ⁽¹⁾	2025 Background Service Volume – LOS ⁽²⁾	PM Pk Hr, Pk Dir, Project Volume Added ⁽³⁾	2025 Total PM Pk Hr, Pk Season, Pk Dir Roadway Volume – LOS ⁽⁴⁾	Project PM Pk Hr, Pk Dir as % of Standard Capacity	2025 Background Volume exceeds Standard Capacity?	2025 Total Volume exceeds Standard Capacity?
Bonita Beach Rd	Arroyal Rd to Wisconsin St	1,860 – E	1,958 – F	16	1,974 – F	0.9%	Yes	Yes
Bonita Beach Rd	Wisconsin St to Old 41 Rd	1,860 – E	1,615 – C	16	1,631 – C	0.9%	No	No

Note(s): (1) Refer to **Table 5** from this report.
(2) Refer to **Table 4B** from this report and **Appendix E**.
(3) Refer to **Table 3** from this report.
(4) 2025 Projected Volume = 2025 background + Project Volume added and **Appendix E**.

Based on the criteria presented above, the estimated project’s traffic volumes create no significant impacts on the analyzed roadway segments. In addition, consistent with the de minimus transportation impact definition illustrated in Bonita Springs Land Development Code (LDC) Chapter 2, Article II (Concurrency Management System), Sec. 2.-29, the development transportation impact is de minimus.

Consistent with the results presented in **Table 6A** and **Table 6B**, Bonita Beach Road segment from Wisconsin Street to Old 41 Road is not projected to exceed the adopted LOS Standard with or without the project at 2025 future traffic conditions. Bonita Beach Road segment from Arroyal Road to Wisconsin Street is projected to exceed the adopted LOS performance standard under future 2025 background conditions with or without the additional project’s traffic.

Site Access Turn Lane Analysis

As illustrated in the proposed Master Site Plan, connections to the subject site are proposed as follows: one interconnect access to the existing adjacent development to the west, and 2 full movement accesses onto Wisconsin Street. For more details refer to **Appendix A: Project Master Site Plan**.

Turn lane recommendations coincident with the project build-out conditions have been reviewed based on Lee County Turn Lane Policy AC-11-4 criteria. According to the Lee County Turn Lane Policy, left-and/or right-turn lanes are required when any two or more warrants are satisfied.

The analysis is provided in the attached **Appendix H: Project Turning Movement Exhibits** and **Appendix I: Site Access – Turn Lane Warrant Analysis**.

Based on the results illustrated in **Appendix I**, turn lanes are not warranted for the proposed site accesses.

Improvement Analysis

Based on the link analysis presented in this report, the proposed project is not a significant traffic generator for the analyzed roadway network.

There is adequate and sufficient roadway capacity on Bonita Beach Road segment from Wisconsin Street to Old 41 Road to accommodate the proposed development at 2025 build-out conditions. Bonita Beach Road segment from Arroyal Road to Wisconsin Street is projected to exceed the adopted LOS performance standard under future 2025 background conditions with or without the additional project's traffic

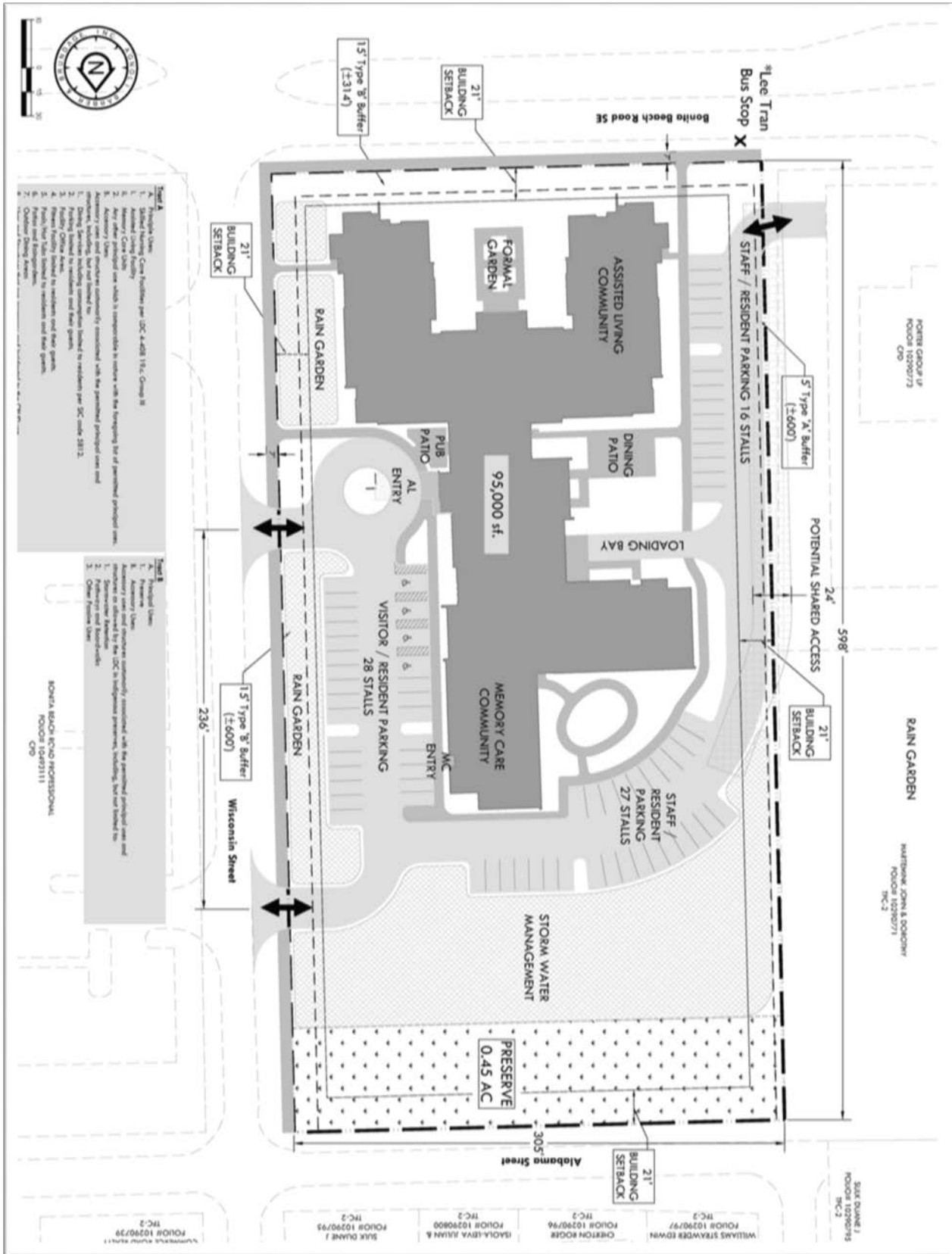
In agreement with Florida Statute, the developer is not responsible to address transportation deficiencies which occur regardless of the project's traffic.

Based on the site access turn lane analysis, turn lane improvements are not recommended on Wisconsin Street at the project access locations.

Mitigation of Impact

The developer proposes to pay the appropriate City of Bonita Springs transportation impact fees, as applicable, as building permits are issued for the project.

Appendix A:
Project Master Site Plan



- Table A**
1. Hazardous Use: Clear Function per IBC 4-408 (1)(a), Group B
 2. Assisted Living Facility
 3. Memory Care Unit
 4. Any other program use which is comparable to those with the foregoing list of permitted program uses.
- Accessory uses and structures commonly associated with the permitted program uses and structures, including, but not limited to:
1. Dining facilities including central kitchen located to residents per IBC code 2812.
 2. Laundry facilities (residents and staff spaces).
 3. Facility Office Areas.
 4. Fitness Facility located to residents and staff guests.
 5. Pool, Spa and other amenity located to residents and staff guests.
 6. Outdoor Dining Areas.

- Table B**
1. Hazardous Use
 2. Assisted Living Facility
 3. Memory Care Unit
 4. Any other program use which is comparable to those with the foregoing list of permitted program uses and structures commonly associated with the permitted program uses and structures.
- Accessory uses and structures commonly associated with the permitted program uses and structures, including, but not limited to:
1. Dining facilities including central kitchen located to residents per IBC code 2812.
 2. Laundry facilities (residents and staff spaces).
 3. Facility Office Areas.
 4. Fitness Facility located to residents and staff guests.
 5. Pool, Spa and other amenity located to residents and staff guests.
 6. Outdoor Dining Areas.



Appendix B:

Initial Meeting Checklist (Methodology)

METHODOLOGY - INITIAL MEETING CHECKLIST

Date: January 11, 2021 Time: N/A

Location: N/A – Via Email

People Attending:

Name, Organization, and Telephone Numbers

- 1) Tom Ross, City of Bonita Springs Transportation Review
- 2) Norman Trebilcock, TCS
- 3) Ciprian Malaescu, TCS

Study Preparer:

Preparer's Name and Title: Norman Trebilcock, AICP, PTOE, PE

Organization: Trebilcock Consulting Solutions, PA

Address & Telephone Number: 2800 Davis Boulevard, Suite 200, Naples, FL 34104; ph 239-566-9551

Reviewer(s):

Reviewer's Name & Title: Tom Ross, PE

Address: 225 East Robinson St., Suite 505, Orlando, FL 32801

Telephone Number: 407-423-0030

Applicant:

Applicant's Name: Agnoli, Barber & Brundage, Inc.

Address: 7400 Trail Blvd., Suite 200, Naples, FL 34108

Telephone Number: 239-597-3111

Proposed Development: **Residential Planned Development (RPD)**

Name: Erdman – Rezone to ~~Commercial Planned Development (CPD)~~

Location: North of Bonita Beach Rd SE (CR 865), south of Alabama Street and west of Wisconsin Street in Bonita Springs, FL – refer to **Figure 1** on next page.

ITE Land Use Type: Assisted Living

ITE Code #: Land Use Code (LUC) 254

Description:

The project proposes an Assisted Living and Memory Care facility to consist of a 4 story building with an area of approximately 92,000 square feet (sf). The building will provide 108 care units with 24 2-bed units and 84 1-bed units, for a total of 132 beds.

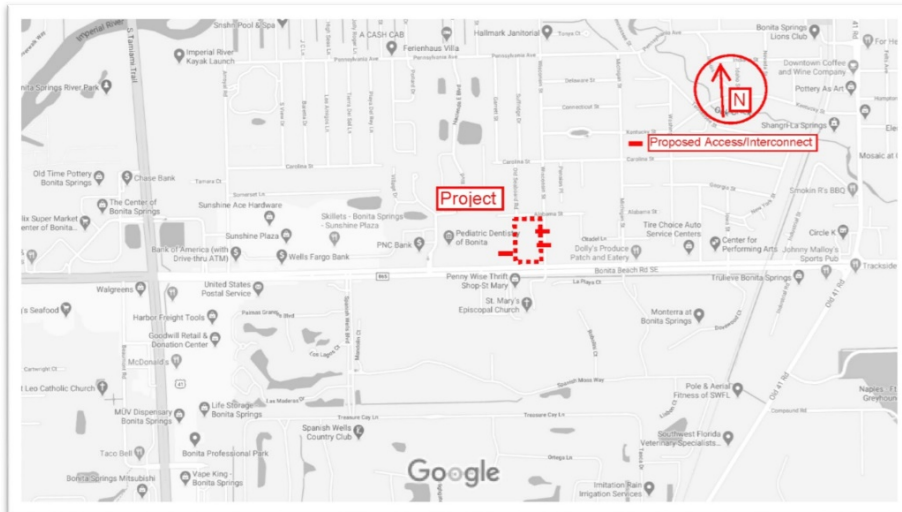
Zoning:

Existing: Two-Family Conservation District (TFC-2)

Comprehensive plan recommendation: N/A

Requested: to allow rezone to ~~CPD~~ (RPD)

Figure 1 – Location Map



Findings of the Preliminary Study:

TIS will satisfy City of Bonita Springs TIS Guidelines requirements (Resolution #17-76). Trip Generation – ITE Trip Generation Manual 10th Edition – OTISS software. The ITE LUC 254 – Assisted Living is utilized as a representative trip generation code for the proposed project. The ancillary uses commonly associated with group care facilities (such as administrative office space, monitored supervision for some residents, etc.) are considered passive incidental to the proposed residential land use and are not included in the trip generation analysis. A PM peak hour trip generation comparison is provided for the following ITE variables: 1,000 sf GFA, beds and occupied beds. The highest traffic impact is determined based on building area and it is utilized for traffic analyses.

No internal capture or pass-by traffic reduction are considered for this project.

Project Traffic Distribution, Link Assignment – AM and PM peak hour traffic Significance Test – based on 2% or 3% threshold, as applicable.

Based on our initial review, the directional peak hour project trips assigned to Bonita Beach Rd segments located west and east of Wisconsin Street consume less than 2% of the directional peak hour capacity of the level of service standard for these segments. As such, project traffic assignment is limited to the Bonita Beach Rd segments illustrated in Figure 2. Bonita Beach Rd is a Lee County maintained 4-lane divided arterial with an established performance standard of LOS E – 1,860 vph (100th highest hour).

Level of Service (LOS) analyses will be performed for existing, future background and future proposed (background with project traffic) conditions for AM and PM peak hour periods.

TIS will provide a LOS analysis of the nearest arterial or collector streets to which the proposed project will discharge its traffic. The LOS evaluation is based on the most current

Lee County Generalized Level of Service Thresholds or Lee County Link-Specific Service Volumes on Arterials, as applicable.

Background traffic will reflect peak season, peak hour, peak direction values (100th Highest Hour Directional Volume). TIS will utilize traffic counts provided in the 2020 City of Bonita Springs Traffic Count Report.

Growth rates will be used in lieu of vested or reserved trips.

K and D factors will be calculated based on the data illustrated in the 2020 City of Bonita Springs Traffic Count Report.

Site access on Wisconsin Street – turn lanes analysis for AM-PM peak hour – based on Lee County Turn Lane Policy AC 11-4.

Wisconsin Street is a 2 lane local roadway with a posted speed limit of 25 mph and it is under the jurisdiction of the City of Bonita Springs.

Study Area:

Roadway Links: Wisconsin Street, Bonita Beach Road

Additional intersections to be analyzed: N/A

Build Out Year: 2024

Horizon Year: 2025

Analysis Time Period(s): AM/PM peak hour

Future Off-Site Developments: to be determined

Source of Trip Generation Rates: ITE Trip Generation Manual 10th Edition – OTISS software

Reductions in Trip Generation Rates:

None: N/A

Pass-by trips: Based on ITE recommendations and City of Bonita Springs TIS Guidelines

Internal trips: Based on ITE recommendations and City of Bonita Springs TIS Guidelines

Transit use: N/A

Horizon Year Roadway Network Improvements: 2025

Methodology & Assumptions:

Non-site traffic estimates: City of Bonita Springs 2020 Traffic Count Report, Lee County and FDOT Traffic Counts, as applicable.

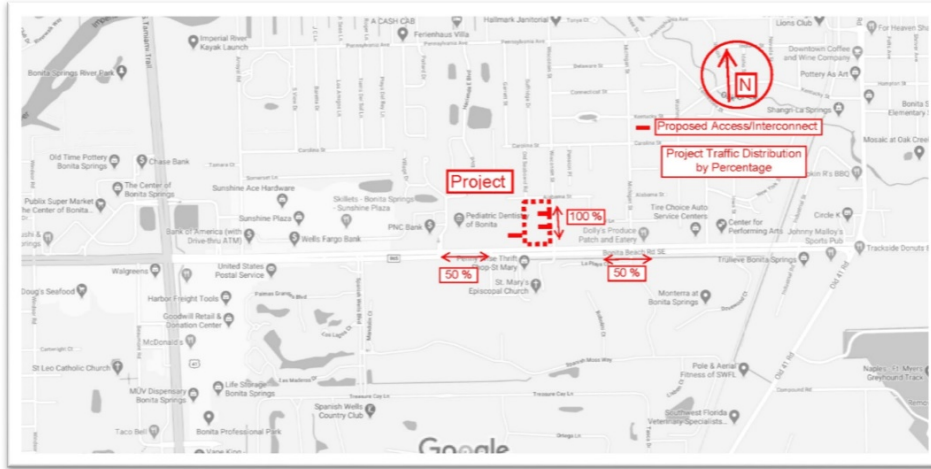
Site-trip generation: ITE 10th Edition - LUC 254

Trip distribution - assignment method: Engineer's Estimate – Refer to **Figure 2**

Traffic site access: Northern Access – 60% to/from Wisconsin Street; Southern Access – 40% to/from Wisconsin Street; South Interconnect to adjacent property to the west – relieve traffic friction on Bonita Beach Road.

Traffic growth rate: growth rate 2% minimum or historical traffic count data as contained within Bonita Springs Traffic Count Report, as applicable.

Figure 2 – Project Trip Distribution Map by Percentage



Special Features: (from preliminary study or prior experience)

Accidents locations: N/A

Sight distance: N/A

Queuing: to be determined

Access location & configuration: N/A

Traffic control: MUTCD

Signal system location & progression needs: N/A

On-site parking needs: N/A

Data Sources: ITE Trip Generation Manual 10th Edition – OTISS Software

Base maps: N/A

Prior study reports: N/A

Access policy and jurisdiction: N/A

Review process: N/A

Requirements: N/A

Miscellaneous: N/A

SIGNATURES

Norman Trebilcock

Study Preparer—Norman Trebilcock

Appendix C:

ITE Trip Generation Calculations

Land Use: 254 Assisted Living

Description

An assisted living complex is a residential setting that provides either routine general protective oversight or assistance with activities necessary for independent living to mentally or physically limited persons. It commonly has separate living quarters for residents. Its services typically include dining, housekeeping, social and physical activities, medication administration, and transportation. Alzheimer's and ALS care are commonly offered by these facilities, though the living quarters for these patients may be located separately from the other residents. Assisted care commonly bridges the gap between independent living and nursing homes. In some areas of the country, assisted living residences may be called personal care, residential care, or domiciliary care. Staff may be available at an assisted care facility 24 hours a day, but skilled medical care—which is limited in nature—is not required. Congregate care facility (Land Use 253), continuing care retirement community (Land Use 255), and nursing home (Land Use 620) are related uses.

Additional Data

The rooms in these facilities may be private or shared accommodations, consisting of either a single room or a small apartment-style unit with a kitchenette and living space.

Time-of-day distribution data for this land use are presented in Appendix A. For the four general urban/suburban sites with data, the overall highest vehicle volumes during the AM and PM on a weekday were counted between 11:30 a.m. and 12:30 p.m. and 12:30 and 1:30 p.m., respectively.

The sites were surveyed in the 1980s, the 1990s, the 2000s, and the 2010s in New Jersey, New York, Oregon, Pennsylvania, Tennessee, and Texas.

Source Numbers

244, 573, 581, 611, 725, 876, 877, 912

PERIOD SETTING

Analysis Name : PM Peak Hour
Project Name : Erdman - Trip Gen Comparison **No :**
Date: 9/8/2021 **City:**
State/Province: **Zip/Postal Code:**
Country: **Client Name:**
Analyst's Name: **Edition:** Trip Gen Manual, 10th Ed

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
254 - Assisted Living (General Urban/Suburban)	1000 Sq. Ft. GFA	95 ⁽⁰⁾	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Average 0.48	14 ⁽¹⁾ 30%	32 ⁽¹⁾ 70%	46 ⁽¹⁾
254 - Assisted Living - 1 (General Urban/Suburban)	Beds	132	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Average 0.26	13 38%	21 62%	34
254 - Assisted Living - 2 (General Urban/Suburban)	Occupied Beds	132 ⁽⁰⁾	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Average 0.29	19 ⁽¹⁾ 50%	19 ⁽¹⁾ 50%	38 ⁽¹⁾

⁽⁰⁾ indicates size out of range.
⁽¹⁾ indicates small sample size, use carefully.

ITE Trip Generation Manual 10th Edition – Trip Generation for Proposed Buildout Conditions

Project Name: Erdman		No:					
Date: 5/11/2021		City:					
State/Province:		Zip/Postal Code:					
Country:		Client Name:					
Analyst's Name:		Edition:		Trip Gen Manual, 10th Ed			

LAND USE	SIZE	DAILY		AM PEAK HOUR		PM PEAK HOUR	
		Entry	Exit	Entry	Exit	Entry	Exit
254 - Assisted Living (General Urban/Suburban)	95 ⁽¹⁾	199	199	29	8	14	32
Reduction		0	0	0	0	0	0
Internal		0	0	0	0	0	0
Pass-by		0	0	0	0	0	0
Non-pass-by		199	199	29	8	14	32
Total		199	199	29	8	14	32
Total Reduction		0	0	0	0	0	0
Total Internal		0	0	0	0	0	0
Total Pass-by		0	0	0	0	0	0
Total Non-pass-by		199	199	29	8	14	32

(1) 1000 Sq. Ft. GFA

PERIOD SETTING							
Analysis Name : Daily		No :					
Project Name : Erdman		City:					
Date: 5/11/2021		Zip/Postal Code:					
State/Province:		Client Name:					
Country:		Edition:		Trip Gen Manual, 10th Ed			
Analyst's Name:							

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
254 - Assisted Living (General Urban/Suburban)	1000 Sq. Ft. GFA	95 ⁽⁰⁾	Weekday	Average 4.19	199 ⁽¹⁾ 50%	199 ⁽¹⁾ 50%	398 ⁽¹⁾

(0) indicates size out of range.
(1) indicates small sample size, use carefully.

PERIOD SETTING

Analysis Name : AM Peak Hour
Project Name : Erdman **No :**
Date: 5/11/2021 **City:**
State/Province: **Zip/Postal Code:**
Country: **Client Name:**
Analyst's Name: **Edition:** Trip Gen Manual, 10th Ed

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
254 - Assisted Living (General Urban/Suburban)	1000 Sq. Ft. GFA	95 ⁽⁰⁾	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Average 0.39	29 ⁽¹⁾ 78%	8 ⁽¹⁾ 22%	37 ⁽¹⁾

(0) indicates size out of range.
 (1) indicates small sample size, use carefully.

PERIOD SETTING

Analysis Name : PM Peak Hour
Project Name : Erdman **No :**
Date: 5/11/2021 **City:**
State/Province: **Zip/Postal Code:**
Country: **Client Name:**
Analyst's Name: **Edition:** Trip Gen Manual, 10th Ed

Land Use	Independent Variable	Size	Time Period	Method	Entry	Exit	Total
254 - Assisted Living (General Urban/Suburban)	1000 Sq. Ft. GFA	95 ⁽⁰⁾	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Average 0.48	14 ⁽¹⁾ 30%	32 ⁽¹⁾ 70%	46 ⁽¹⁾

(0) indicates size out of range.
 (1) indicates small sample size, use carefully.

Appendix D:

Bonita Springs 2020 Traffic Count Data (Excerpts)



FIGURE 1
CITY OF BONITA SPRINGS
TRAFFIC COUNT REPORT - 2020

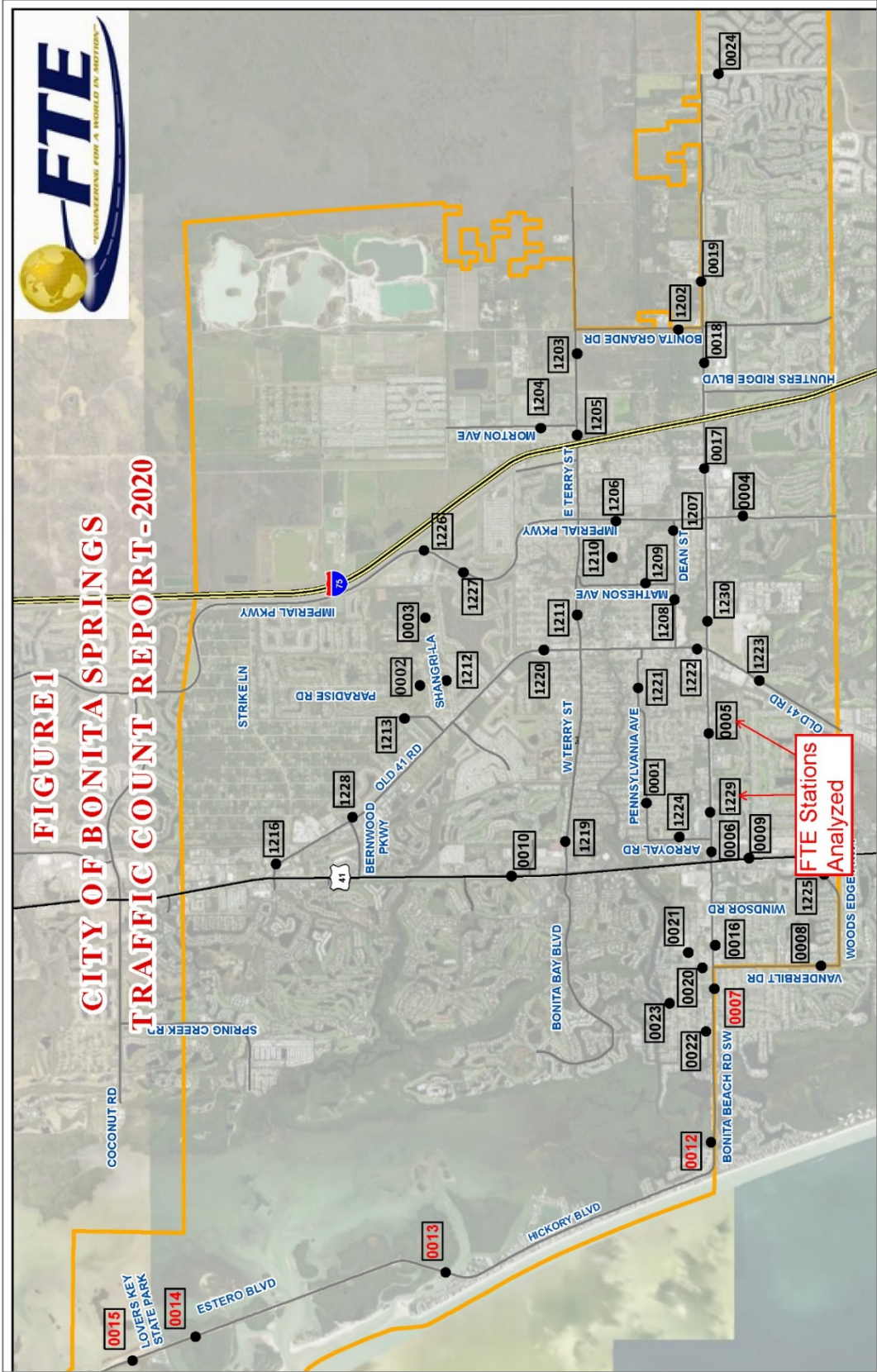




TABLE 1 2020 TRAFFIC COUNT SUMMARY
CITY OF BONITA SPRINGS, FL

FTE Station Number	Reference Lee County Station Number	Location	Start Date	Direction 1 and 2	3 Day Average Direction 1	3 Day Average Direction 2	ADT Direction 1 and 2	FDOT Seasonal Factor	AADT Direction 1 and 2	K Factor from Lee County	D Factor from Lee County	Peak Hour Two-way Service Volumes	Level Of Service (LOS)	Lee County PCS
1224	496	Arroyal Rd N of Bonita Beach Rd	3-Mar-20	N/S	3020	3741	6761	0.93	6300	10%	51%	630	D	42
0005	N/A	Bonita Beach Rd between Wisconsin & Michigan St	3-Mar-20	E/W	16672	16945	33617	0.93	31300	10%	51%	3130	C	42
0016	7	Bonita Beach Rd E. of Vandebilt Dr	3-Mar-20	E/W	15765	15884	31649	0.93	29400	12%	57%	3528	E	7
1229	221	Bonita Beach Rd East of Arroyal Rd	3-Mar-20	E/W	18264	19892	38156	0.93	35500	10%	51%	3550	C	42
0006	N/A	Bonita Beach Rd W. of Arroyal Rd	3-Mar-20	E/W	19345	18228	37573	0.93	34900	11%	60%	3839	C	92
1230	N/A	Bonita Beach W of Race Track Rd	3-Mar-20	E/W	22698	22023	44721	0.93	41600	10%	51%	4160	C	42
0012**	N/A	Bonita Beach Rd E. of Barefoot Blvd	3-Mar-20	E/W	12329	12339	24668	0.93	22900	12%	57%	2748	C	7
0007**	N/A	Bonita Beach Rd W. of Vandebilt Dr	3-Mar-20	E/W	15434	15287	30721	0.93	28600	12%	57%	3432	D	7
1202	519	Bonita Grande Dr N of Bonita Beach Rd	3-Mar-20	N/S	4937	4833	9770	0.93	9100	10%	51%	910	D	42
1213	N/A	Cockshell Dr N of Shangri-La Rd	3-Mar-20	N/S	1408	1004	2412	0.93	2200	11%	62%	242	C	16
1207	N/A	Dean St E of Lime St	3-Mar-20	E/W	1905	1886	3791	0.93	3500	10%	51%	350	C	42
1208	N/A	Dean St W of Matheson Ave	3-Mar-20	E/W	1204	1636	2840	0.93	2600	10%	51%	260	C	42
1205	N/A	E Terry St E of I-75	3-Mar-20	E/W	5911	6137	12048	0.93	11200	10%	51%	1120	D	42
1211	271	E Terry St E of Old 41 Rd	3-Mar-20	E/W	8268	9720	17988	0.93	16700	10%	51%	1670	C	42
1203	N/A	E Terry St W of Bonita Grande Dr	3-Mar-20	E/W	4120	4382	8502	0.93	7900	10%	51%	790	D	42
0013**	N/A	Estero Blvd N. of Hickory Blvd	3-Mar-20	N/S	5635	5776	11411	0.93	10600	10%	69%	1060	D	44
0015**	N/A	Estero Blvd N. of Lovers Key State Park	3-Mar-20	N/S	5196	5235	10431	0.93	9700	10%	69%	970	C	44
0014**	N/A	Estero Blvd S. of Lovers Key State Park	3-Mar-20	N/S	5420	5486	10906	0.93	10100	10%	69%	1010	C	44
1206	N/A	Imperial Pkwy Between Bonita Beach Rd and E Terry St	3-Mar-20	N/S	13637	13212	26849	0.93	25000	14%	61%	3500	C	63
1226	N/A	Imperial Pkwy N/O Shangri-La	3-Mar-20	N/S	10034	9892	19926	0.93	18500	14%	61%	2590	C	63
0004	N/A	Imperial Pkwy S. of Tropic Dr	3-Mar-20	N/S	12526	12270	24796	0.93	23100	14%	61%	3234	C	63
1227	N/A	Imperial Pkwy S/O Shangri-La	3-Mar-20	N/S	11013	10455	21468	0.93	20000	14%	61%	2800	C	63
1209	N/A	Matheson Ave N of Dean St	3-Mar-20	N/S	1097	1034	2131	0.93	2000	10%	51%	200	C	42



**TABLE 2 HISTORIC TRAFFIC COUNT SUMMARY
CITY OF BONITA SPRINGS, FL**

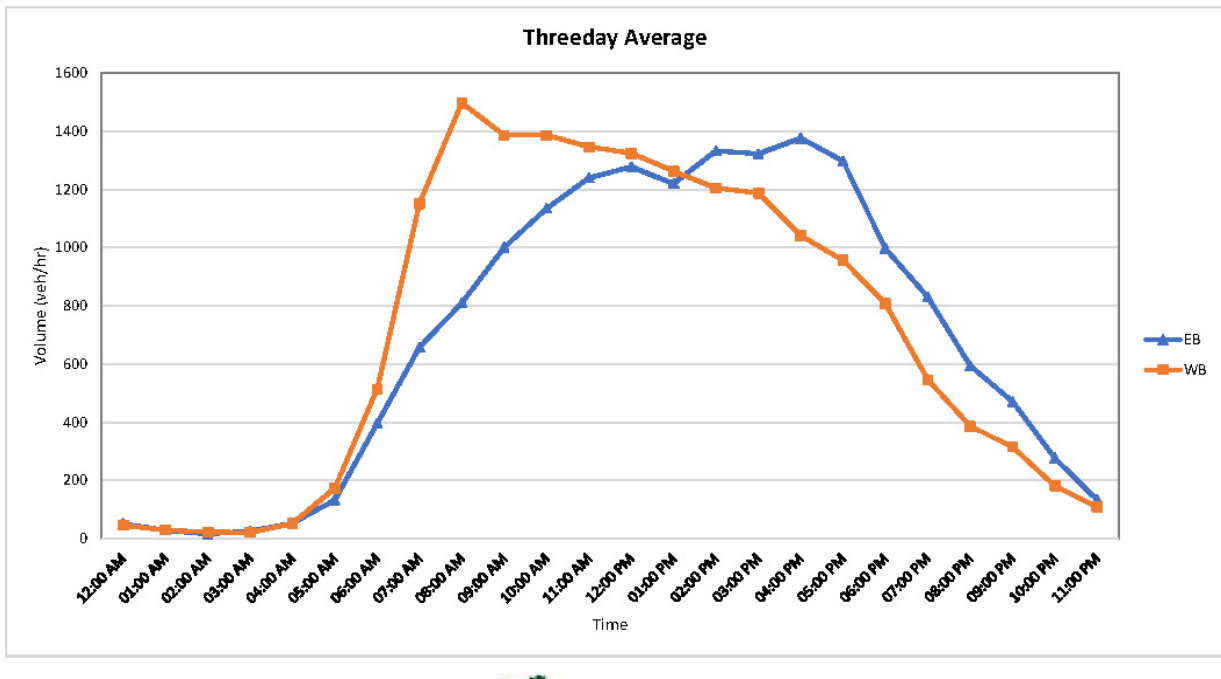
FTE Station Number	Reference Lee County Station Number	Location	Obtained from the Lee County Traffic Count Report 2012												Counts performed by FTE or obtained from Lee County				
			2003	2004	2005	2006	2007	2008	2009	2010	Feb-12	Jan-14	Feb-15	Feb-16	March-17	March-18	April-19	March-20	
1224	0496	Arroyal Rd N of Bonita Beach Rd	5000	6200	6300	6400	5300	4700	6000	5600	5000	5900	5500	6300	6100	6300	6700	6300	
0005	N/A	Bonita Beach Rd between Wisconsin & Michigan St	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	28300	26700	30500	31300		
0016	0007	Bonita Beach Rd E. of Vandebilt Dr	N/A	N/A	N/A	N/A	U/C	23400	24800	23000	23300	24600	25700	25900	30300	28600	29400		
1229	0221	Bonita Beach Rd East of Arroyal Rd	N/A	27000	25200	25600	26300	22900	22900	23600	N/A	N/A	N/A	32300	28300	32800	35500		
0006	N/A	Bonita Beach Rd W. of Arroyal Rd	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	30300	34500	34900		
1230	N/A	Bonita Beach W of Race Track Rd	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	36100	34900	41000	41600		
0012**	N/A	Bonita Beach Rd E. of Baseball Blvd	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	19400	19000	21300	22900		
0007**	N/A	Bonita Beach Rd W. of Vandebilt Dr	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	25300	24200	26800	28600		
1202	0519	Bonita Grank Dr N of Bonita Beach Rd	5400	7400	7100	8200	6800	5300	5300	5600	6100	5500	6200	6600	7200	7900	9100		
1213	N/A	Cockshell Dr N of Shangri-La Rd	N/A	N/A	N/A	N/A	N/A	N/A	1900	1900	2300	1700	1900	3700	2100	1600	2200		
1207	N/A	Dean St E of Line St	N/A	N/A	N/A	N/A	N/A	N/A	3400	3100	3200	2800	2700	3000	2600	3400	3500		
1208	N/A	Dean St W of Matheson Ave	N/A	N/A	N/A	N/A	N/A	N/A	2800	2300	2400	2000	2000	2400	2100	2600	2600		
1205	N/A	E Terry St E of I-75	N/A	N/A	N/A	N/A	N/A	N/A	8100	7900	7900	7800	8100	9000	8700	10100	11200		
1211	0271	E Terry St E of Old 41 Rd	9900	12000	13800	U/C	10000	13000	14400	14300	14800	13400	12700	14800	13200	15700	16700		
1203	N/A	E Terry St W of Bonita Grande Dr	N/A	N/A	N/A	N/A	N/A	N/A	4600	4500	4600	4400	4500	5600	5400	6900	7900		
0013**	N/A	Estero Blvd N. of Hickory Blvd	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	9100	9300	10600		
0015**	N/A	Estero Blvd N. of Lovess Key State Park	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	8600	9000	9700		
0014**	N/A	Estero Blvd S. of Lovess Key State Park	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	8800	9100	10100		
1206	N/A	Imperial Pkwy Between Bonita Beach Rd and E Terry St	N/A	N/A	N/A	N/A	N/A	N/A	N/A	16300	17400	19600	20600	23300	23300	27400	25000		
1226	N/A	Imperial Pkwy/NO Shangri-La	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	13000	15900	15700	19900	18300		
0004	N/A	Imperial Pkwy S. of Topick Dr	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	20200	25100	23100		
1227	N/A	Imperial Pkwy/SO Shangri-La	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	13800	17200	18000	21400	20000		
1209	N/A	Matheson Ave N of Dean St	N/A	N/A	N/A	N/A	N/A	N/A	1900	1700	1500	1800	1500	2100	1600	2000	2000		
1204	N/A	Minton Ave N of East Terry St	N/A	N/A	N/A	N/A	N/A	N/A	5800	5400	5700	5300	5300	5900	5600	6600	6600		
1223	N/A	Old 41 Rd Between Collier County Line to Bonita Beach Rd	12600	13700	14000	14000	13000	N/A	N/A	15200	14600	14100	14900	14700	15200	17600	17500		
1222	N/A	Old 41 Rd N of Bonita Beach Rd	16300	18500	17600	17400	18300	13200	15400	15000	14700	13300	13100	9000	8700	10500	12400		
1220	N/A	Old 41 Rd N of E/W Terry St	22000	24600	26500	26700	23300	19900	23800	23700	28300	25200	20700	18400	17700	19000	22000		
1216	N/A	Old 41 Rd S of US 41	13000	14200	15000	16000	13200	N/A	12000	12500	12200	12100	12000	11900	11800	13500	14200		
1228	N/A	Old 41 SO Bonewood Pkwy	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	13600	13900	13700	15700	16300		
0002	N/A	Paradise Rd N. of Shangri-La	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	2900	3300	3600		

0005-Bonita Beach Rd btw Wisconsin & Michigan
Bonita Springs, FL



8250 Pascal Dr
Punta Gorda, FL
Ph# (941) 639 2818
Fax# (941) 639 4851

Time	Tuesday 3/3/2020		Wednesday 3/4/2020		Thursday 3/5/2020		Threeday Average	
	EB	WB	EB	WB	EB	WB	EB	WB
12:00 AM	46	47	49	37	57	55	51	46
01:00 AM	30	25	29	26	27	37	29	29
02:00 AM	20	20	13	16	16	33	16	23
03:00 AM	31	15	25	28	22	19	26	21
04:00 AM	55	55	52	53	51	49	53	52
05:00 AM	144	166	136	182	118	172	133	173
06:00 AM	392	520	399	491	398	532	396	514
07:00 AM	655	1139	681	1153	635	1162	657	1151
08:00 AM	830	1456	787	1526	814	1508	810	1497
09:00 AM	980	1418	974	1379	1050	1361	1001	1386
10:00 AM	1068	1344	1170	1438	1167	1375	1135	1386
11:00 AM	1188	1323	1244	1313	1287	1402	1240	1346
12:00 PM	1266	1288	1286	1394	1279	1289	1277	1324
01:00 PM	1213	1259	1227	1219	1221	1309	1220	1262
02:00 PM	1346	1164	1314	1218	1337	1232	1332	1205
03:00 PM	1411	1162	1270	1136	1285	1265	1322	1188
04:00 PM	1359	997	1420	1082	1350	1083	1378	1041
05:00 PM	1315	966	1295	958	1281	946	1297	957
06:00 PM	968	762	1033	861	991	798	997	807
07:00 PM	727	537	876	574	886	527	830	546
08:00 PM	563	376	631	371	587	410	584	386
09:00 PM	451	302	491	311	469	331	470	315
10:00 PM	273	155	276	217	283	170	277	181
11:00 PM	115	107	134	102	150	119	133	109
Day Total	16446	16603	16812	17065	16761	17164	16672	16945
Combine Totals	33049		33877		33925		33617	

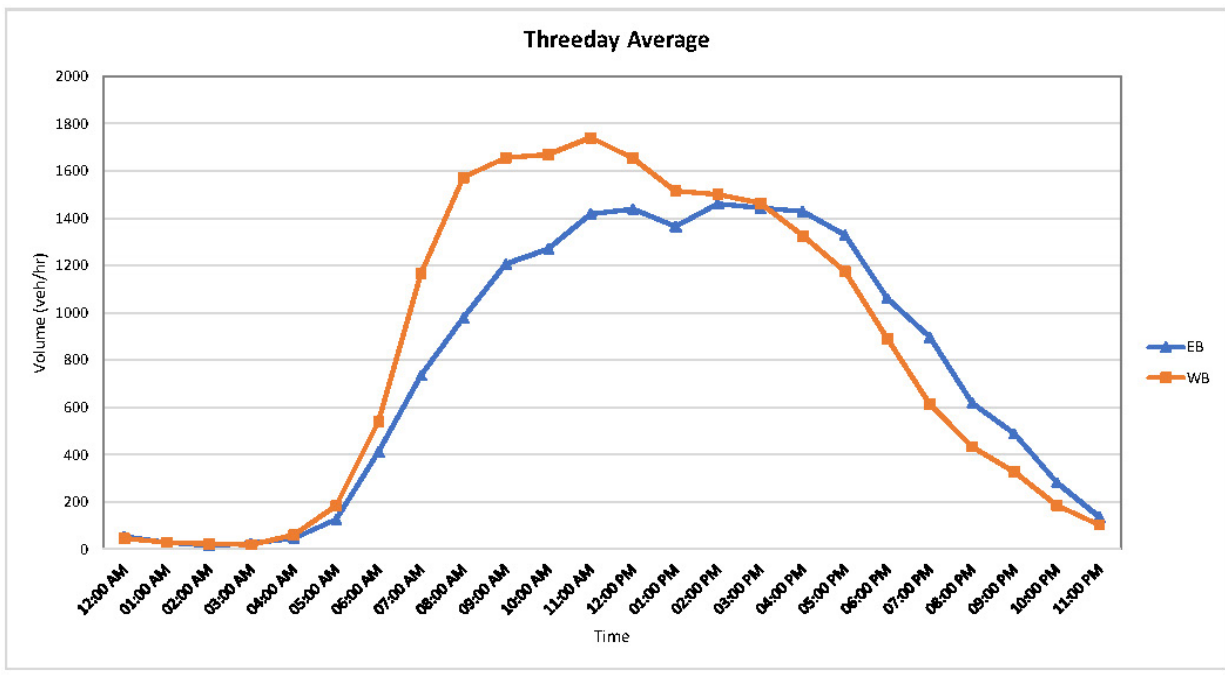


1229-Bonita Beach Rd East of Arroyal Rd
Bonita Springs, FL



8250 Pascal Dr
Punta Gorda, FL
Ph# (941) 639 2818
Fax# (941) 639 4851

Time	Tuesday		Wednesday		Thursday		Threeday Average	
	3/3/2020		3/4/2020		3/5/2020		EB	WB
	EB	WB	EB	WB	EB	WB		
12:00 AM	49	49	53	42	60	51	54	47
01:00 AM	30	25	29	28	27	34	29	29
02:00 AM	18	17	11	19	17	33	15	23
03:00 AM	30	17	26	25	22	14	26	19
04:00 AM	50	62	47	64	43	57	47	61
05:00 AM	128	213	137	179	115	159	127	184
06:00 AM	402	621	399	496	436	505	412	541
07:00 AM	718	1259	742	1156	749	1083	736	1166
08:00 AM	1019	1684	977	1547	940	1489	979	1573
09:00 AM	1158	1884	1253	1543	1208	1539	1206	1655
10:00 AM	1230	1659	1249	1811	1331	1536	1270	1669
11:00 AM	1406	1823	1398	1753	1448	1643	1417	1740
12:00 PM	1415	1684	1469	1743	1432	1531	1439	1653
01:00 PM	1404	1665	1356	1385	1336	1496	1365	1515
02:00 PM	1460	1474	1442	1488	1478	1537	1460	1500
03:00 PM	1579	1498	1371	1333	1380	1562	1443	1464
04:00 PM	1413	1316	1488	1306	1402	1355	1428	1326
05:00 PM	1324	1231	1365	1163	1297	1127	1329	1174
06:00 PM	1052	875	1082	899	1049	900	1061	891
07:00 PM	803	612	951	660	937	571	897	614
08:00 PM	594	404	646	454	615	442	618	433
09:00 PM	468	334	500	321	495	324	488	326
10:00 PM	271	163	281	215	293	180	282	186
11:00 PM	125	111	137	94	146	103	136	103
Day Total	18146	20680	18389	19724	18256	19271	18264	19892
Combine Totals	38826		38113		37527		38156	



2018 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: DISTRICT
 CATEGORY: 1252 BONITA SPRINGS AREA

WEEK	DATES	SF	MOCF: 0.95 PSCF
1	01/01/2018 - 01/06/2018	1.00	1.05
2	01/07/2018 - 01/13/2018	1.00	1.05
3	01/14/2018 - 01/20/2018	0.99	1.04
4	01/21/2018 - 01/27/2018	0.98	1.03
* 5	01/28/2018 - 02/03/2018	0.97	1.02
* 6	02/04/2018 - 02/10/2018	0.95	1.00
* 7	02/11/2018 - 02/17/2018	0.94	0.99
* 8	02/18/2018 - 02/24/2018	0.94	0.99
* 9	02/25/2018 - 03/03/2018	0.94	0.99
*10	03/04/2018 - 03/10/2018	0.93	0.98
*11	03/11/2018 - 03/17/2018	0.93	0.98
*12	03/18/2018 - 03/24/2018	0.94	0.99
*13	03/25/2018 - 03/31/2018	0.95	1.00
*14	04/01/2018 - 04/07/2018	0.95	1.00
*15	04/08/2018 - 04/14/2018	0.96	1.01
*16	04/15/2018 - 04/21/2018	0.97	1.02
*17	04/22/2018 - 04/28/2018	0.98	1.03
18	04/29/2018 - 05/05/2018	1.00	1.05
19	05/06/2018 - 05/12/2018	1.01	1.06
20	05/13/2018 - 05/19/2018	1.02	1.07
21	05/20/2018 - 05/26/2018	1.03	1.08
22	05/27/2018 - 06/02/2018	1.03	1.08
23	06/03/2018 - 06/09/2018	1.04	1.09
24	06/10/2018 - 06/16/2018	1.04	1.09
25	06/17/2018 - 06/23/2018	1.05	1.11
26	06/24/2018 - 06/30/2018	1.05	1.11
27	07/01/2018 - 07/07/2018	1.06	1.12
28	07/08/2018 - 07/14/2018	1.06	1.12
29	07/15/2018 - 07/21/2018	1.07	1.13
30	07/22/2018 - 07/28/2018	1.06	1.12
31	07/29/2018 - 08/04/2018	1.05	1.11
32	08/05/2018 - 08/11/2018	1.04	1.09
33	08/12/2018 - 08/18/2018	1.03	1.08
34	08/19/2018 - 08/25/2018	1.04	1.09
35	08/26/2018 - 09/01/2018	1.04	1.09
36	09/02/2018 - 09/08/2018	1.05	1.11
37	09/09/2018 - 09/15/2018	1.05	1.11
38	09/16/2018 - 09/22/2018	1.04	1.09
39	09/23/2018 - 09/29/2018	1.03	1.08
40	09/30/2018 - 10/06/2018	1.02	1.07
41	10/07/2018 - 10/13/2018	1.01	1.06
42	10/14/2018 - 10/20/2018	1.00	1.05
43	10/21/2018 - 10/27/2018	1.00	1.05
44	10/28/2018 - 11/03/2018	1.00	1.05
45	11/04/2018 - 11/10/2018	1.00	1.05
46	11/11/2018 - 11/17/2018	1.00	1.05
47	11/18/2018 - 11/24/2018	1.00	1.05
48	11/25/2018 - 12/01/2018	1.00	1.05
49	12/02/2018 - 12/08/2018	1.00	1.05
50	12/09/2018 - 12/15/2018	1.00	1.05
51	12/16/2018 - 12/22/2018	1.00	1.05
52	12/23/2018 - 12/29/2018	0.99	1.04
53	12/30/2018 - 12/31/2018	0.99	1.04

* PEAK SEASON

26-FEB-2019 18:31:28

830UPD

1_1252_PKSEASON.TXT

Appendix E:

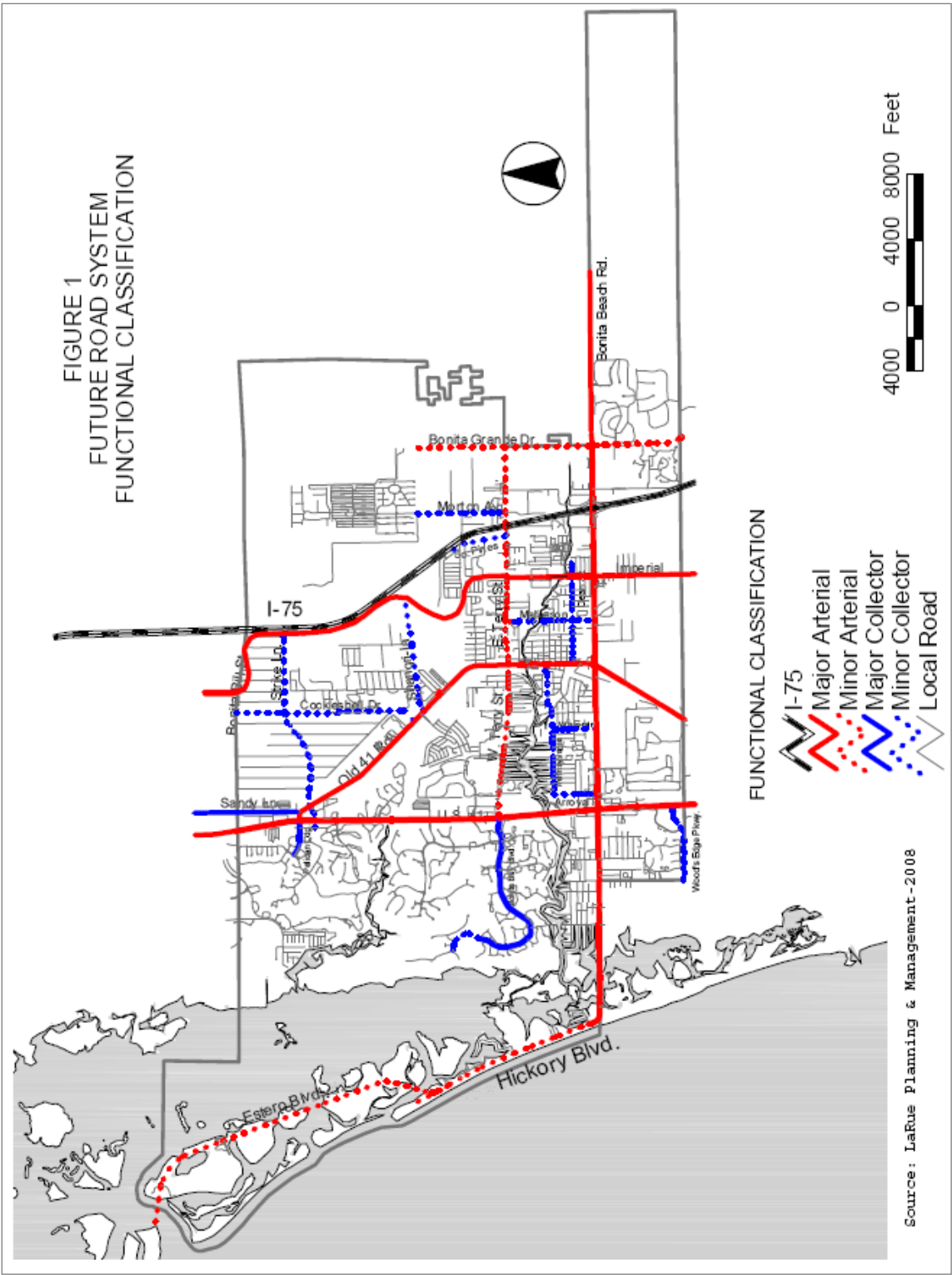
Lee County Service Volumes on Arterials (Excerpt)

ROAD SEGMENT	FROM	TO	TRAFFIC DISTRIC	LENGTH (MILE)	ROAD TYPE	SERVICE VOLUMES (PEAK HOUR--PEAK DIRECTION)			SERVICE VOLUMES (PEAK HOUR--BOTH DIRECTIONS)						
						A	B	C	A	B	C				
ALABAMA RD	SR 82	MILWAUKEE BLVD	3	1.9	2LN	110	260	440	590	990	210	490	820	1,100	1,840
ALEXANDER BELL BLVD	SR 82	HOMESTEAD RD	3	1.7	2LN	110	260	440	590	990	210	490	820	1,100	1,840
ALICO RD	SR 82	MILWAUKEE BLVD	3	2.3	2LN	120	290	480	660	990	230	540	890	1,230	1,840
	SR 82	LEELAND HEIGHTS	3	3.4	2LN	120	290	480	660	990	230	540	890	1,230	1,840
	US 41	DUSTY RD	4	0.5	4LD	0	1,930	1,980	1,980	1,980	0	3,720	3,800	3,800	3,800
		DUSTY RD	4	1.6	6LD	0	2,960	2,960	2,960	2,960	0	5,700	5,700	5,700	5,700
		LEE RD	4	0.8	6LD	0	2,960	2,960	2,960	2,960	0	5,700	5,700	5,700	5,700
		THREE OAKS PKWY	4	0.5	6LD	0	2,960	2,960	2,960	2,960	0	5,700	5,700	5,700	5,700
		1-75	4	0.5	6LD	0	2,960	2,960	2,960	2,960	0	5,700	5,700	5,700	5,700
		BEN HILL GRIFFIN PKWY	3	0.5	6LD	0	2,960	2,960	2,960	2,960	0	5,700	5,700	5,700	5,700
		CORKSCREW RD	3	6.9	2LN	70	280	540	760	1,100	140	540	1,040	1,470	2,120
BEN HILL GRIFFIN PKWY	CORKSCREW RD	FGCU ENTRANCE	3	2.2	4LD	940	2,000	2,000	2,000	2,000	1,750	3,690	3,690	3,690	3,690
	FGCU ENTRANCE	COLLEGE CLUB DR	3	1.8	4LD	940	2,000	2,000	2,000	2,000	1,750	3,690	3,690	3,690	3,690
	COLLEGE CLUB DR	ALICO RD	3	0.5	6LD	1,450	3,000	3,000	3,000	3,000	2,690	5,560	5,560	5,560	5,560
BONITA BEACH RD	HICKORY BLVD	VANDERBILT DR	8	1.5	4LD	0	530	1,900	1,900	1,900	0	1,000	3,600	3,600	3,600
	VANDERBILT DR	US 41	8	0.7	4LD	0	530	1,900	1,900	1,900	0	1,000	3,600	3,600	3,600
	US 41	HACIENDA VILLAGE	8	0.7	4LD	0	340	1,860	1,860	1,860	0	630	3,450	3,450	3,450
	HACIENDA VILLAGE	OLD 41	8	1.0	4LD	0	340	1,860	1,860	1,860	0	630	3,450	3,450	3,450
	OLD 41	IMPERIAL ST	8	1.1	6LD	0	530	2,800	2,800	2,800	0	990	5,190	5,190	5,190
	IMPERIAL ST	1-75	8	0.7	6LD	0	530	2,800	2,800	2,800	0	990	5,190	5,190	5,190
	1-75	BONITA GRANDE DR	8	0.7	4LD	0	1,690	2,020	2,020	2,020	0	3,130	3,750	3,750	3,750
	BONITA GRANDE DR	END OF CO. MAINTAINEL	8	1.0	4LD	0	1,690	2,020	2,020	2,020	0	3,130	3,750	3,750	3,750
BOYSCOUT RD	SUMMERLIN RD	CLAYTON CT	1	0.3	6LN	0	0	940	2,520	2,520	0	0	1,700	4,550	
	CLAYTON CT	US 41	1	0.2	6LN	0	0	940	2,520	2,520	0	0	1,700	4,550	
BUCKINGHAM RD	SR 82	ORANGE RIVER BLVD	3	7.8	2LN	60	190	430	620	990	120	360	820	1,170	1,870
BURN STORE RD	ORANGE RIVER BLVD	SR 80	3	2.6	2LN	60	190	430	620	990	120	360	820	1,170	1,870
	SR 78	VAN BUREN PKWY	5	3.6	4LD	870	1,490	2,100	2,660	2,950	1,530	2,620	3,690	4,670	5,180
	VAN BUREN PKWY	COUNTY LINE	5	6.3	2LN	150	390	640	880	1,140	270	690	1,130	1,550	2,010
BUSINESS 41	SR 80	N. END OF BRIDGE	2	1.2	6LB	1,440	2,440	3,450	4,420	5,120	2,220	3,760	5,310	6,800	7,880
	N. END OF BRIDGE	PONDELLA RD	2	0.5	6LD	0	2,460	2,780	2,780	2,780	0	3,790	4,270	4,270	4,270
	PONDELLA RD	SR 78	2	1.1	6LD	0	2,460	2,780	2,780	2,780	0	3,790	4,270	4,270	4,270
	SR 78	LITTLETON RD	2	1.3	4LD	0	1,580	1,840	1,840	1,840	0	2,440	2,870	2,870	2,870
CAPE CORAL BRIDGE	LITTLETON RD	US 41	2	1.3	4LD	0	1,580	1,840	1,840	1,840	0	2,440	2,870	2,870	2,870
	DEL PRADO BLVD	WEST END OF BRDGG	4 & 5	0.4	4LD	0	0	1,340	1,900	1,900	0	0	2,280	3,230	3,230
	WEST END OF BRDGG	MCGREGOR BLVD	4 & 5	1.3	4LB	1,120	1,900	2,680	3,440	4,000	1,910	3,230	4,540	5,820	6,790
COLLEGE PKWY	MCGREGOR BLVD	WINKLER RD	4	0.8	6LD	0	0	1,290	2,800	2,980	0	0	2,190	4,750	5,040
	WINKLER RD	WHISKEY CREEK DR	4	0.8	6LD	0	0	1,290	2,800	2,980	0	0	2,190	4,750	5,040
	WHISKEY CREEK DR	SUMMERLIN RD	4	0.8	6LD	0	0	1,290	2,800	2,980	0	0	2,190	4,750	5,040
	SUMMERLIN RD	US 41	4	0.9	6LD	0	0	1,290	2,800	2,980	0	0	2,190	4,750	5,040
COLONIAL BLVD	MCGREGOR BLVD	SUMMERLIN RD	1	0.4	6LD	0	0	1,530	2,840	2,840	0	0	2,560	4,740	4,740
	SUMMERLIN RD	US 41	1	0.7	6LD	0	0	1,530	2,840	2,840	0	0	2,560	4,740	4,740
	US 41	FOWLER ST	1	0.5	6LD	0	0	1,530	2,840	2,840	0	0	2,560	4,740	4,740
	FOWLER ST	METRO PKWY	1	0.8	6LD	0	0	1,530	2,840	2,840	0	0	2,560	4,740	4,740
	METRO PKWY	WINKLER AVE	1	2.1	6LD	0	2,630	3,100	3,100	3,100	0	4,390	5,180	5,180	5,180
	WINKLER AVE	SIX MILE PKWY	1	0.7	6LD	0	2,630	3,100	3,100	3,100	0	4,390	5,180	5,180	5,180

Appendix F:

**Bonita Springs Future Road System Functional
Classification**

FIGURE 1
FUTURE ROAD SYSTEM
FUNCTIONAL CLASSIFICATION



Source: LaRue Planning & Management - 2008

Appendix G:

2020 Lee County Concurrency Report (Excerpt)

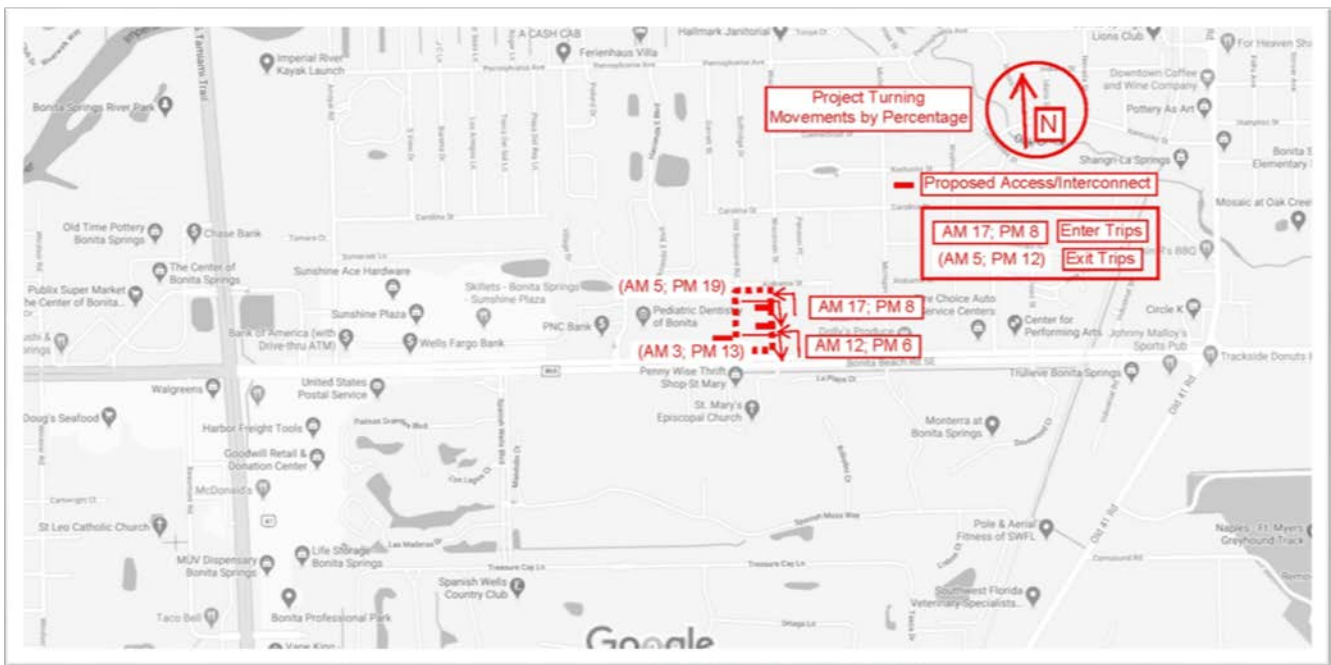
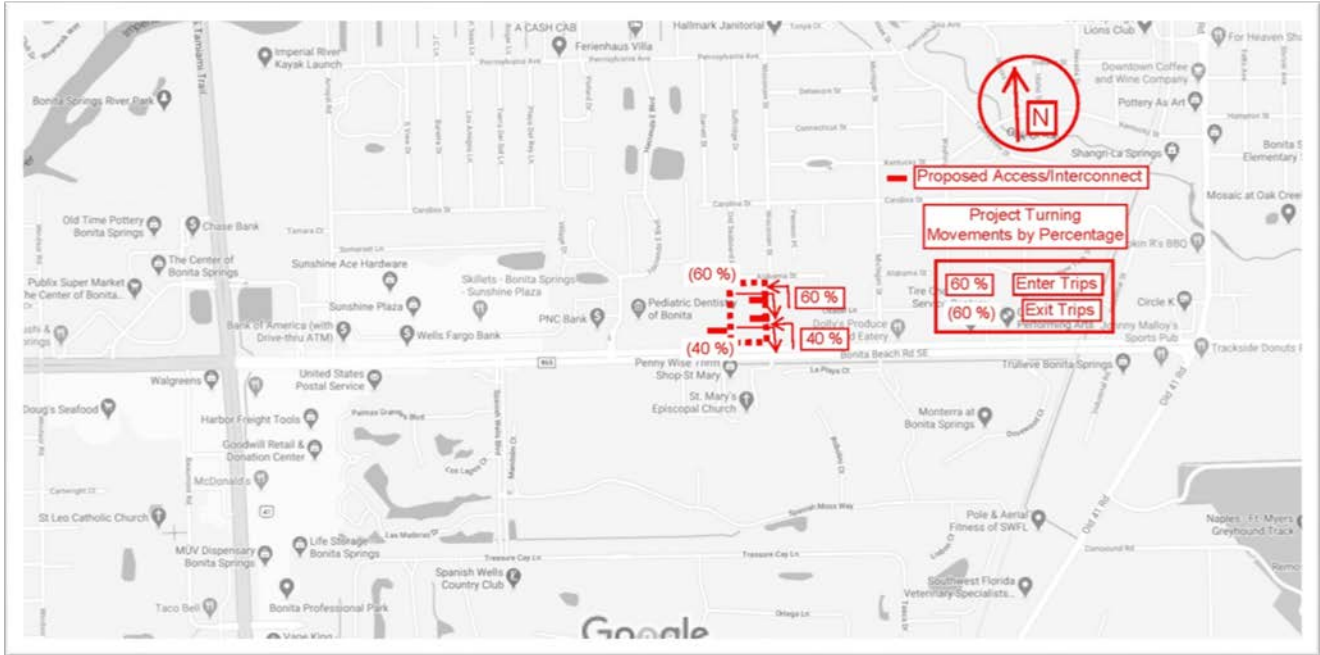
5/25/2020

LEE COUNTY Road Link Volumes (County- and State-Maintained Roadways)

LINK NO.	NAME	ROADWAY LINK		ROAD TYPE	PERFORMANCE STANDARD		2019 100TH HIGHEST HOUR		FORECAST FUTURE		NOTES
		FROM	TO		LOS	CAPACITY	LOS	VOLUME	LOS	VOLUME	
00100	A & W BULB RD	GLADIOLUS DR	McGREGOR BLVD	2LN	E	860	C	380	C	399	
00200	ALABAMA RD	SR 82	MILWAUKEE BLVD	2LN	E	990	C	270	C	284	
00300	ALABAMA RD	MILWAUKEE BLVD	HOMESTEAD RD	2LN	E	990	D	481	D	506	
00400	ALEXANDER BELL	SR 82	MILWAUKEE BLVD	2LN	E	990	D	553	D	581	
00500	ALEXANDER BELL	MILWAUKEE BLVD	LEELAND HEIGHTS	2LN	E	990	D	553	D	626	Shadow Lakes
00590	ALICO RD	US 41	DUSTY RD	4LD	E	1,980	B	1,107	B	1,163	
00600	ALICO RD	DUSTY RD	LEE RD	6LD	E	2,960	B	1,107	B	1,468	Alico Business Park
00700	ALICO RD	LEE RD	THREE OAKS PKWY	6LD	E	2,960	B	1,107	B	1,355	Three Oaks Regional Center
00800	ALICO RD	THREE OAKS PKWY	I-75	6LD	E	2,960	B	2,438	B	2,563	EEPCO Study
00900	ALICO RD	I-75	BEN HILL GRIFFIN BLVD	6LD	E	2,960	B	1,246	B	1,393	EEPCO Study
01000	ALICO RD	BEN HILL GRIFFIN BLVD	GREEN MEADOW DR	2LN	E	1,100/1,840	C	385	E	789	4 Ln constr 2018, EEPCO Study*
01050	ALICO RD	GREEN MEADOW DR	CORKSCREW RD	2LN	E	1,100	B	131	B	224	EEPCO Study
01200	BABCOCK RD	US 41	ROCKEFELLER CIR	2LN	E	860	C	55	C	162	old count
01400	BARRETT RD	PONDELLA RD	PINE ISLAND RD	2LN	E	860	C	103	C	116	old count projection(2009)
01500	BASS RD	SUMMERLIN RD	GLADIOLUS DR	4LN	E	1,790	C	612	C	870	
01600	BAYSHORE RD (SR 78)	BUS 41	NEW POST RD/HART RD	4LD	D	2,100	C	1,690	C	1,750	
01700	BAYSHORE RD (SR 78)	HART RD	SLATER RD	4LD	D	2,100	C	1,703	C	1,831	
01800	BAYSHORE RD (SR 78)	SLATER RD	I-75	4LD	D	2,100	C	1,285	C	1,683	
01900	BAYSHORE RD (SR 78)	I-75	NALLE RD	2LN	D	924	C	710	C	678	
02000	BAYSHORE RD (SR 78)	NALLE RD	SR 31	2LN	D	924	C	515	C	520	
02100	BEN HILL GRIFFIN PKWY	CORKSCREW RD	FGCU ENTRANCE	4LD	E	2,000	B	1,402	B	1,474	
02200	BEN HILL GRIFFIN PKWY	FGCU BOULEVARD S	COLLEGE CLUB DR	4LD	E	2,000	B	1,402	B	1,505	
02250	BEN HILL GRIFFIN PKWY	COLLEGE CLUB DR	ALICO RD	6LD	E	3,000	B	1,127	B	1,219	
26950	BEN HILL GRIFFIN PKWY	ALICO RD	TERMINAL ACCESS RD	4LD	E	1,980	A	1,017	A	1,069	
02300	BETH STACEY BLVD	23RD ST	HOMESTEAD RD	2LN	E	860	C	346	C	548	
02400	BONITA BEACH RD	HICKORY BLVD	VANDERBILT DR	4LD	E	1,900	C	581	C	611	Constrained In City Plan *
02500	BONITA BEACH RD	VANDERBILT DR	US 41	4LD	E	1,900	C	1,500	C	1,608	Constrained In City Plan
02600	BONITA BEACH RD	US 41	OLD 41	4LD	E	1,860	C	1,167	C	1,318	Constrained, old count projection(2010)
02700	BONITA BEACH RD	OLD 41	WILKINSON ST	6LD	E	2,800	C	1,004	C	1,099	Constrained In City Plan(2010)
02800	BONITA BEACH RD	IMPERIAL ST	W OF I-75	6LD	E	2,800	C	2,132	C	2,241	Constrained In City Plan
02900	BONITA BEACH RD	E OF I-75	BONITA GRAND DR	4LD	E	2,020	B	671	B	705	Constrained In City Plan
02950	BONITA BEACH RD	BONITA GRANDE DR	END OF CO. MAINTAINED	4LD	E	2,020	B	671	B	705	Constrained In City Plan
03100	BONITA GRANDE DR	BONITA BEACH RD	E TERRY ST	2LN	E	860	D	692	E	782	old count projection(2009)
03200	BOYSCOUT RD	SUMMERLIN RD	US 41	6LN	E	2,520	E	1,776	E	1,866	
03300	BRANTLEY RD	SUMMERLIN RD	US 41	2LN	E	860	C	276	C	290	
03400	BRIARCLIFF RD	US 41	TRIPLE CROWN CT	2LN	E	860	C	197	C	218	
03500	BROADWAY RD (ALVA)	SR 80	N. RIVER RD	2LN	E	860	C	269	C	304	old count projection(2009)
03700	BUCKINGHAM RD	SR 82	GUNNERY RD	2LN	E	990	C	405	C	426	
03730	BUCKINGHAM RD	GUNNERY RD	ORANGE RIVER BLVD	2LN	E	990	C	423	D	445	
03800	BUCKINGHAM RD	ORANGE RIVER BLVD	SR 80	2LN	E	990	D	538	F	1,207	Buckingham 345 & Portico
03900	BURNT STORE RD	SR 78	VAN BUREN PKWY	4LD	E	2,950	B	942	B	990	
04000	BURNT STORE RD	VAN BUREN PKWY	COUNTY LINE	2LN	E	1,140	C	465	C	563	
04200	BUS 41 (N TAMIAMI TR, SR 78)	CITY LIMITS (N END EDIS)	PONDELLA RD	6LD	D	3,171	C	1,471	C	1,673	
04300	BUS 41 (N TAMIAMI TR, SR 78)	PONDELLA RD	SR 78	6LD	D	3,171	C	1,471	C	1,673	
04400	BUS 41 (N TAMIAMI TR, SR 78)	SR 78	LITTLETON RD	4LD	D	2,100	C	959	C	1,003	
04500	BUS 41 (N TAMIAMI TR, SR 78)	LITTLETON RD	US 41	4LD	D	2,100	C	552	C	575	
04500	CAPE CORAL BRIDGE	DEL PRADO BLVD	McGREGOR BLVD	4LB	E	4,000	D	3,074	D	3,231	
04700	CAPTIVA DR	BLIND PASS	SOUTH SEAS	2LN	E	860	C	267	C	302	Constrained, old count(2010)
04800	CEMETERY RD	BUCKINGHAM RD	HIGGINS AVE	2LN	E	860	C	242	C	255	
04900	CHAMBERLIN PKWY	AIRPORT ENT	DANIELS PKWY	4LN	E	1,790	C	105	C	150	Port Authority maintained
05000	COCONUT RD	WEST END	VIA VENETTO BLVD	2LN	E	860	C	268	C	420	Estero maintains to east
05100	COLLEGE PKWY	McGREGOR BLVD	WINKLER RD	6LD	E	2,980	D	2,292	D	2,409	
05200	COLLEGE PKWY	WINKLER RD	WHISKEY CREEK DR	6LD	E	2,980	D	2,059	D	2,164	
05300	COLLEGE PKWY	WHISKEY CREEK DR	SUMMERLIN RD	6LD	E	2,980	D	2,059	D	2,164	
05400	COLLEGE PKWY	SUMMERLIN RD	US 41	6LD	E	2,980	D	1,825	D	1,918	
05500	COLONIAL BLVD	McGREGOR BLVD	SUMMERLIN RD	6LD	E	2,840	F	3,049	F	3,204	
05600	COLONIAL BLVD	SUMMERLIN RD	US 41	6LD	E	2,840	F	2,882	F	3,028	
06200	COLONIAL BLVD	DYNASTY DR	SR 82	6LD	D	3,040	B	2,117	C	2,225	*
06300	COLUMBUS BLVD	SR 82	MILWAUKEE BLVD	2LN	E	860	C	100	C	105	
06400	CONSTITUTION BLVD	US 41	CONSTITUTION CIR	2LN	E	860	C	217	C	245	old count projection(2010)
06500	CORBETT RD	SR 78 (PINE ISLAND RD)	LITTLETON RD	2LN	E	860	C	22	C	225	old count, added VA clinic(2009)
06600	CORKSCREW RD	US 41	THREE OAKS PKWY	4LD	E	1,900	C	1,007	C	1,272	Galleria at Corkscrew
06700	CORKSCREW RD	THREE OAKS PKWY	W OF I-75	4LD	E	1,900	F	2,129	F	2,386	Estero Crossing
06800	CORKSCREW RD	E OF I-75	BEN HILL GRIFFIN BLVD	4LD	E	1,900	C	1,194	C	1,255	
06900	CORKSCREW RD	BEN HILL GRIFFIN BLVD	ALICO RD	4LD	E	1,960	C	466	C	678	
07000	CORKSCREW RD	ALICO RD	COUNTY LINE	2LN	E	1,140	C	466	D	793	EEPCO Study, The Place
07100	COUNTRY LAKES BLVD	LUCKETT RD	TICE ST	2LN	E	860	C	143	C	293	old count projection(2010)
07200	CRYSTAL DR	US 41	METRO PKWY	2LN	E	860	C	496	C	521	
07300	CRYSTAL DR	METRO PKWY	PLANTATION RD	2LN	E	860	C	324	C	340	

Appendix H:

Project Turning Movement Exhibits

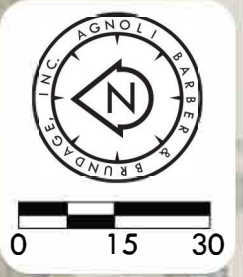


Appendix I:

Site Access – Turn Lane Warrant Analysis

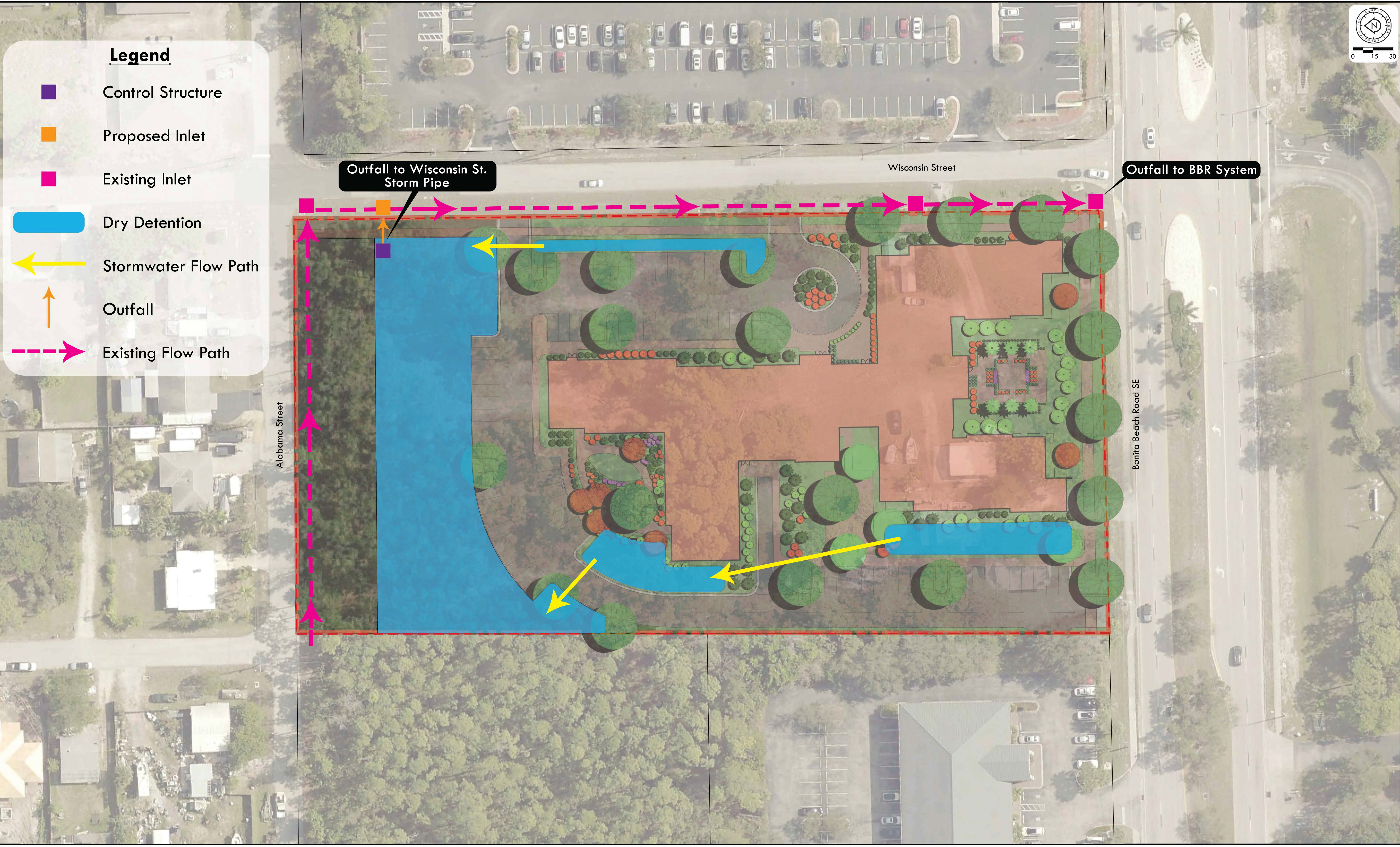
Intersection	Movement	Posted Speed (mph)	AM Peak Hour (vph)	PM Peak Hour (vph)	Traffic Signal Present	Turn Lane Warrant per AC-11-4						
						Speed (mph)		Peak Hour Volume (vph)		Signal		2 Warrants Met?
						Criteria	Warrant	Criteria	Warrant	Warrant	Warrant	
Wisconsin St and Northern Access Wisconsin St - Collector	NB-LT	25	17	8	No	>/=35	No	>/=20*	No	No	No	
Wisconsin St and Southern Access Wisconsin St - Collector	NB-LT	25	12	6	No	>/=35	No	>/=20*	No	No	No	

Notes*: The opposing 2-way peak season through traffic is not determined. Conservatively, the opposing 2-way peak season through traffic is estimated to exceed the 1,000 vph threshold during AM or PM Peak Hour.



Legend

- Control Structure
- Proposed Inlet
- Existing Inlet
- Dry Detention
- Stormwater Flow Path
- Outfall
- Existing Flow Path



ATTACHMENT B.xiii.

ERDMAN ALF CITY OF BONITA SPRINGS PRESERVE AREA MANAGEMENT PLAN

February 2021

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1.0 INTRODUCTION

The following outlines the City of Bonita Springs Preserve Area Management Plan for Erdman ALF (Project) in Section 34, Township 47 South, Range 25 East, Lee County (Appendix A). The Project includes 0.4± acres of preserve area. The preserve area is composed entirely of uplands and is currently mapped as Exotic Hardwoods. The location of the preserve area, including the Florida Land Use, Cover and Forms Classification System (FLUCFCS) types within the preserve, is depicted on Appendix B. The preserve area will be enhanced by the hand treatment of exotic and nuisance vegetation. Post-enhancement conditions of the preserve area are anticipated to be consistent with a native pine flatwoods community type.

2.0 METHOD AND FREQUENCY OF PRUNING AND TRIMMING

The preserve area shall remain in a natural state in perpetuity and not be disturbed by dredging, filling, land clearing, or construction related activities. The preserve area will be monitored for excessive ground cover and sub-canopy growth. Following completion of initial exotic treatment, semi-annual inspections of the preserves will occur for the first two years. During these inspections, the Project area will be traversed by a qualified ecologist. Locations of nuisance and/or exotic species will be identified for immediate treatment with an appropriate herbicide. Any additional growth problems will also be noted, and corrective actions taken. Once exotic/nuisance species levels have been reduced to acceptable limits (i.e., less than five percent cover), inspections of the Project area will be conducted annually.

Maintenance of native upland vegetation maybe conducted by use of mechanical mowing or disking equipment. Mowing or bush-hogging may be conducted in palmetto and pine flatwood habitats every three to seven years. Heavy equipment should be used during dry periods to reduce disturbance to the soil. Heavy equipment should stay clear of the drip line of preserved pine trees and remain outside of three-quarters of the drip line of all other preserved canopy trees. Alternatively, selective hand removal of ground cover and sub-canopy growth may be conducted as needed to enhance maximum wildlife use and reduce risk of wildfire. Where listed species may be affected by vegetation clearing practices, surveys for listed species must be conducted no more than six months prior to clearing.

Dead or dying trees that pose a hazard to areas outside of the preserve may be cut or trimmed after inspection for nesting or roosting by listed species and coordination with City of Bonita Springs staff.

3.0 METHODS TO REMOVE AND CONTROL EXOTIC AND NUISANCE PLANTS

Initial treatment of exotic vegetation will be coordinated with City of Bonita Springs staff in accordance with the City of Bonita Springs LDC.

Exotic and nuisance vegetation within the preserve area will be treated by hand methods. Exotics to be treated include all Category I exotics as defined by the current Florida Exotic Pest Plant Council list, including but not limited to those outlined in Table 1. The preserves will be maintained free of exotics in perpetuity. Access to the preserves will be through the development areas.

Table 1. Prohibited Invasive Exotics

Common Name	Scientific Name
Air potato	<i>Dioscorea bulbifera</i>
Australian pines	All <i>Casuarina</i> species
Benjamin fig	<i>Ficus benjamina</i>
Bishopwood	<i>Bischofia javanic</i>
Brazilian pepper	<i>Schinus terebinthifolius</i>
Carrotwood	<i>Cupaniopsis anacardioides</i>
Caesarweed	<i>Urena lobata</i>
Chinese tallow	<i>Sapium sebiferum</i>
Cork tree	<i>Thespesia populnea</i>
Cuban laurel fig	<i>Ficus retusa</i>
Downy rose-myrtle	<i>Rhodomyrtus tomentosa</i>
Earleaf acacia	<i>Acacia auriculiformis</i>
Guinea grass	<i>Panicum maximum</i>
Japanese climbing fern	<i>Lygodium japonicum</i>
Java plum	<i>Syzygium cumini</i>
Lantana	<i>Lantana camara</i>
Lead tree	<i>Leucaena leucocephala</i>
Melaleuca	<i>Melaleuca quinquenervia</i>
Murray red gum	<i>Eucalyptus camaldulensis</i>
Norfolk Island pine	<i>Araucaria heterophylla</i>
Old World climbing fern	<i>Lygodium micorphyllum</i>
Rosary pea	<i>Abrus precatorius</i>
Rose apple	<i>Syzygium jambos</i>
Rosewood	<i>Dalbergia sissoo</i>
Scaevola Beach naupaka	<i>Scaevola taccada</i>
Seaside mahoe	<i>Hibiscus tiliaceus</i>
Tropical soda apple	<i>Solanum viarum</i>
Wedelia	<i>Wedelia trilobata</i>
Weeping fig	<i>Ficus benjamina</i>
Winged yam	<i>Diosorea alata</i>
Woman's tongue	<i>Albizia lebeck</i>

Hand treatment will either be by felling of exotic trees, hand removal and herbicide treatment of the stumps, or hand pulling. The hand treatment of exotic and nuisance vegetation will include one or more of the following methods: (1) cut exotics within 12 inches of ground elevation, hand remove cut vegetation, and treat remaining stump with approved herbicide; (2) girdle standing Brazilian pepper (*Schinus terebinthifolius*), melaleuca (*Melaleuca quinquenervia*), and Australian pine (*Casuarina equisetifolia*) with diameter at breast height greater than 4 inches and apply approved herbicide to cambium; (3) foliar application of approved herbicide to Brazilian pepper, melaleuca saplings, Australian pine, and downy rose-myrtle (*Rhodomyrtus tomentosa*); (4) foliar application of approved herbicide or hand pulling of exotic seedlings; and (5) foliar application of approved herbicide to nuisance grasses.

4.0 DEBRIS REMOVAL

Exotic vegetation cuttings will be removed from the preserve areas and disposed of in coordination with the general site clearing.

5.0 PRESERVE MAINTENANCE SCHEDULE

The Preserve area will be managed in perpetuity, and activities associated with the implementation of the preserve maintenance program shall be in accordance with the City of Bonita Springs LDC.

6.0 METHOD OF EXOTIC ANIMAL MANAGEMENT

Information will be provided to the property owners notifying them that pets will not be allowed to roam free and unattended and that a leash is required for pets at all times. If exotic animals (e.g., pythons, iguanas, etc.) are observed within the preserve area, the Florida Fish and Wildlife Conservation Commission (FWCC) will be notified accordingly.

7.0 PRESERVE SIGNAGE

Signage shall be placed around preserve areas to identify and protect the preserve during construction. The signs shall be no closer than ten feet from residential property lines, be limited to a maximum height of four feet and a maximum size of two square feet, and otherwise comply with the City of Bonita Springs LDC. Signs identifying the preserve as a “nature preserve area” will be installed along the boundary of the preserve. The signage should include language stating, “No dumping allowed.” The approximate locations of the preserve signs and the typical sign detail are depicted on Appendix B.

8.0 MONITORING REPORTS

Annual reports will be provided to City of Bonita Springs Environmental Sciences staff through the fifth annual monitoring report. The annual reports will include a brief description of mitigation and maintenance work performed. Reports will also include a brief description of anticipated mitigation and maintenance work to be conducted over the next year. The results of quantitative vegetation monitoring conducted in the preserve areas, as well as a list of observed wildlife species, will also be included.

9.0 WILDLAND FIRE HAZARD MITIGATION

Preserves may be managed through activities which mimic the natural effects of fire. The removal of dead vegetation or the periodic thinning of living vegetation may also be conducted to improve forest health, as appropriate for the habitat type and surrounding land uses.

10.0 ALLOWABLE USES

The following activities are allowed within the preserve area: restoration, enhancement, maintenance and monitoring activities, and surface water management improvements. Activities not identified above, including the construction of boardwalks and recreational pathways, are prohibited within the preserve.

11.0 PRESERVE MANAGER AND DEVELOPER INFORMATION

The contact information for the preserve manager and the developer are as follows:

Preserve Manager

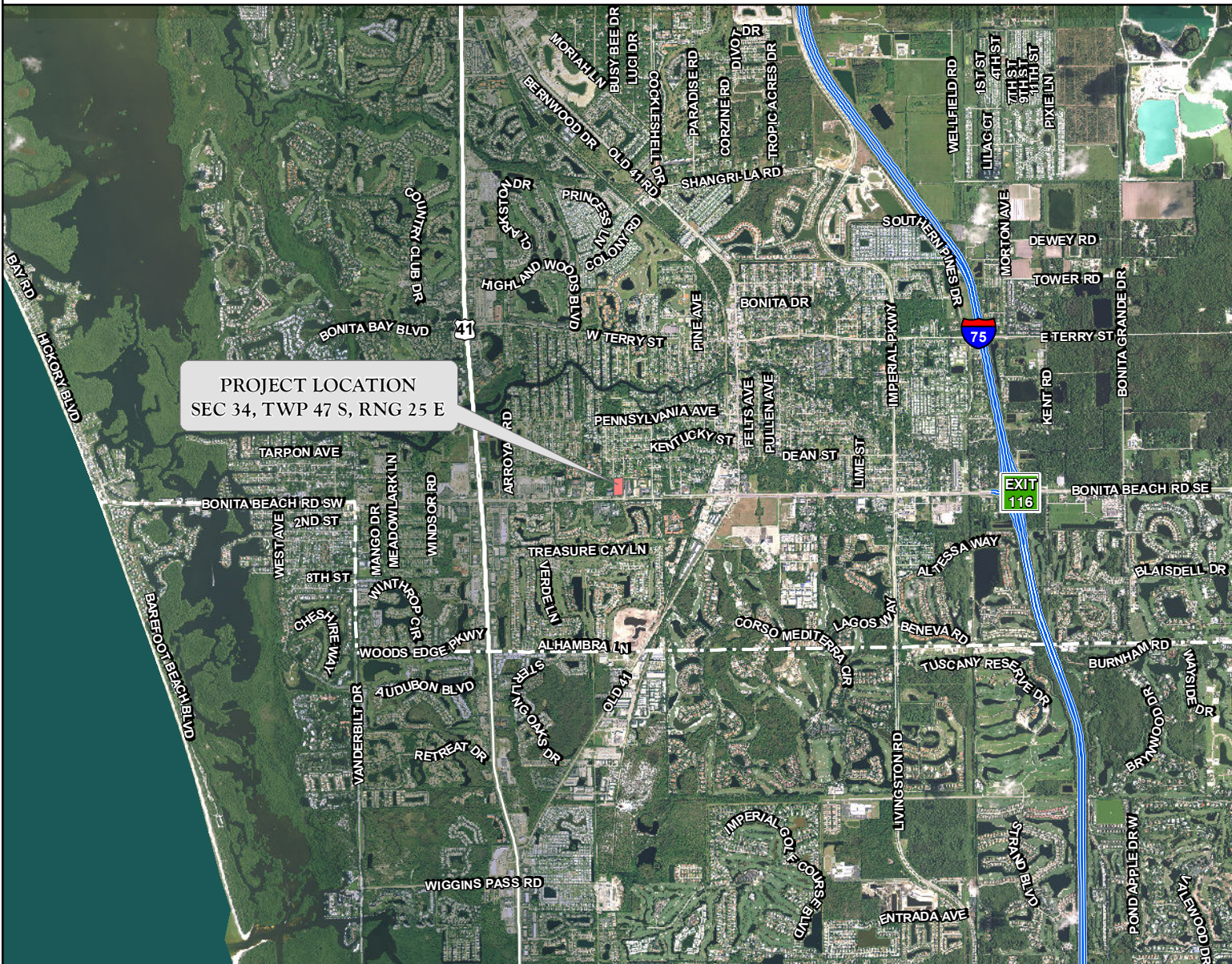
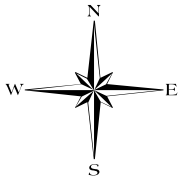
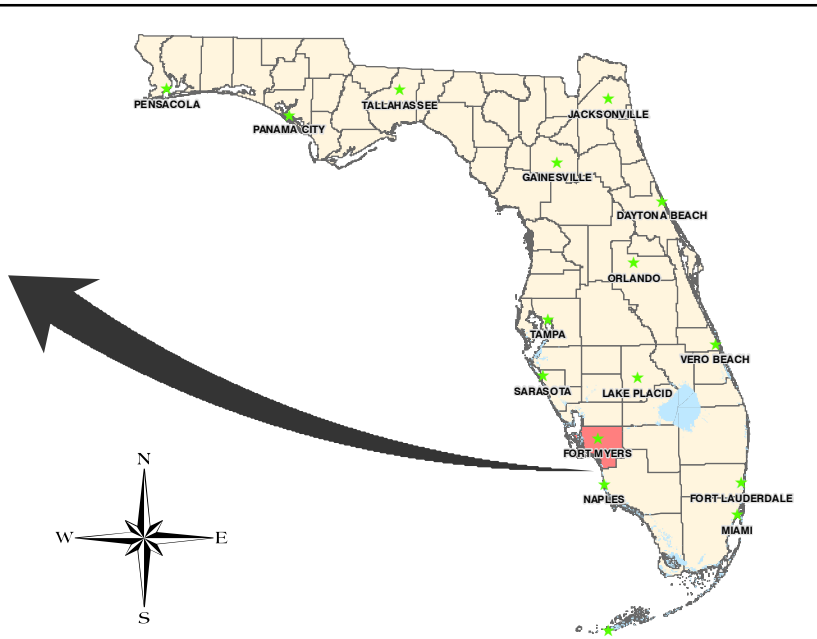
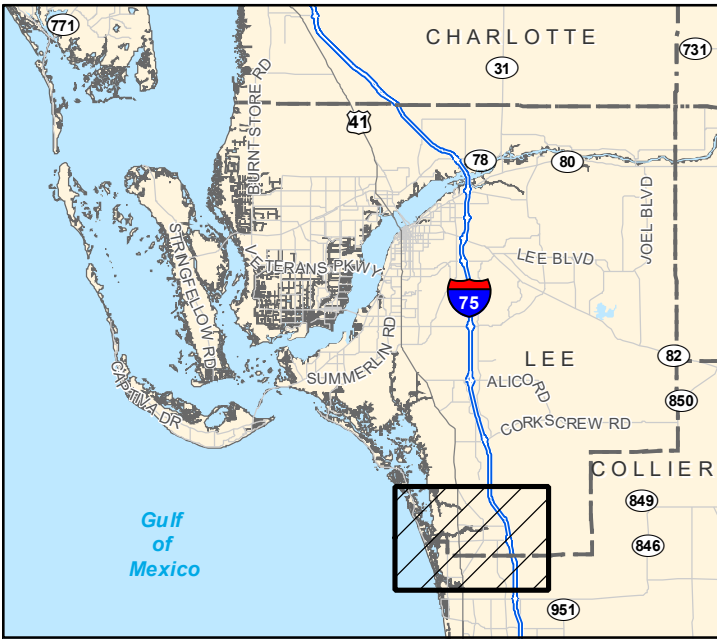
Andy Woodruff
Passarella & Associates, Inc.
13620 Metropolis Avenue, Suite 200
Fort Myers, Florida 33912
(239) 274-0067
andyw@passarella.net

Developer

Erdman Health Care Real Estate Group, LLC
1 Erdman Place
Madison, Wisconsin 53717
(608) 410-8009
gmarkvluer@erdman.com

The preserve manager is responsible for overseeing the implementation of the preserve management plan until the property owner takes over from the developer.

APPENDIX A
PROJECT LOCATION MAP



APPENDIX A. PROJECT LOCATION MAP
ERDMAN ALF

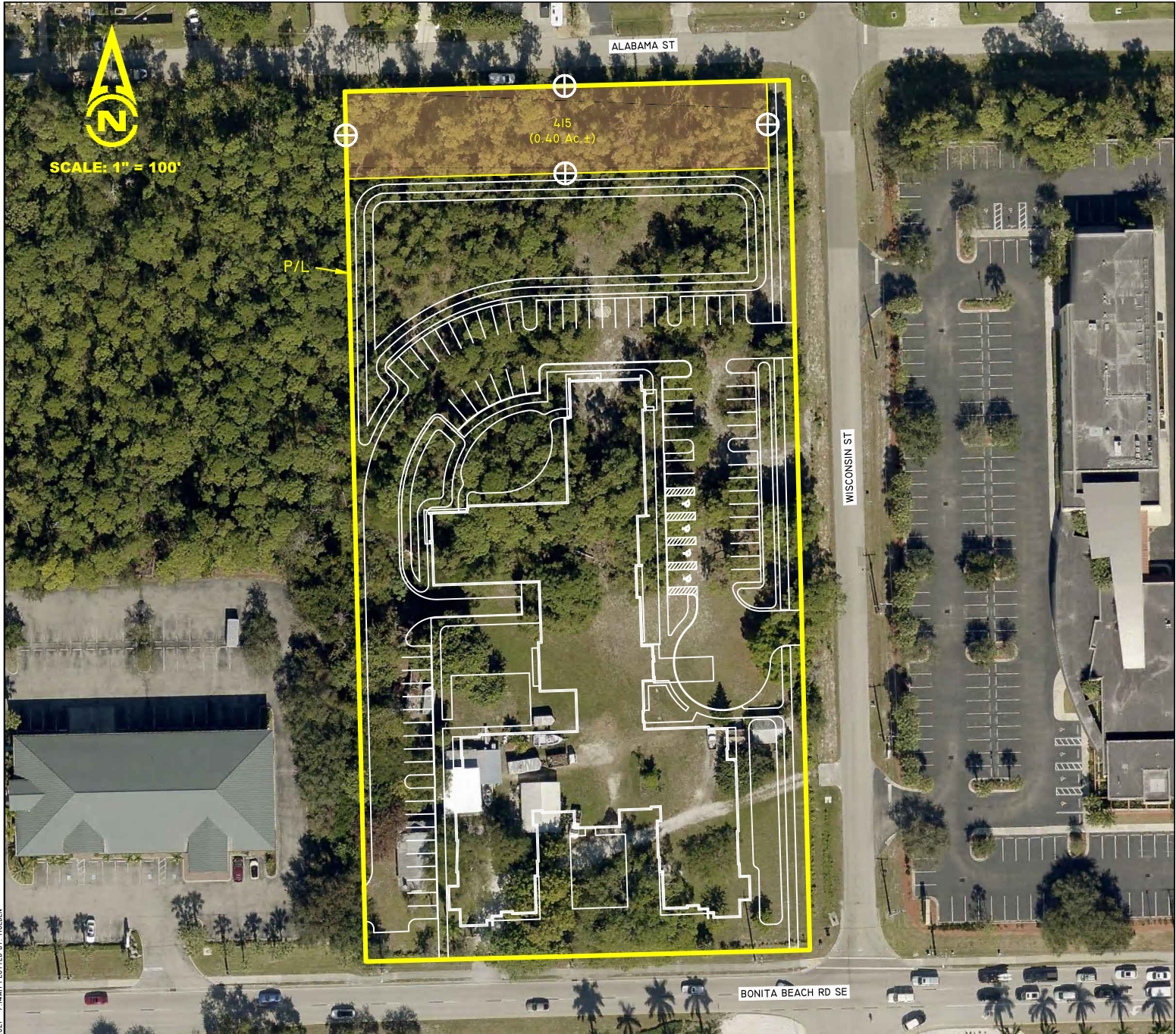
DRAWN BY	DATE
H.H.	1/18/21
REVIEWED BY	DATE
D.C.	1/18/21
REVISED	DATE





J:\2020\120488334-8\GIS\2021\Zoning_Application\Figures\Appendix A - Project_Location_Map.mxd - 2/13/2021 @ 4:26:15 PM

APPENDIX B

AERIAL WITH SITE PLAN AND PRESERVE AREA MAP

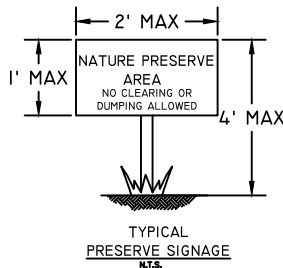


LEGEND:

-  UPLAND PRESERVATION AND ENHANCEMENT (0.40 Ac.±)
-  APPROXIMATE LOCATION OF PRESERVE SIGNAGE

POST ENHANCEMENT

FLUCFCS CODES	DESCRIPTIONS	ACREAGE	% OF TOTAL
415	PINE FLATWOODS	0.40 Ac.±	100.0%
TOTAL		0.40 Ac.±	100.0%



NOTES:

AERIAL PHOTOGRAPHS WERE ACQUIRED THROUGH THE LEE COUNTY PROPERTY APPRAISER'S OFFICE WITH FLIGHT DATES OF JANUARY - MAY 2020.

PROPERTY BOUNDARY AND SITE PLAN PER AGNOLI BARBER & BRUNDAGE, INC. DRAWING NO. ERDMAN BASE.DWG DATED JANUARY 26, 2021.

FLUCFCS LINES ESTIMATED FROM 1"=200' AERIAL PHOTOGRAPHS AND LOCATIONS APPROXIMATED.

FLUCFCS PER FLORIDA LAND USE, COVER AND FORMS CLASSIFICATION SYSTEM (FLUCFCS) (FDOT 1999).

UPLAND/WETLAND LIMITS HAVE NOT BEEN REVIEWED BY ANY REGULATORY AGENCY AND ARE SUBJECT TO CHANGE.

APPENDIX B. AERIAL WITH SITE PLAN AND PRESERVE AREA MAP
ERDMAN ALF

DRAWN BY	DATE
R.F.	01/26/21
REVIEWED BY	DATE
D.C.	01/26/21
REVISED	DATE



ATTACHMENT B.xiv.

**ERDMAN ALF
ENVIRONMENTAL ASSESSMENT FOR
CITY OF BONITA SPRINGS ZONING APPLICATION**

February 2021

Prepared For:

Agnoli, Barber & Brundage, Inc.
7400 Trail Boulevard, Suite 200
Naples, Florida 34108
(239) 334-3040

Prepared By:

Passarella & Associates, Inc.
13620 Metropolis Avenue, Suite 200
Fort Myers, Florida 33912
(239) 274-0067

Exhibit II-F-2a

**ERDMAN ALF
FLUCFCS DESCRIPTIONS AND SUMMARY TABLE**

February 2021

The Florida Land Use, Cover and Forms Classification System (FLUCFCS) codes identified within the Erdman ALF (Project) site are listed below (Table 1). Groundtruthing to identify vegetative communities was conducted on November 20, 2020. The dominant plant species found in each of these codes are listed in the FLUCFCS descriptions that follow.

Table 1. FLUCFCS Summary

FLUCFCS Code	Description	Acreage	Percent of Total
110	Residential	2.06	49.2
439	Exotic Hardwoods	1.78	42.5
740	Disturbed Land	0.35	8.4
Total		4.19	100.0

Residential (FLUCFCS Code 110)

The canopy of this land use type contains royal palm (*Roystonea regia*), live oak (*Quercus virginiana*), laurel oak (*Quercus laurifolia*), Java plum (*Syzygium cumini*), cabbage palm (*Sabal palmetto*), royal poinciana (*Delonix regia*), woman’s tongue (*Albizia lebbek*), slash pine (*Pinus elliotii*), and carrotwood (*Cupaniopsis anacardioides*). The sub-canopy contains Brazilian pepper (*Schinus terebinthifolia*), coconut palm (*Cocos nucifera*), carrotwood, castorbean (*Ricinus communis*), and woman’s tongue. The ground cover includes caesarweed (*Urena lobata*), beggarticks (*Bidens alba*), Mexican clover (*Richarida grandiflora*), bahiagrass (*Paspalum notatum*), shrubby false buttonweed (*Spermacoce* sp.), mother-in-law’s tongue (*Dracaena hyacinthoides*), and crowfoot grass (*Dactyloctenium aegyptium*).

Exotic Hardwoods (FLUCFCS Code 439)

The canopy of this habitat type is dominated by earleaf acacia (*Acacia auriculiformis*) with scattered slash pine and Java plum. The sub-canopy contains cabbage palm, Brazilian pepper, laurel oak, live oak, bamboo (*Bambusa* sp.), and gumbo limbo (*Bursera simaruba*). The ground cover includes muscadine grapevine (*Vitis rotundifolia*), downy rose-myrtle (*Rhodomyrtus tomentosa*), saw palmetto (*Serenoa repens*), caesarweed, gopher apple (*Geobalanus oblongifolius*), beggarticks, crowfoot grass, Mexican clover, fingergrass (*Eustachys* sp.), poison ivy (*Toxicodendron radicans*), pricklypear cactus (*Opuntia* sp.), pineland heliotrope (*Euploca polyphylla*), barnyard grass (*Echinochloa crus-galli*), poison ivy (*Toxicodendron radicans*), painted leaf (*Euphorbia cyathophora*), silkgrass (*Pityopsis* sp.), greenbrier (*Smilax* sp.), common pawpaw (*Asimina triloba*), and shrubby false buttonweed.

Disturbed Land (FLUCFCS Code 740)

The canopy and sub-canopy of this habitat type contains scattered live oak, laurel oak, and earleaf acacia. The ground cover contains myrtle oak (*Quercus myrtifolia*), sandspur (*Cenchrus* sp.), gopher apple, silkgrass, creeping oxeye (*Sphagneticola trilobata*), grapevine, poison ivy, greenbrier, and rosary pea (*Abrus precatorius*).

Exhibit II-F-2b

ERDMAN ALF LISTED SPECIES SURVEY REPORT

February 2021

INTRODUCTION

This report documents the listed species survey conducted by Passarella & Associates, Inc. (PAI) on November 20, 2020 for the 4.19± acre Erdman ALF (Project), located west of Interstate 75 and northwest of the intersection of Bonita Beach Road and Wisconsin Street in Section 34, Township 47 South, Range 25 East, Lee County and further identified by STRAP No. 34-47-25-B3-00254.0040 (Figure 1). The purpose of the listed species survey was to review the Project area for plant and wildlife species listed by the Florida Fish and Wildlife Conservation Commission (FWCC), the Florida Department of Agriculture and Consumer Services, and the U.S. Fish and Wildlife Service (USFWS) as endangered, threatened, species of special concern, or commercially exploited. Bald eagles (*Haliaeetus leucocephalus*) and their nests were also included since they are protected under Florida Administrative Code 68A-16.002 and the Bald and Golden Eagle Protection Act.

The Project site is comprised entirely of upland habitat that includes residential, disturbed land, and exotic hardwoods.

METHODOLOGY AND DISCUSSION

The listed plant and wildlife species survey included an on-site review conducted on November 20, 2020 and a review of state and federal listed species occurrence records.

The listed species field survey methodology consisted of a qualified ecologists walking parallel belt transects across the property (Figure 2). The transects were generally walked approximately 50 to 100 feet apart depending on habitat type and visibility. The weather during the survey was partly cloudy, wind from the northeast at 10-20 mph, and the temperature ranged from the low to mid 70s. The survey began at 10:00 a.m. and ended at approximately 1:00 p.m.

The review of listed species occurrence records involved an examination of available information on protected species in the Project's geographical region. The literature sources reviewed included the FWCC Florida's Endangered and Threatened Species (2018); Florida Atlas of Breeding Sites for Herons and Their Allies (Runde *et al.* 1991); USFWS Habitat Management Guidelines for the Bald Eagle in the Southeast Region (1987); the Florida Panther Habitat Preservation Plan (Logan *et al.* 1993); the Landscape Conservation Strategy Map (Kautz *et al.* 2006); and the USFWS and/or the FWCC databases for telemetry locations of Florida panther (*Puma concolor coryi*), bald eagle, red-cockaded woodpecker (*Picoides borealis*) (RCW), Florida black bear (*Ursus americanus floridanus*), Florida scrub jay (*Aphelocoma coerulescens*), and wading bird rookeries (such as the wood stork (*Mycteria americana*)) in Lee

County. The results of the literature search found no documented occurrences of listed wildlife species on-site (Figure 3).

The wildlife agencies' database information is updated on a periodic basis and is current through different dates, depending on the species. The FWCC information is current through the noted dates for the following four species: Florida panther telemetry – June 2020; bald eagle nest locations – 2020; black bear telemetry – September 2007; RCW locations – August 2014; and wading bird rookeries – 1999.

RESULTS

No listed plant or wildlife species were observed on the property during the November 20, 2020 survey.

The literature search found no documented occurrences for listed wildlife species on the property (Figure 3). The Project is located approximately 3.25 miles west of the USFWS primary panther zone (Figure 4). There has been no documented Florida panther telemetry on the site.

The closest documented bald eagle nests are LE-097, located approximately one mile southwest and LE-050, located approximately 1.15 miles northwest of the site. The nest distances are beyond the USFWS and FWCC recommended 660-foot buffer protection zone for active and alternate bald eagle nests. The bald eagle is not a listed species, but it is protected under the Bald and Golden Eagle Protection Act and the Migratory Bird Treaty Act.

Per the FWCC's database, no RCW colonies or cavity trees have been documented within the Project area (Figure 3). The closest noted historic RCW colony is located approximately 5.25 miles southeast of the Project site. The USFWS considers suitable habitat for RCW to include any forested community with pines (*Pinus* sp.) in the canopy that encompasses more than 10.0± acres (i.e., includes both on- and off-site). Although the Project area does have canopy pine trees, no cavities were noted during the survey, and no sightings were documented in the area. The RCW is a state and federally listed endangered species.

SUMMARY

No listed plant or wildlife species were observed on the property during the November 20, 2020 survey. The literature search of the wildlife agencies' databases found no documented occurrences for listed species on the Project site. The Project site is located approximately 3.25 miles outside of the Primary Zone of the Florida panther, one mile from the nearest bald eagle nest, and 5.25 miles from the nearest historic documented RCW colony.

REFERENCES

Florida Fish and Wildlife Conservation Commission. 2018. Florida's Endangered and Threatened Species (Updated December 2018). Tallahassee, Florida.

- Kautz, R., R. Kawula, T. Hctor, J. Comiskey, D. Jansen, D. Jennings, J. Kasbohm, F. Mazzotti, R. McBride, L. Richardson, K. Root. 2006. How much is enough? Landscape-scale conservation for the Florida panther. *Biological Conservation*, Volume 130, Issue 1, Pages 118-133
- Logan, Todd, Andrew C. Eller, Jr., Ross Morrell, Donna Ruffner, and Jim Sewell. 1993. Florida Panther Habitat Preservation Plan South Florida Population. U.S. Fish and Wildlife Service; Gainesville, Florida.
- Runde, D.E., J.A. Gore, J.A. Hovis, M.S. Robson, and P.D. Southall. 1991. Florida Atlas of Breeding Sites for Herons and Their Allies, Update 1986 - 1989. Nongame Wildlife Program Technical Report No. 10. Florida Game and Fresh Water Fish Commission, Tallahassee, Florida.
- U.S. Fish and Wildlife Service. 1987. Habitat Management Guidelines for the Bald Eagle in the Southeast Region.

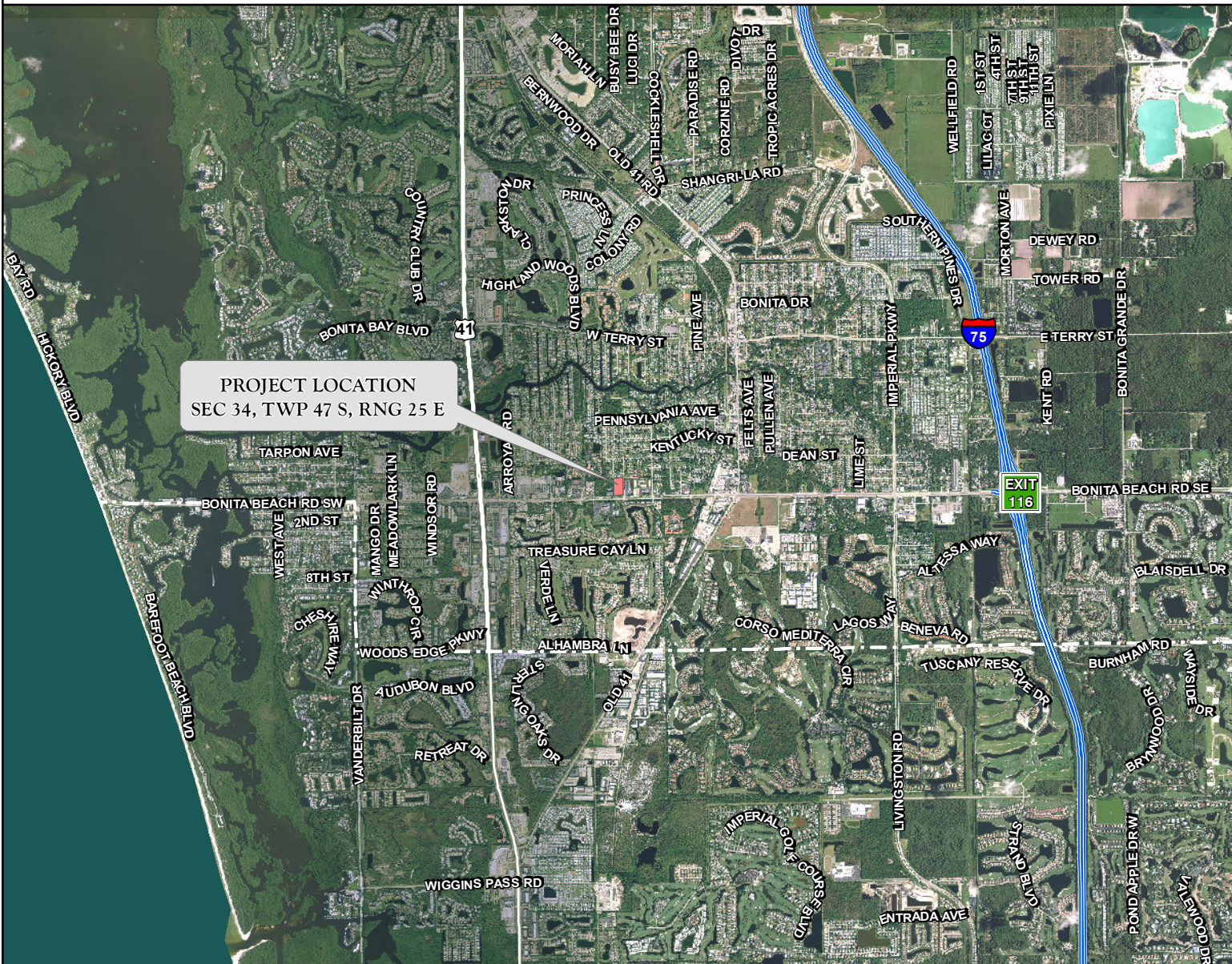
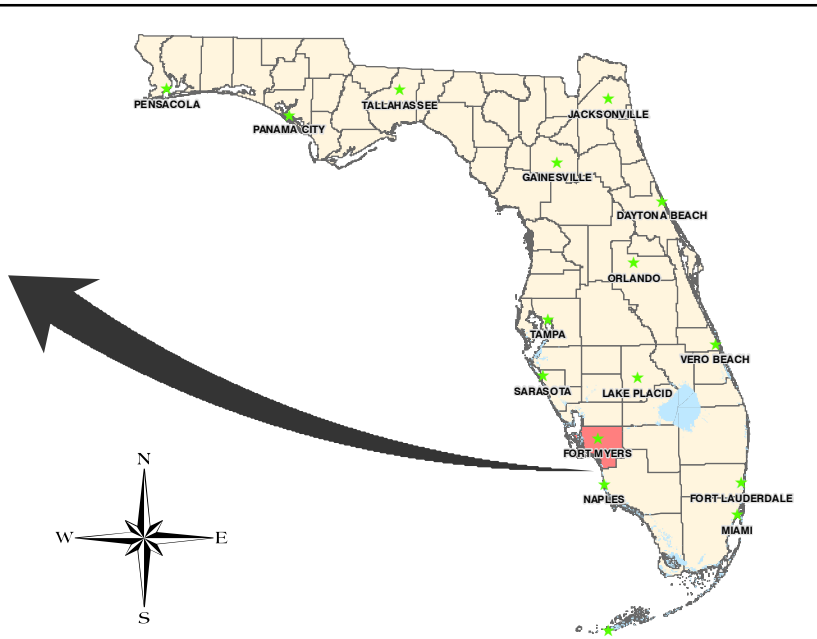
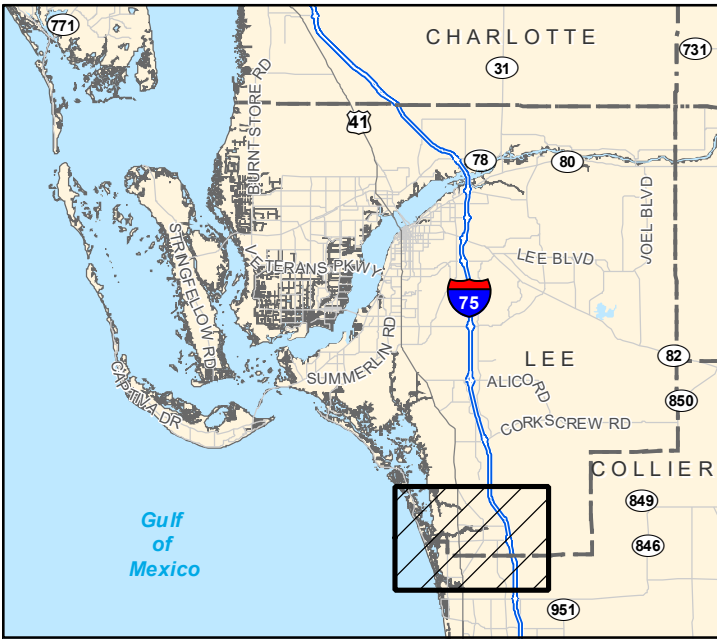
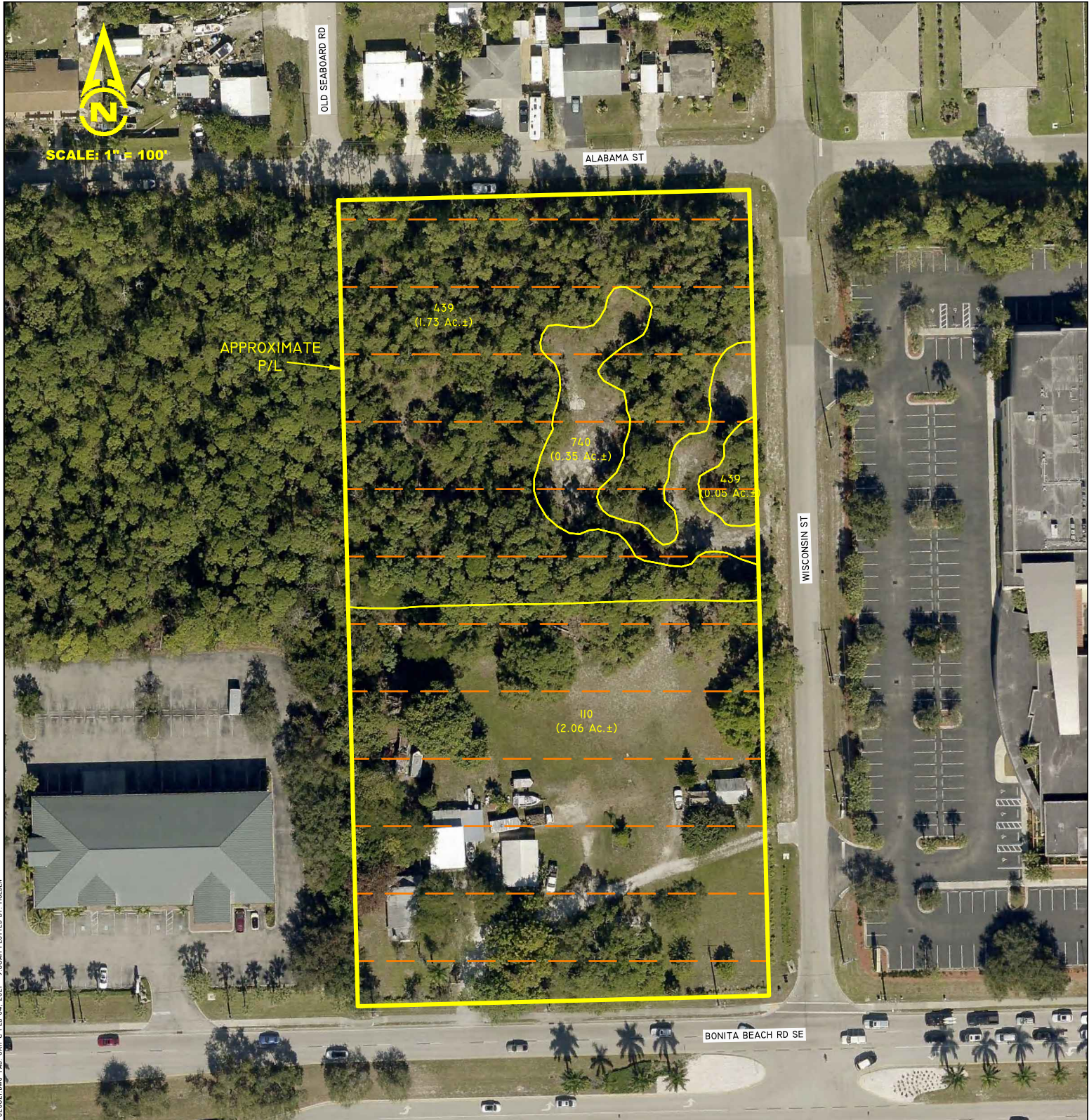


FIGURE 1. PROJECT LOCATION MAP
ERDMAN ALF

DRAWN BY	DATE
H.H.	1/18/21
REVIEWED BY	DATE
D.C.	1/18/21
REVISED	DATE



J:\2020\120488334-8\GIS\2021\11\SS\FIGURES\FIGURE_1_PROJECT_LOCATION_MAP.MXD - 2/3/2021 @ 4:10:57 PM



LEGEND:

— SURVEY TRANSECTS

NOTES:

AERIAL PHOTOGRAPHS WERE ACQUIRED THROUGH THE LEE COUNTY PROPERTY APPRAISER'S OFFICE WITH FLIGHT DATES OF JANUARY - MAY 2020.

PROPERTY BOUNDARY PER AGNOLI BARBER & BRUNDAGE, INC. DRAWING No. ERDMAN BASE.dwg DATED JANUARY 26, 2021.

FLUCFCS LINES ESTIMATED FROM 1"=200' AERIAL PHOTOGRAPHS AND LOCATIONS APPROXIMATED.

FLUCFCS PER FLORIDA LAND USE, COVER AND FORMS CLASSIFICATION SYSTEM (FLUCFCS) (FDOT 1999).

UPLAND/WETLAND LIMITS HAVE NOT BEEN REVIEWED BY ANY REGULATORY AGENCY AND ARE SUBJECT TO CHANGE.

FLUCFCS CODES	DESCRIPTIONS	ACREAGE	% OF TOTAL
110	RESIDENTIAL	2.06 Ac. ±	49.2%
439	EXOTIC HARDWOODS	1.78 Ac. ±	42.5%
740	DISTURBED LAND	0.35 Ac. ±	8.4%
TOTAL		4.19 Ac. ±	100.0%

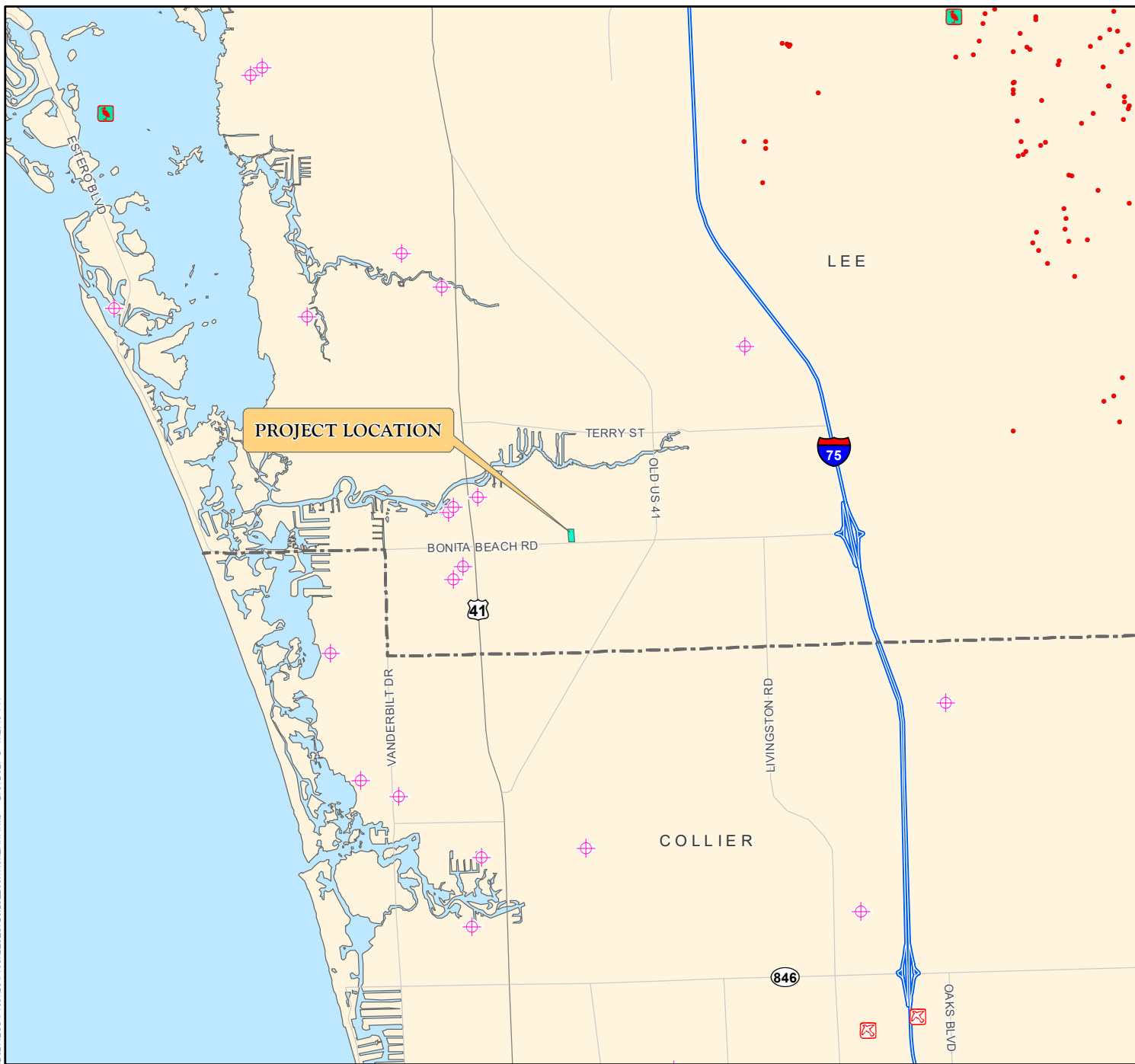
FIGURE 2. AERIAL WITH FLUCFCS AND SURVEY TRANSECTS MAP
ERDMAN ALF

DRAWN BY	DATE
H.H.	1/18/21
REVIEWED BY	DATE
D.C.	1/18/21
REVISED	DATE
H.H.	2/3/21



J:\2020\20ARB\3148\2021\SS\FIGURE 2 AERIAL WITH FLUCFCS AND SURVEY TRANSECTS 020321.DWG TAB 8\XII-C FEB 04, 2021 - 9:56AM PLOTTED BY: HOLBEN

J:\2020\2020_ABB3545_GIS\2021\SS\FIGURES\Figure_3_Species_Location_Map.mxd - 2/3/2021 @ 4:12:43 PM



LEGEND

- ERDMAN ALF
- BALD EAGLE NEST LOCATION
- FLORIDA PANTHER TELEMETRY
- RED COCKADED WOODPECKER LOCATION
- WADING BIRD LOCATION

0 1 2
Miles

NOTES:

EAGLE NEST LOCATIONS WERE ACQUIRED FROM THE FWCC AND AUDUBON EAGLEWATCH ON NOVEMBER 2020 AND ARE CURRENT TO 2020.

PANTHER TELEMETRY WAS ACQUIRED FROM THE FWCC ON DECEMBER 2020 AND IS CURRENT TO JUNE 2020.

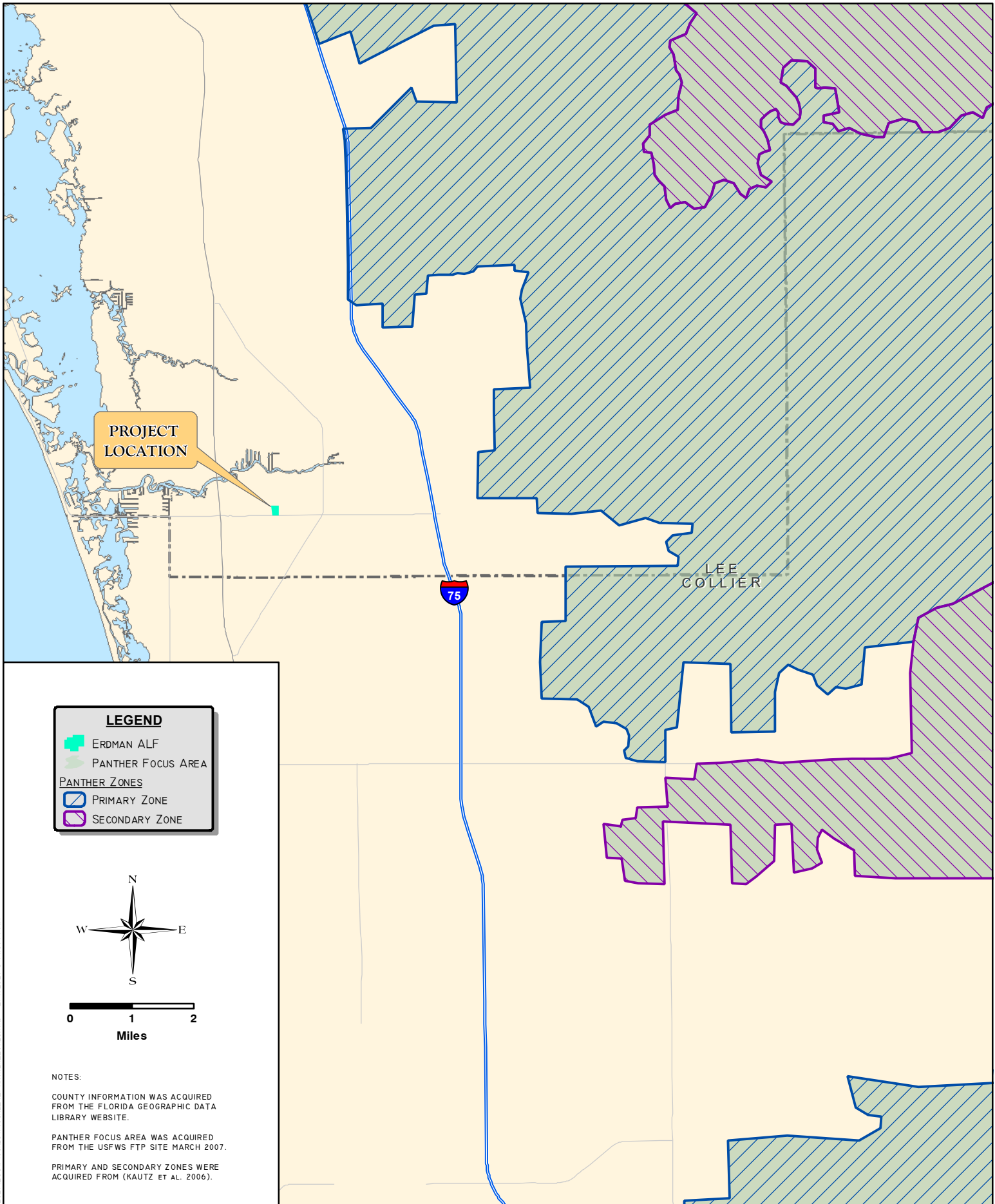
RED COCKADED WOODPECKER LOCATIONS WERE ACQUIRED FROM THE FWCC ON DECEMBER 2020.

WADING BIRD ROOKERIES WERE ACQUIRED FROM THE FWCC DECEMBER 2020 AND ARE CURRENT TO 1999.

**FIGURE 3. DOCUMENTED OCCURRENCES OF LISTED SPECIES
ERDMAN ALF**

DRAWN BY	DATE
H.H.	1/18/21
REVIEWED BY	DATE
D.C.	1/18/21
REVISED	DATE

PASSARELLA & ASSOCIATES
Consulting Ecologists



**PROJECT
LOCATION**

LEE
COLLIER

75

LEGEND

- ERDMAN ALF
- PANTHER FOCUS AREA

PANTHER ZONES

- PRIMARY ZONE
- SECONDARY ZONE

N
W E
S

0 1 2
Miles

NOTES:

COUNTY INFORMATION WAS ACQUIRED FROM THE FLORIDA GEOGRAPHIC DATA LIBRARY WEBSITE.

PANTHER FOCUS AREA WAS ACQUIRED FROM THE USFWS FTP SITE MARCH 2007.

PRIMARY AND SECONDARY ZONES WERE ACQUIRED FROM (KAUTZ ET AL. 2006).

**FIGURE 4. PANTHER ZONES WITH PANTHER FOCUS AREA
ERDMAN ALF**

DRAWN BY	DATE
H.H.	1/18/21
REVIEWED BY	DATE
D.C.	1/18/21
REVISED	DATE

**PASSARELLA
& ASSOCIATES**

Consulting Ecologists

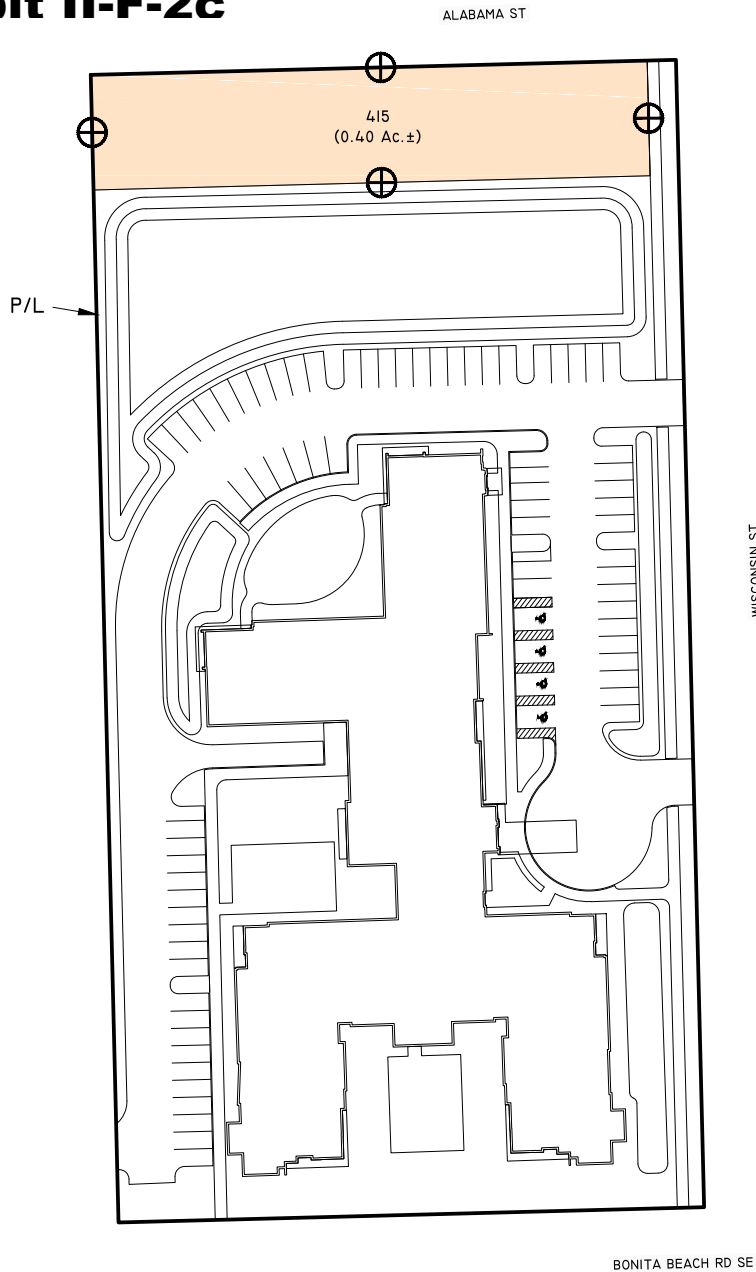
B438

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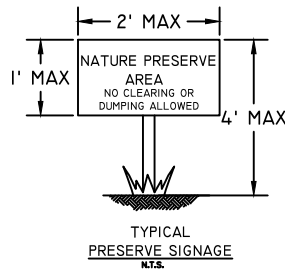


Exhibit II-F-2c

SCALE: 1" = 100'



- LEGEND:**
- UPLAND PRESERVATION AND ENHANCEMENT (0.40 Ac. ±)
 - APPROXIMATE LOCATION OF PRESERVE SIGNAGE



POST ENHANCEMENT

FLUCFCS CODES	DESCRIPTIONS	ACREAGE	% OF TOTAL
415	PINE FLATWOODS	0.40 Ac. ±	100.0%
TOTAL		0.40 Ac. ±	100.0%

NOTES:

PROPERTY BOUNDARY AND SITE PLAN PER AGNOLI BARBER & BRUNDAGE, INC. DRAWING No. ERDMAN BASE.dwg DATED JANUARY 26, 2021.

FLUCFCS LINES ESTIMATED FROM 1"=200' AERIAL PHOTOGRAPHS AND LOCATIONS APPROXIMATED.

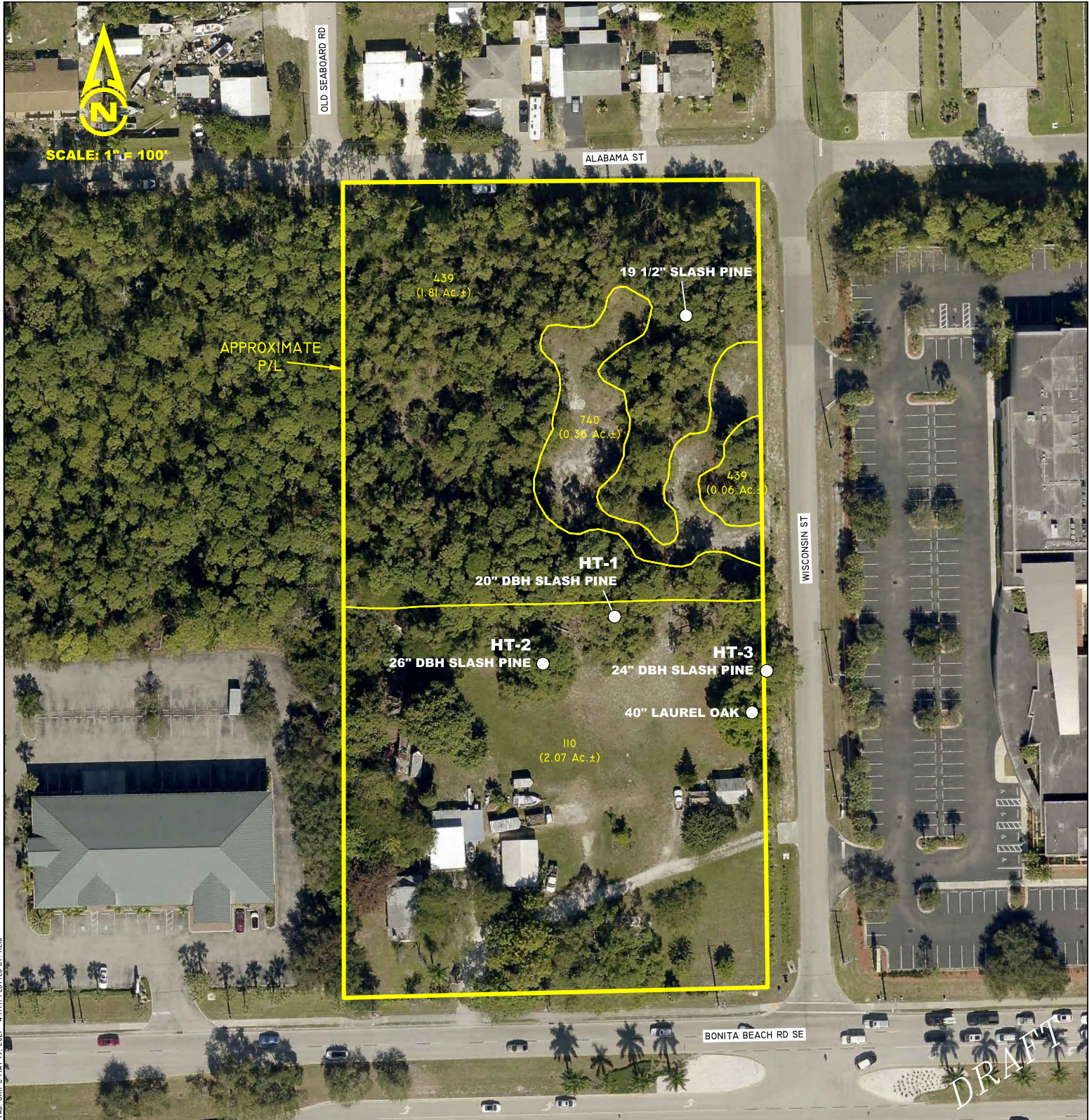
FLUCFCS PER FLORIDA LAND USE, COVER AND FORMS CLASSIFICATION SYSTEM (FLUCFCS) (FDOT 1999).

UPLAND/WETLAND LIMITS HAVE NOT BEEN REVIEWED BY ANY REGULATORY AGENCY AND ARE SUBJECT TO CHANGE.

SITE PLAN WITH UPLAND PRESERVE ENHANCEMENT AREAS
ERDMAN ALF

DRAWN BY	DATE
R.F.	01/26/21
REVIEWED BY	DATE
D.C.	01/26/21
REVISED	DATE





LEGEND:
 ○ **HT-1** HERITAGE TREE

FLUCFCS CODES	DESCRIPTIONS	ACREAGE	% OF TOTAL
110	RESIDENTIAL	2.07 Ac. ±	48.1%
439	EXOTIC HARDWOODS	1.87 Ac. ±	43.5%
740	DISTURBED LAND	0.36 Ac. ±	8.4%
TOTAL		4.30 Ac. ±	100.0%

NOTES:

AERIAL PHOTOGRAPHS WERE ACQUIRED THROUGH THE LEE COUNTY PROPERTY APPRAISER'S OFFICE WITH FLIGHT DATES OF JANUARY - MAY 2020.

PROPERTY BOUNDARY ESTIMATED FROM THE LEE COUNTY PROPERTY APPRAISER'S GIS WEBSITE.

HERITAGE TREE PER AGNOLI BARBER & BRUNDAGE, INC. DRAWING No. BONITA TREE LOCATIONS FOR TOM.DWG DATED DECEMBER 3, 2020.

FLUCFCS LINES ESTIMATED FROM 1"=200' AERIAL PHOTOGRAPHS AND LOCATIONS APPROXIMATED.

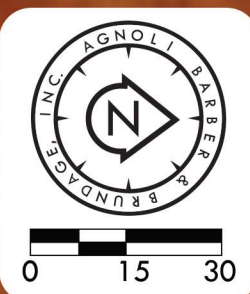
FLUCFCS PER FLORIDA LAND USE, COVER AND FORMS CLASSIFICATION SYSTEM (FLUCFCS) (FDOT 1999).

UPLAND/WETLAND LIMITS HAVE NOT BEEN REVIEWED BY ANY REGULATORY AGENCY AND ARE SUBJECT TO CHANGE.

DRAWN BY	DATE
T.S.	12/4/20
REVIEWED BY	DATE
A.W.	12/4/20
REVISED	DATE
R.F.	5/19/21



AERIAL WITH FLUCFCS AND HERITAGE TREE MAP
 9726 BONITA BEACH ROAD SE
ATTACHMENT B.xv.



Bonita Beach Rd SE

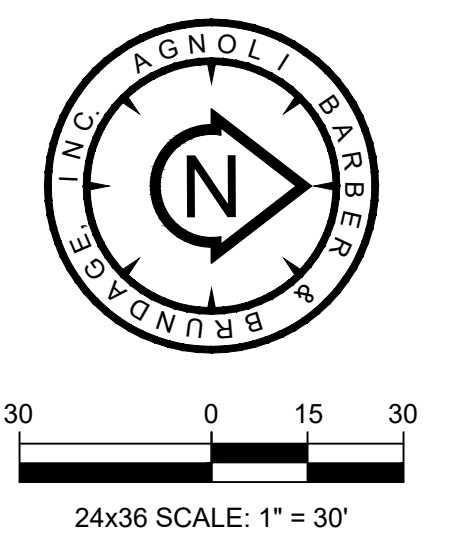
Bonita Beach Rd SE

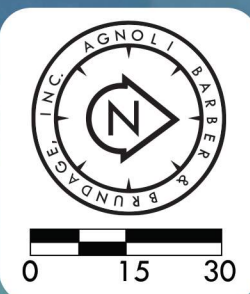
Alabama St

Wisconsin St



Lee County, Florida (FL071)			
Lee County, Florida (FL071)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
36	Immokalee sand-Urban land complex, 0 to 2 percent slopes	1.8	44.0%
134	Satellite fine sand-Urban land complex, 0 to 2 percent slopes	2.2	56.0%
Totals for Area of Interest		4.0	100.0%





1700
Institutional

8140
Road & Highway

1400
Commercial
& Services

4110
Pine Flintwoods

1210
Fixes Single
Family Unit

Legend

SFWMD_LCLU_2012

LANDUSE_CO

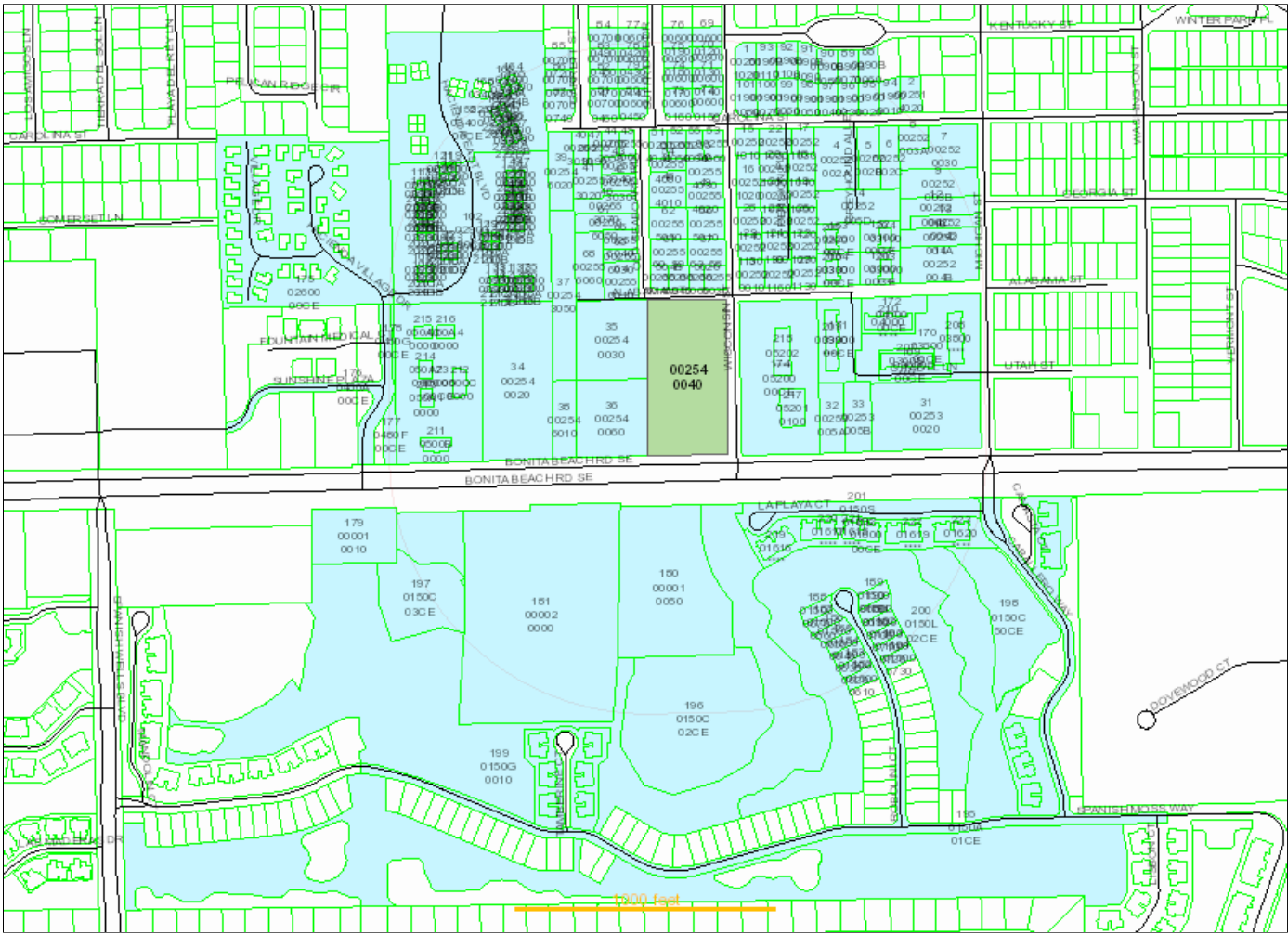
- 1210,1210
- 1330,1330
- 1340,1340
- 1400,1400
- 1700,1700
- 1820,1820
- 4110,4110
- 4130,4130
- 5300,5300
- 6210,6210
- 6410,6410
- 8140,8140

ATTACHMENT B.xviii.

**Erdman Assisted Living Facility
Environmentally Sensitive Lands Map (FLUCCS)**

Exhibit II-F-1

Source: SFWMD
Created: 6/29/2021



Date of Report: October 16, 2020
 Buffer Distance: feet
 Parcels Affected: 347
 Subject Parcel: **34-47-25-B3-00254.0040**

[Click here to download the map image, mailing labels \(Avery 5161\) and CSV formatted information.](#)

To change, add or remove subject parcels please change the parcel selection in [GeoView](#)

OWNER NAME AND ADDRESS	STRAP AND LOCATION	LEGAL DESCRIPTION	MAP INDEX
NIETO DALIA & PONCE RAFAEL 27685 WISCONSIN ST BONITA SPRINGS FL 34135	34-47-25-B3-00251.1020 27685 WISCONSIN ST BONITA SPRINGS FL 34135	HEITMANS BONITA SPRINGS BLK 51 PB 6 PG 24 PT LT 6 DESC IN OR 1305 PG 0266 AKA LOT 9 VILLA BONITA	1
CRETE CHRISTOPHER R & 9853 CAROLINA ST BONITA SPRINGS FL 34135	34-47-25-B3-00251.4020 9853 CAROLINA ST BONITA SPRINGS FL 34135	HEITMANS BONITA SPRINGS BLK 51 PB 6 PG 24 PT LOT 4 THE W 90 FT	2
COMMERCE ROAD REALTY 421 BAYSIDE AVE NAPLES FL 34108	34-47-25-B3-00252.0010 9771 ALABAMA ST BONITA SPRINGS FL 34135	HEITMANS BONITA SPRINGS BLK 52 PB 6 PG 24 LOT 6 INST 2006-16089	3
HABITAT CAROLINA LLC 1288 N TAMiami TRL NORTH FORT MYERS FL 33903	34-47-25-B3-00252.002A 9800 CAROLINA ST BONITA SPRINGS FL 34135	HEITMANS BONITA SPRINGS BLK.52 PB 6 PG 24 LOT PT 2	4
LOLLY RYAN E & SANYA C 6017 PINE RIDGE RD #175 NAPLES FL 34119	34-47-25-B3-00252.002B 9830/9832 CAROLINA ST BONITA SPRINGS FL 34135	HEITMANS BONITA SPRINGS BLK.52 PB 6 PG 24 LOT PT 2 DESC OR 2697/3252	5
VATCHER WILLIAM J + LORRAINE N 60 FEDERAL ST WILMINGTON MA 01887	34-47-25-B3-00252.002C 9840/9842 CAROLINA ST BONITA SPRINGS FL 34135	HEITMANS BONITA SPRINGS BLK 52 PB6PG24 LOT PT 2 DESC OR2697 PG3250	6
ZYNEL DONNA 27800 MICHIGAN ST BONITA SPRINGS FL 34135	34-47-25-B3-00252.0030 27800 MICHIGAN ST BONITA SPRINGS FL 34135	HEITMANS BONITA SPRINGS BLK.52 PB 6 PG 24 N 280 FT OF LOT 3 LESS THE	7

B144

ATTACHMENT B.xx.

NOTICE OF NEIGHBORHOOD MEETING

Subject Parcel: 9726 Bonita Beach Road SE, Bonita Springs, FL 34135

Proposed Action: Rezoning of Subject Parcel to a New Residential Planned Development

NOTICE IS HEREBY GIVEN THAT Erdman Health Care Real Estate Group, LLC (“Applicant”) is conducting a Neighborhood Meeting regarding their proposed New Residential Planned Development application. The purpose of this meeting is to permit the Applicant to inform property owners within the vicinity of the Subject Parcel (“Site”) regarding the nature and purpose of the proposed project, and to solicit public input for consideration by the Applicant in further developing the design of the project. No formal decisions regarding the project or the planned development will be made at this meeting.

MEETING DATE & TIME: Thursday, November 12, 2020, 7:00 – 9:00 PM EST

MEETING LOCATION: Bonita Springs Fire Department Station 24
27701 Bonita Grande Dr, Bonita Springs, FL 34135

PROPOSED PROJECT:

Project Name: Bonita Springs Senior Living
Case Number: PRE20-73130-bos
Applicant: Erdman Health Care Real Estate Group, LLC
Site Address: 9726 Bonita Beach Road SE, Bonita Springs, FL 34135

PROJECT DESCRIPTION:

The proposed Bonita Springs Senior Living community will be a modern residential development created to fill the growing unmet demand among area elders for living and care services in the heart of the Bonita Beach Road corridor. Featuring 90 assisted living apartments in a mix of studio, one- and two-bedroom floor plans, as well as a secure 18-unit memory care household, the focal point of the center will be a gracious and well-appointed “town center” offering restaurant-style gourmet dining, a casual café/pub, salon, well-equipped fitness/wellness facility, and an outdoor recreational pool. The four-story assisted living residence will surround the lower-level pool deck facing south toward Bonita Beach Road. The one-story town center and memory care structure will be situated in the center of the block, accessed off Wisconsin Street, with the northern portion of the site reserved for a storm water basin surrounded by a preserve of native planting materials to act as a buffer to the residential neighborhood north of Alabama Street. Located in close proximity to a range of convenient healthcare services, just blocks from the Center for Performing Arts and beyond that the Old US 41 District, this resort-like senior living community will be an exciting new landmark along Bonita Beach Road while providing a safe and supportive home for older adults from across the region.

CONTACT INFORMATION: Greg Markvluer, Vice President Real Estate Development
Erdman Health Care Real Estate Group, LLC
gmarkvluer@erdman.com, (608) 410-8009

Attn:
PFAUTH ROBERT
1 ERDMAN PLACE
MADISON, 53717

STATE OF FLORIDA COUNTY OF LEE:

Before the undersigned authority personally appeared Nicholas Kuntz, who on oath says that he or she is a Legal Assistant of the News-Press, a daily newspaper published at Fort Myers in Lee County, Florida; that the attached copy of advertisement, being a Legal Ad in the matter of

NOTICE OF NEIGHBORHOOD MEETING Subject Parcel:
9726 Bonita Beach Road SE, Bonita Springs, FL 34135
Proposed Action: Rezoning of Subject Parcel to a New Residen

In the Twentieth Judicial Circuit Court was published in said newspaper in the issues of:

10/22/2020

Affiant further says that the said News-Press is a paper of general circulation daily in Lee County and published at Fort Myers, in said Lee County, Florida, and that the said newspaper has heretofore been continuously published in said Lee County, Florida each day and has been entered as periodicals matter at the post office in Fort Myers, in said Lee County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he or she has never paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Sworn to and Subscribed before me this 22nd of October 2020, by legal clerk who is personally known to me.

[Signature]
Affiant

[Signature]
Notary State of Wisconsin, County of Brown

9-19-21
My commission expires



NOTICE OF NEIGHBORHOOD MEETING
Subject Parcel: 9726 Bonita Beach Road SE, Bonita Springs, FL 34135
Proposed Action: Rezoning of Subject Parcel to a
New Residential Planned Development

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MEETING DATE & TIME: Thursday, November 12, 2020, 7:00 – 9:00 PM EST
MEETING LOCATION: Bonita Springs Fire Department Station 24
27701 Bonita Grande Dr, Bonita Springs, FL 34135

PROPOSED PROJECT:
Project Name: Bonita Springs Senior Living
Case Number: PRE20-73130-bos
Applicant: Erdman Health Care Real Estate Group, LLC
Site Address: 9726 Bonita Beach Road SE, Bonita Springs, FL 34135

PROJECT DESCRIPTION:
The proposed Bonita Springs Senior Living community will be a modern residential development created to fill the growing unmet demand among area elders for living and care services in the heart of the Bonita Beach Road corridor. Featuring 90 assisted living apartments in a mix of studio, one- and two-bedroom floor plans, as well as a secure 18-unit memory care household, the focal point of the center will be a gracious and well-appointed "town center" offering restaurant-style gourmet dining, a casual café/pub, salon, well-equipped fitness/wellness facility, and an outdoor recreational pool. The four-story assisted living residence will surround the lower-level pool deck facing south toward Bonita Beach Road. The one-story town center and memory care structure will be situated in the center of the block, accessed off Wisconsin Street, with the northern portion of the site reserved for a storm water basin surrounded by a preserve of native planting materials to act as a buffer to the residential neighborhood north of Alabama Street. Located in close proximity to a range of convenient healthcare services, just blocks from the Center for Performing Arts and beyond that the Old US 41 District, this resort-like senior living community will be an exciting new landmark along Bonita Beach Road while providing a safe and supportive home for older adults from across the region.

CONTACT INFORMATION:
Greg Markvlwuer, Vice President Real Estate Development
Erdman Health Care Real Estate Group, LLC
gmarkvlwuer@erdman.com, (608) 410-8009
Publication: 10/22/2020

of Affidavits 1

This is not an invoice

ATTACHMENT B.xx.



Conceptual Site Plan Bonita Springs, Florida

21 October 2020

11/12/20 Public Meeting

ATTACHMENT B.xx.

CATE STAD 9777-9 ALABAMA
KEN KUDLA 9345 LA PLATA CT

- Ken - Traffic Concerns
- Discussed staffing ratios
 - Ken wants to see the traffic studies
 - The church also generates a significant amount of traffic

Cate

- Concerned about quality of care - Training
- How are these community different from the local competition
- Would we consider a traffic light at West

Attachment B.xxi.

NOTICE OF NEIGHBORHOOD MEETING

Subject Parcel: 9726 Bonita Beach Road SE, Bonita Springs, FL 34135

Proposed Action: Rezoning of Subject Parcel to a Commercial Planned Development

NOTICE IS HEREBY GIVEN THAT Erdman Health Care Real Estate Group, LLC (“Applicant”) is conducting a Neighborhood Meeting regarding their proposed New Commercial Planned Development application. The purpose of this meeting is to permit the Applicant to inform property owners within the vicinity of the Subject Parcel (“Site”) regarding the nature and purpose of the proposed project, and to solicit public input for consideration by the Applicant in further developing the design of the project. No formal decisions regarding the project or the planned development will be made at this meeting.

MEETING DATE & TIME: Tuesday, August 3, 2021, 5:30 – 6:30 PM EST

MEETING LOCATION: Bonita Springs Fire Department Station 24
27701 Bonita Grande Dr, Bonita Springs, FL 34135

PROPOSED PROJECT:

Project Name: Erdman Assisted Living Facility
Case Number: PD21-77930-BOS
Applicant: Erdman Health Care Real Estate Group, LLC
Site Address: 9726 Bonita Beach Road SE, Bonita Springs, FL 34135

PROJECT DESCRIPTION:

The proposed Bonita Springs Senior Living community will be a modern residential development created to fill the growing unmet demand among area elders for living and care services in the heart of the Bonita Beach Road corridor. Featuring 90 assisted living apartments in a mix of studio, one- and two-bedroom floor plans, as well as a secure 18-unit memory care household, the focal point of the center will be a gracious and well-appointed “town center” offering restaurant-style gourmet dining, a casual café/pub, salon, and a well-equipped fitness/wellness facility. The four-story assisted living facility will face south toward Bonita Beach Road. The one-story town center and memory care structure will be situated in the center of the block, accessed off Wisconsin Street, with the northern portion of the site reserved for a storm water basin surrounded by a preserve of native planting materials to act as a buffer to the residential neighborhood north of Alabama Street.

Zoom Meeting

Link: <https://bit.ly/3qFZXLQ>

Meeting ID: 898 1683 4631

Passcode: 755265

CONTACT INFORMATION

Tom Barber

Thomas D. Barber, AICP

7400 Trail Boulevard, Suite 200
Naples, FL 34108
Telephone: (239) 597-3111
Facsimile: (239) 566-2203
Email: tom.barber@abbinc.com

Naples Daily News

PART OF THE USA TODAY NETWORK

Published Daily
Naples, FL 34110

Attachment B.xxi.

Agnoli Barber & Brundage
7400 Trail BLVD # 200
Naples, FL 34108-2855

Affidavit of Publication

STATE OF WISCONSIN
COUNTY OF BROWN

Before the undersigned they serve as the authority, personally appeared said legal clerk who on oath says that he/she serves as **Legal Clerk** of the Naples Daily News, a daily newspaper published at Naples, in Collier County, Florida; distributed in Collier and Lee counties of Florida; that the attached copy of the advertising was published in said newspaper on dates listed. Affiant further says that the said Naples Daily News is a newspaper published at Naples, in said Collier County, Florida, and that the said newspaper has heretofore been continuously published in said Collier County, Florida; distributed in Collier and Lee counties of Florida, each day and has been entered as second class mail matter at the post office in Naples, in said Collier County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement and affiant further says that he has neither paid nor promised any person, or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

07/12/2021



Subscribed and sworn to before on August 10, 2021:


Notary, State of WI, County of Brown

10/23/2023

My commission expires

Publication Cost: \$1,605.25
Ad No: GCI0687791
Customer No: 570311
PO#:

PANG PAPPATHOPOULOS
Notary Public
State of Wisconsin

SIGN IN SHEET

Attachment B.xxi.

Name	Street Address	Email Address
LANNY SHEFFIELD	9726 Bernate Beach Rd	
ROGREN CHENTON	9725 ALABAMA	
Kathy Vargas	ABB	
Tom Barber	ABB	
Jackson McConnell	ABB	
Greg Markvliwer	Erdman	
Isaac Wallace	Erdman	
David Mills	Agewell	
iphone	Zoom	
Sarah	Zoom	

Attachment B.xxi.

Tuesday August 3rd, 2021



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Assisted Living Facility



AGNOLI
BARBER &
BRUNDAGE, INC.
Professional Engineers, Planners, Surveyors & Landscape Architects

Neighborhood Information Meeting

Project Team

ERDMAN

Applicant

- Erdman Health Care Real Estate Group, LLC

Engineer

- Kellie Fissinger, P.E.
- Agnoli, Barber, & Brundage, Inc.

Planner

- Thomas D. Barber, AICP
- Jackson McConnell
- Agnoli, Barber, & Brundage, Inc.

Transportation

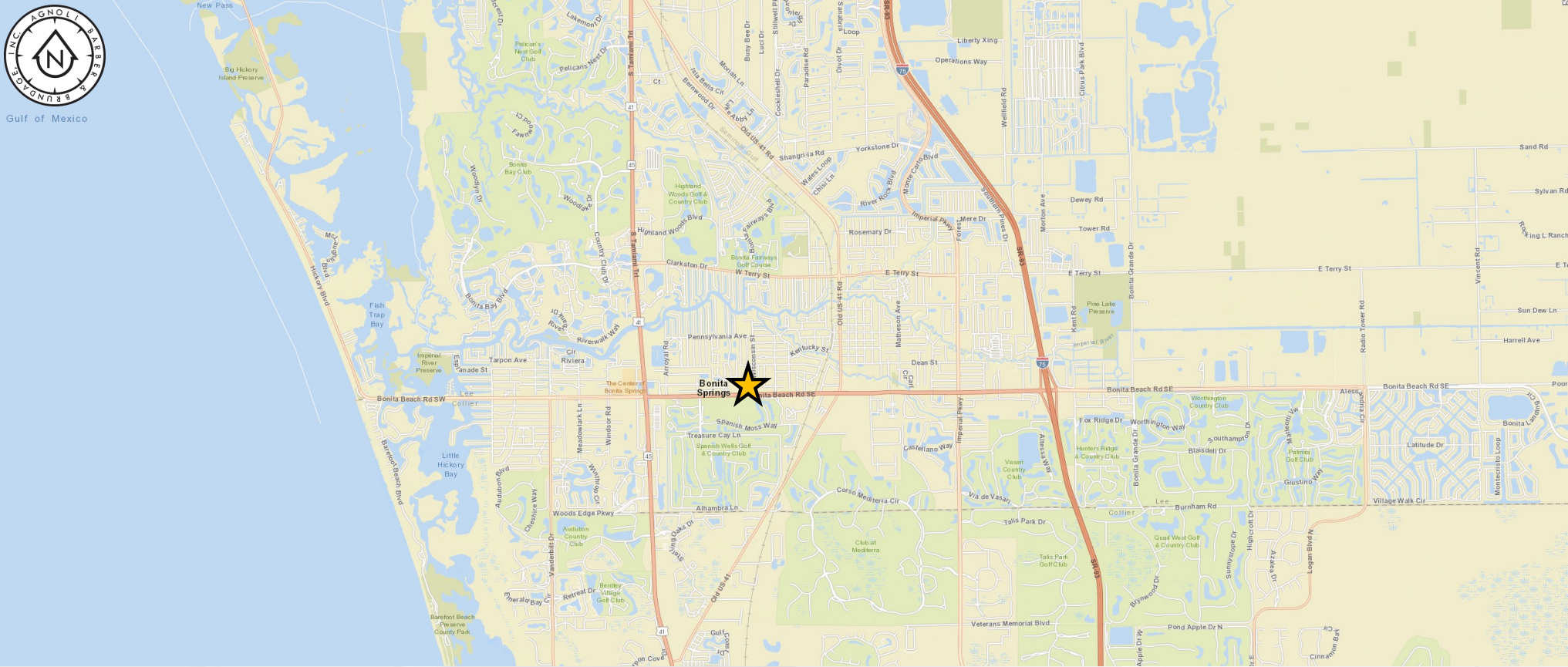
- Norman J. Trebilcock, AICP, P.E.
- Trebilcock Consulting Solutions, P.A.

Environmental Biologist

- Andrew Woodruff, V.P.
- Passarella & Associates, Inc.

Attachment B.xxi.

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Location



Attachment B.xxi.



Location

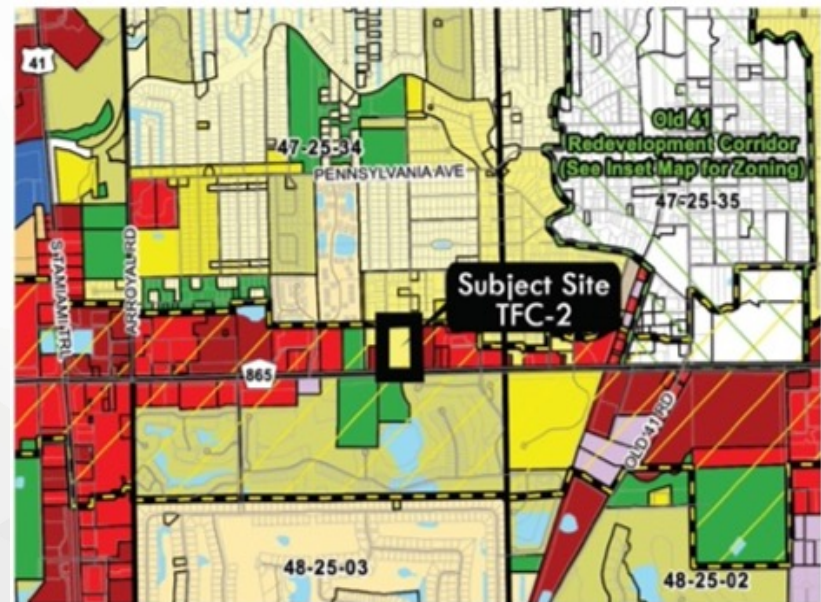


Attachment B.xxi.

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- Assisted Living Facility
 - 90 assisted living units
 - 18 memory care units
 - 95,000 sf
- Campus style facility
- Generous amenities and outdoor spaces
- Asset to the community

Zoning Map



Project Info



Attachment B.xxi.

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The proposed 4 story, 108 unit Assisted Living Facility would be located at 9726 Bonita Beach Road SE. The site is approximately 4.19 acres and is bound to the north by Alabama Street, by Wisconsin Street to the east, and Bonita Beach Road to the south. The project falls within the Jurisdiction of The City of Bonita, Bonita Springs Utilities, and the South Florida Water Management District. From a zoning perspective the site is also within the Bonita Beach Road Overlay Corridor.

- A rezone of the property will be required
- Public hearing process
- Compatible with the commercial developments to the east and the west
- Fronting the Beach Road corridor
- Encouraging density
- Buffer the single-family residents
- Single-story memory care is lower intensity
- At the northern portion of the site



Project Info 2



Folio #: 10290772

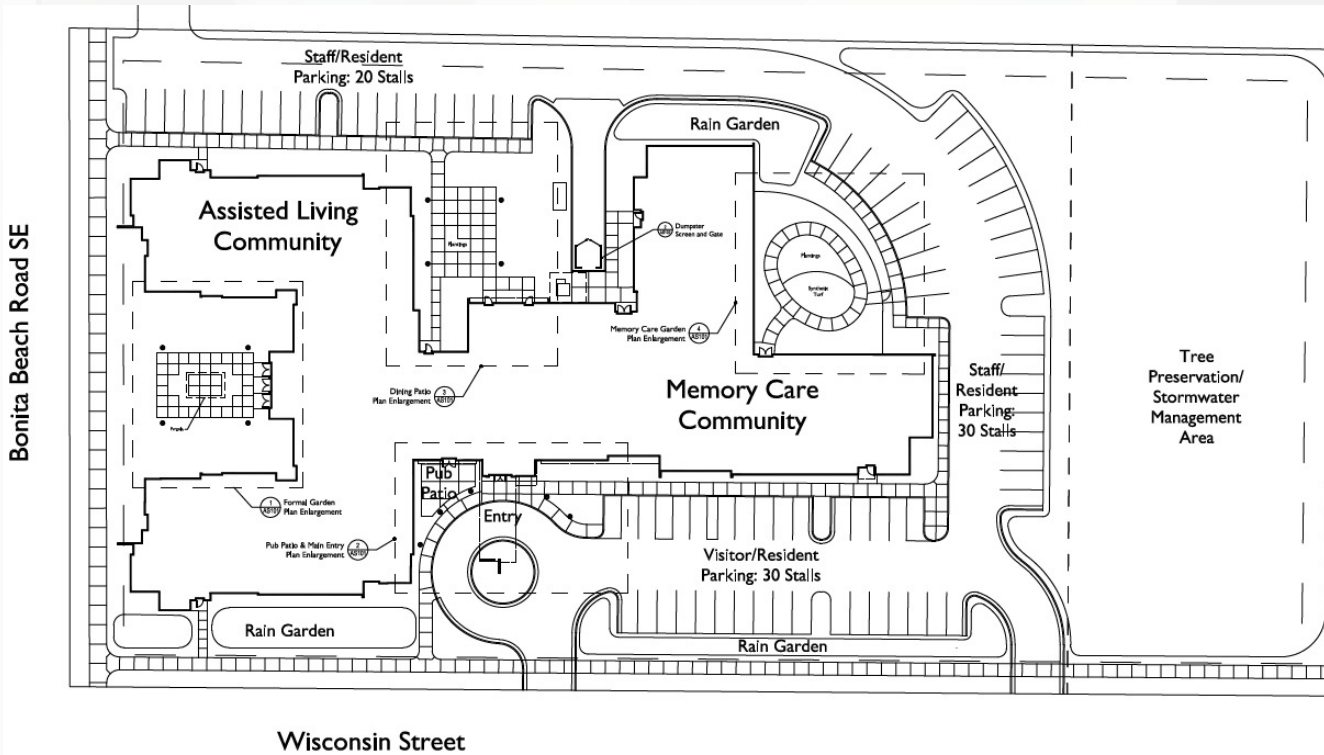
Existing Zoning: TFC-2

Acreage: 4.19 Acres

Proposed Zoning: Commercial Planned Development
(CPD)

Attachment B.xxi.

ERDMAN

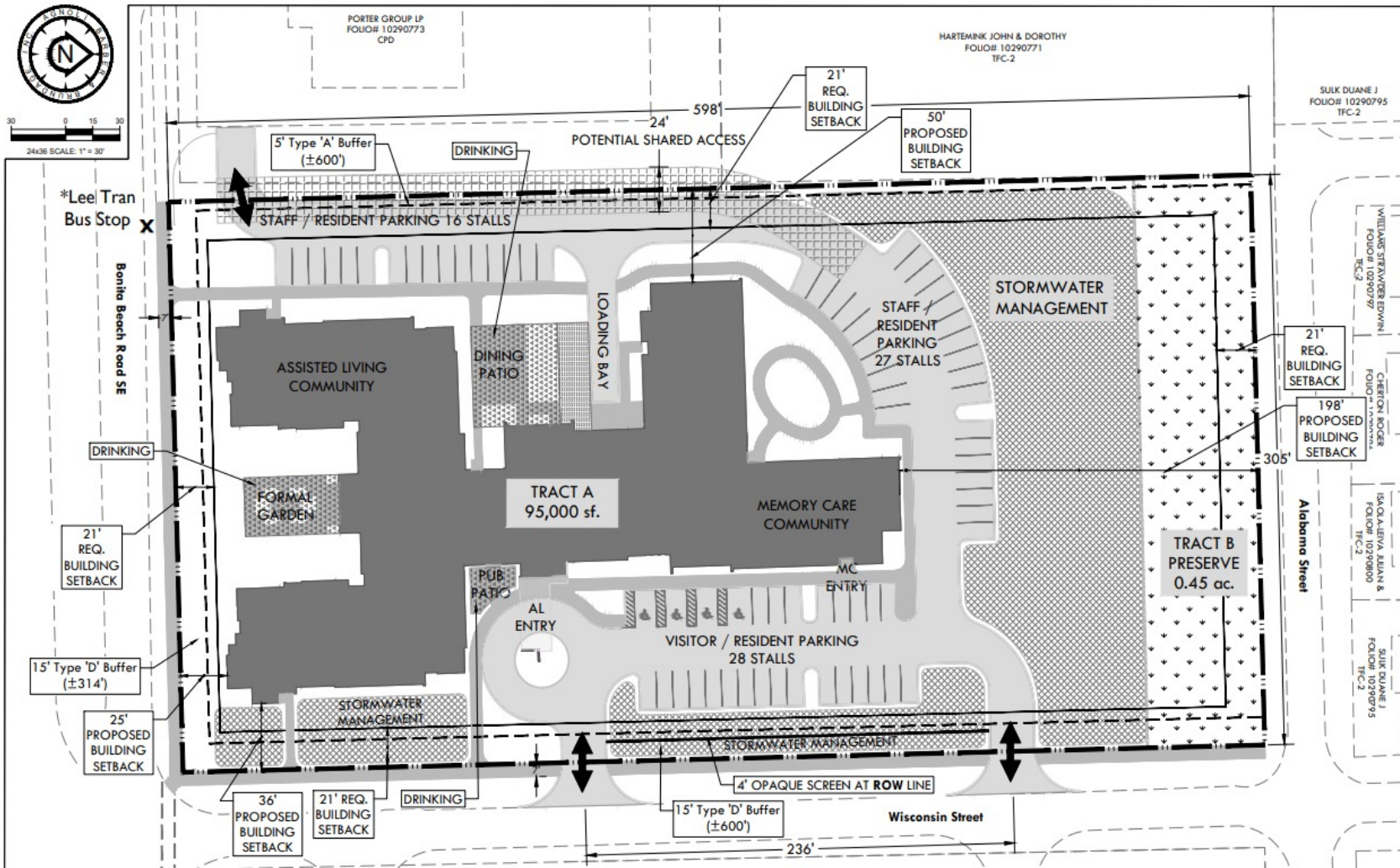


- Primary building will be 95,000-sf facility with interconnected pathways and open space park and garden areas
- Storm water retention and drainage will be utilized throughout the site
- Public multimodal pathways are designed 7 ft in width along Bonita Beach road & Wisconsin street

Site Function



Attachment B.xxi.



Master Concept Plan



Attachment B.xxi.



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Required

Density Standards (from the Comprehensive Plan)

- Maximum density for Land Use Classification:
 - 10 units per acre
- Density Equivalence for Assisted Living per LDC Sec. 4-1283.b.
 - 1 unit= 4 Assisted Living Units

4.19 ac x 10 units/ac. = 42 units

42 units x 4-unit density equivalence = 168 units

Total allowed Assisted Living Units: 168 units

Proposed

- Assisted Living Units: 90 units
- Memory Care Units: 18 units
- **Total proposed Units: 108 units**

Difference shown as a percentage

- 108 proposed units/ 168 allowed units = 0.642
- $0.642 \times 100\% = 64.2\%$ of total allowed density is utilized.
- 35.8% reduction from the total allowed density

Unit Density Breakdown



Attachment B.xxi.

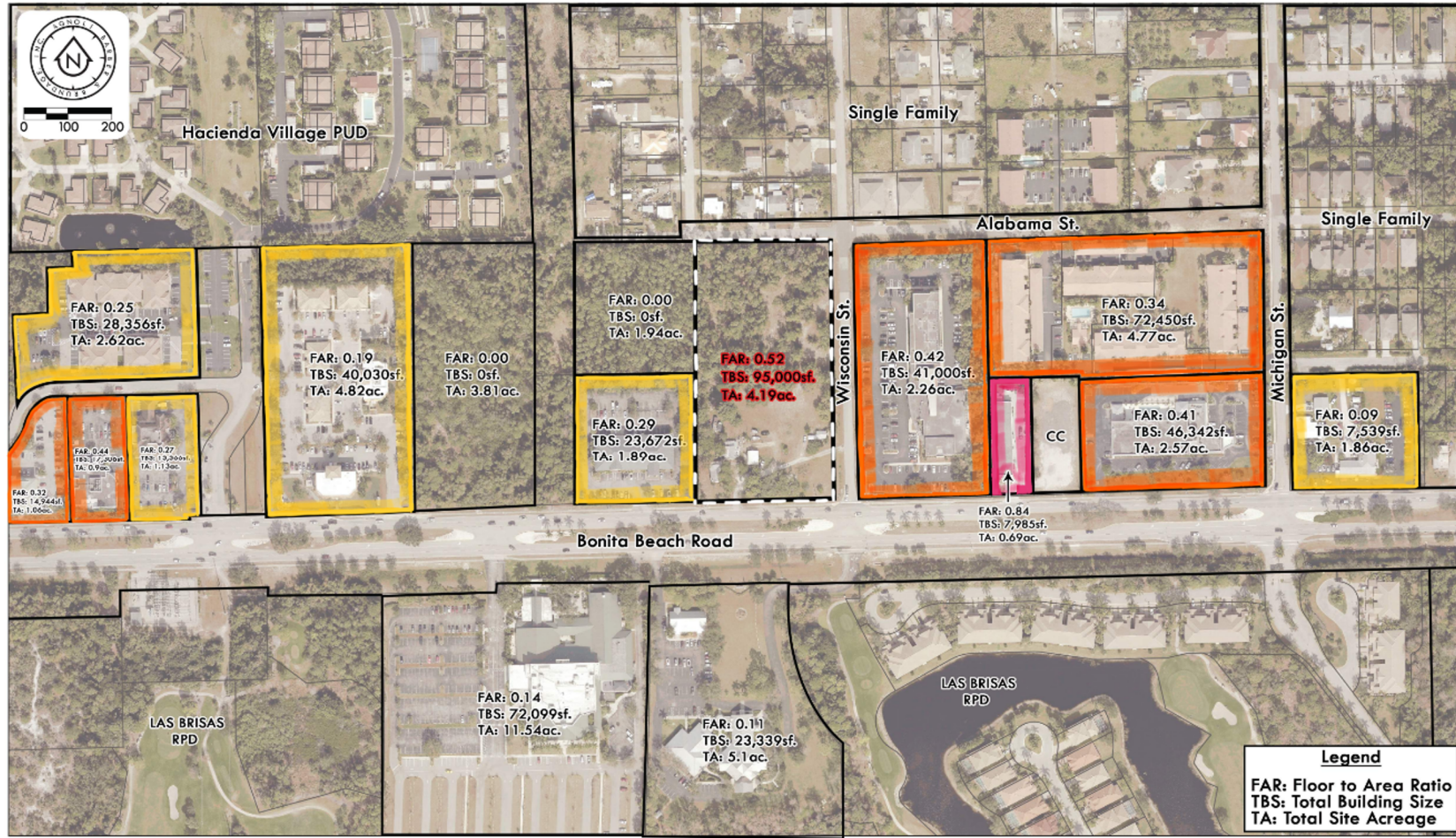
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- Designed to provide for and maintain the surrounding community's elderly needs
- This project will be designed to fit in with the surrounding properties and ensure compatibility within the local community.
- Density of the land use and unit density of the project will be concentrated along Bonita Beach road
- The intensity of the project matches the existing properties within the local area

Community Fit



Attachment B.xxi.



**Erdman Assisted Living Facility
 Floor to Area Ratio Map**

Source: CCPA
 Created: 7/7/2021
 ABS PR: 20-0335

Attachment B.xxi.



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- Shows compatibility within community

Block Plan Layout



Attachment B.xxi.



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- South East architectural view of proposed building

Architectural Render



Attachment B.xxi.

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- North East architectural view of proposed building



2 NORTH EAST AXON
SCALE:

Architectural Render



Attachment B.xxi.



3 ENTRY PERSPECTIVE
SCALE:



4 AL SOUTHERN ELEVATION
SCALE:

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- Entrance architectural view of proposed building
- South view of elevation of proposed building

Architectural Render



Attachment B.xxi.

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- Trip Cap proposed at 44 PM Peak Hour Two Way Trips. As a comparative, similar intensity:
- Shopping Center (20,000sf) would have a trip generation of 178 PM Peak Hour Two Way Trips
- Supermarket (20,000sf) would have a trip generation of 235 PM Peak Hour Two Way Trips
- Drug Pharmacy with Drive-Through Window (20,000sf) would have a trip generation of 226 PM Peak Hour Two Way Trips
- Project proposes a shared access with interconnection to adjacent properties.
- Does not degrade the existing LOS of the area road network.

Attachment B.xxi.

Project Trip Generation – Build-out Conditions – Average Weekday

Development	24 Hour Two-Way	AM Peak Hour			PM Peak Hour		
		Enter	Exit	Total	Enter	Exit	Total
Assisted Living / 92,000 sq. ft.	388	28	8	36	13	31	44

Project Traffic Distribution for AM and PM Peak Hour, Peak Direction⁽¹⁾

Roadway	Roadway Segment Location	Distribution of Project Traffic	Peak Hour, Peak Direction Project Volume	
			AM	PM
Bonita Beach Rd	Arroyal Rd to Wisconsin St	50%	14	16
Bonita Beach Rd	Wisconsin St to Old 41 Rd	50%	14	15

Attachment B.xxi.

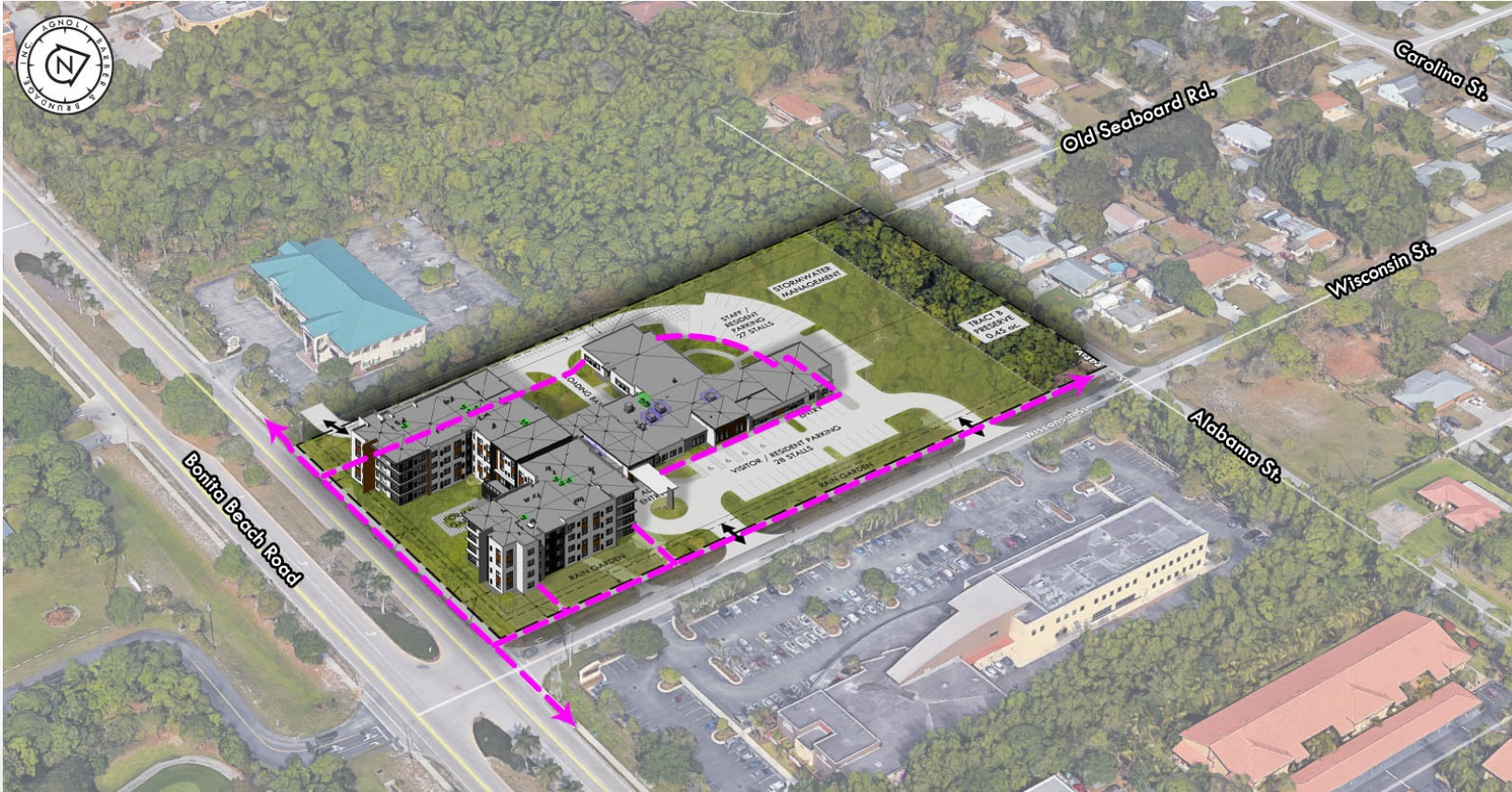


Vehicular Inter-Connection



Attachment B.xxi.

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- Site interconnectivity
- Multimodal Pathways
- 7' on Beach Road
- 6' on Wisconsin

Pedestrian Connectivity



Attachment B.xxi.

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The LinC ROUTE 600

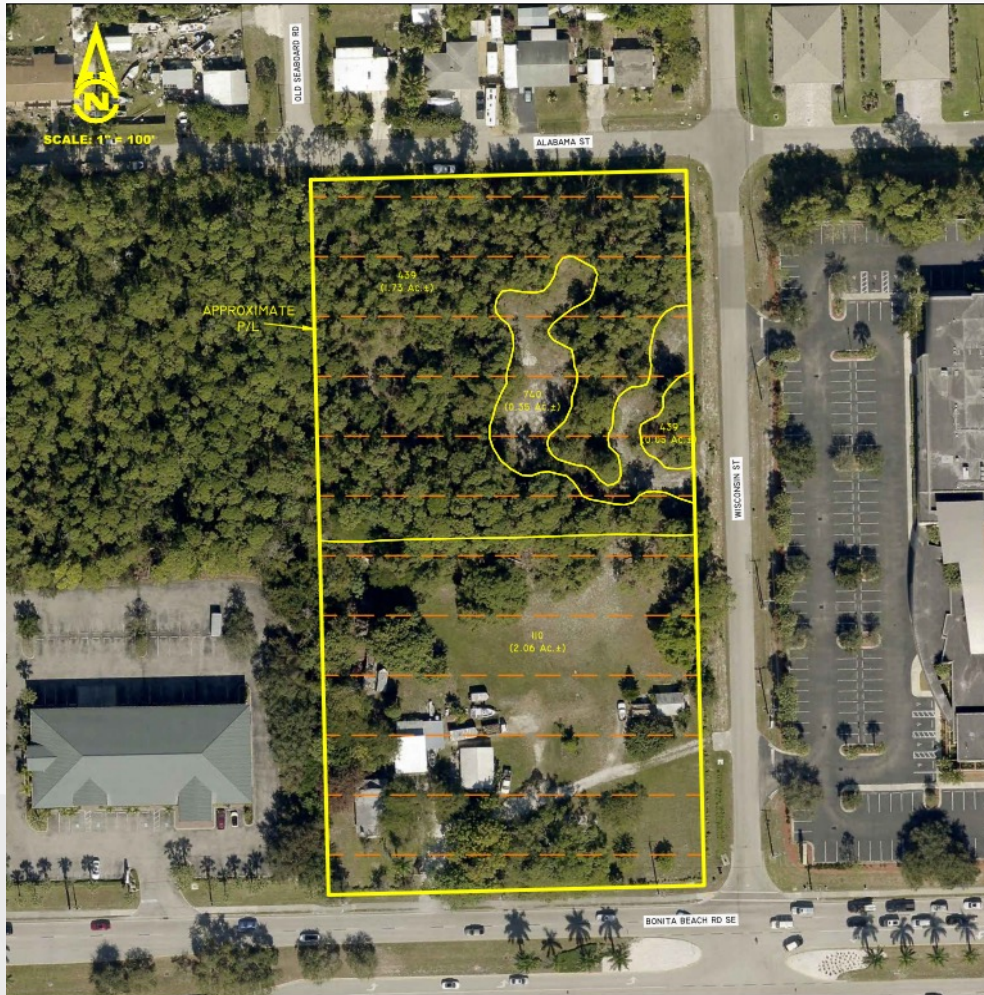


- Bus stop will be renovated
- The design of the planned development will facilitate the use of the transit system

Public Transit Route



Attachment B.xxi.



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- Preserve is 0.45 acres
10% of the total site
- No listed plant or
species observed

LEGEND:
— SURVEY TRANSECTS

FLUCFCS CODES	DESCRIPTIONS	ACREAGE	% OF TOTAL
110	RESIDENTIAL	2.06 Ac. ±	49.2%
439	EXOTIC HARDWOODS	1.78 Ac. ±	42.5%
740	DISTURBED LAND	0.35 Ac. ±	8.4%
TOTAL		4.19 Ac. ±	100.0%

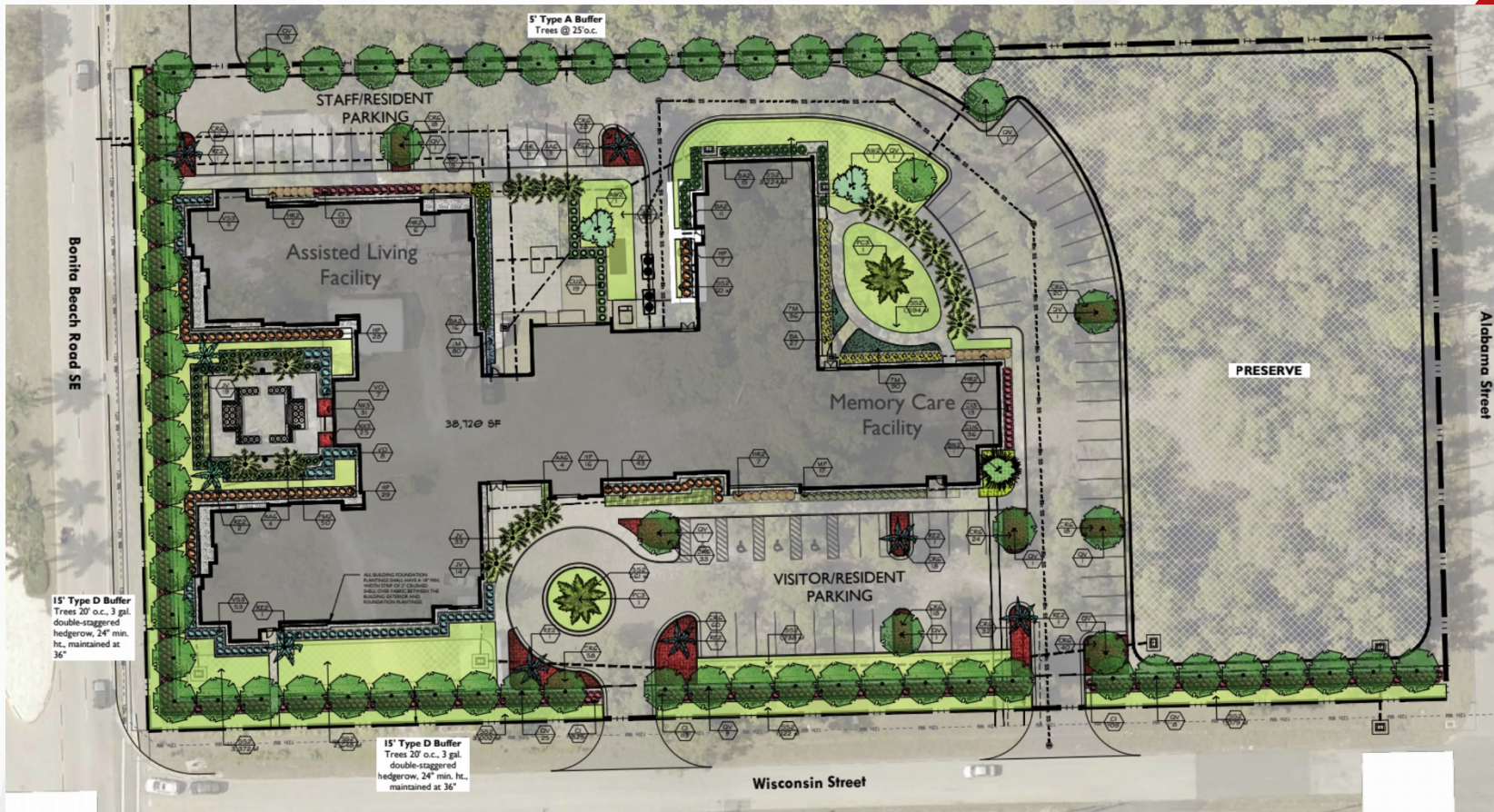
 **PASSARELLA & ASSOCIATES**
Crisis Issues Ecologists

Environmental



Attachment B.xxi.

ERDMAN



Landscape Plan



Attachment B.xxi.

Erdman NIM Meeting - PN 20-0135

5:32

Erdman Representative:

All right, well I think it's time; we can get started. We are 5:31 So, we call the meeting to order and get us kicked off. So, I'm Greg Markvluer with Erdman, um,

Attendee:

With who?

Erdman Representative:

With Erdman the architectural firm.

Attendee:

Okay.

Erdman Representative:

This is Isaac he's also with Erdman.

Erdman Representative:

I'm the lead architect on this project and managing the architecture and engineering side of things.

Attendee:

Okay.

Erdman Representative:

This is David Mills, he's with AGEWELL he's the operator who runs the community when it's opened handles all the staffing handles all the administration. Anything operations.

Attendee:

Okay.

Attendee:

You're going to be in charge of the properties.

Erdman Representative:

We are the property managers, yes.

Attendee:

Are you going to be on site?

Erdman Representative:

Attachment B.xxi.

Me personally, probably a lot.

Attendee:

Okay.

Erdman Representative:

I'm no I'm the owner and president of the company.

Attendee:

Okay.

Erdman Representative:

So but I live in Tampa and my daughter goes to school right here,so.

Attendee:

We're neighbors because I live right across the street.

Erdman Representative:

Do ya? Nice.

Attendee:

Yeah.

Erdman Representative:

Nice. Good, good, good.

Erdman Representative:

All right, so just a little bit about Erdman. So, we're 100% committed to senior living and healthcare. That's all we do, we don't do any other kind of commercial office or retail. Everything we do is related to health care, meaning hospitals, medical office buildings, and senior living. We've got, we've been around we're going to be celebrating our 75th anniversary this year. So, we've been around for a long time, delivered over 6000 projects; we work in all lower 48 states, licensed across the nation. We've got about a billion, one and a half billion of projects where 98% of them were ahead of schedule, and a change order rate meaning our cost overruns, are down to 1.62% so, we control our cost, it's a science as far as our delivering projects and we take pride in how we deliver projects, timely as well as on budget. So, David, do you want to walk through AGEWELL and give a little summary on AGEWELL.

Erdman Representative:

Sure, so, we have actually right now we have, that'd be 10 communities under management. We've been around for 20 years. We are licensed in the state of Florida, and we run about 1900 rooms in the state of Florida. We have a new one coming up in the Jupiter area, this one and at least one in West Palm Beach area and one up in, where is it, one up in Tampa type area. So that's where that's where we added, we now have all over the country there are different states two or three in each state from Alabama through Georgia, and now we just got through in Indiana. So, we're kind of a little bit through

Attachment B.xxi.

the world. We've been around. There's three of us that are owned and run the company that are Floridians, so that's why I said we'll be here, we'll be neighbors.

Attendee:

Wow, I'm impressed. Born and raised I'm fifth generation.

Erdman Representative:

Are you?

Erdman Representative:

Wow, good for you.

Erdman Representative:

Wow. Wow.

Erdman Representative:

Yep, I got, I have a daughter who goes right over to Florida Gulf Coast off, so I'll definitely be seeing you guys as a construction goes up. So I'll be back Saturday looping her in. So, trying to do it, but AGEWELL AGEWELL does we run assisted living, memory cares, and we run independent living facilities. We run all three all three levels, and we can if you go to our website we have plenty of a product you can look at and understand what the value of it is background and

Attendee:

Good thing I'm not moving over there for another 30 years

Erdman Representative:

Hey, I didn't say anything or assume

Attendee:

Can I move in as soon as you're done there?

Erdman Representative:

Once we're done you can be there

Attendee:

Start moving.

Erdman Representative:

So, you know, we do the whole we do the whole thing all the way from cooking, straight through to care so whatever you can think of we've been doing for 27 years now.

Attendee:

Attachment B.xxi.

So where could I find like credentials and stuff because I got some family members that have Alzheimer's, and currently having issues with that and we may need to use this eventually but I need to know more about that

Erdman Representative:

Well

Attendee:

And what we can do the facility can do, because my family members are dear to me, I would really love to make sure that they can be a part of this facility. Once it is built, and stabilized.

Erdman Representative:

Well, And just from 25 years of doing it.

Attendee:

Thank you sir.

Erdman Representative:

After 25 years of doing it, To tell you that, to tell you that what Erdman has on the boards right now to develop and with all of our health, it's, I mean it's going to be spectacular. You know, for, for assisted living and memory care it's just going to be state of the art project.

Attendee:

With our what's, excuse me, what set y'all apart from American House all the other six or nine in our area well what would set you apart in your actual facts of this

Erdman Representative:

Well and you know and I don't want to, I don't want to ever say anything bad about a competitor.

Attendee:

No, I, no.

Erdman Representative:

But what I would tell you is a couple things. My, my mother is, my mother and father were Alzheimer's residents and my mother is still presently, and she lives in one of the buildings near my house which is not owned by me. And I will tell you that they do a lot of what we call warehousing, which is not engaging them a lot. We spend a lot of time and effort, engaging people, to make sure that they do better. It's called masterpiece living.

Attendee:

Master?

Erdman Representative:

Attachment B.xxi.

Masterpiece living like we could push them, we push people to live better, healthier and work better. I mean, and I will push people.

Tom Barber:

I paused for a minute.

Erdman Representative:

We push we push for a healthier lifestyle for seniors, both in, you know, while they still can have french fries, and we want to make sure that they're there with their friends and they're pushing it. So to answer your question that's, that's what we do. He was just in one of our buildings in Atlanta. And, you know, our residents are, are so engaged and so together we got, you know 100% vaccinated group. And it just, they hung out together and you know we're still gonna see some

Attendee:

Right, yes, yes.

Erdman Representative:

Runs with this, but they're, you know they're living life, and that's the most important thing to us.

Attendee:

Well my concern is, is with with what y'all do is me being in the community so I'm not gonna mention any names because some of it might not even be positive. I see them sedentary and drugged, they're sitting, they're waiting to die,

Erdman Representative:

Right.

Attendee:

They're not being a meaning uplifting positive to be in that world. I see it and it makes me sad. I don't want to see this happen again I don't want you guys, this corporation, I want you to be, do well, but I don't want to see this and then we'll run another one in our town right, at all

Erdman Representative:

And you'll see you'll see a difference that we, you know, we truly use this masterpiece living, which is really called SIPS: social, intellectual, physical, spiritual, and it really pushes in with some of my doctor, soft, soft, soft. It really pushes to try to try to get people to do to, to engage and really that's the biggest thing that's what ends up happening to all of us when we retire, we stop engaging we have to keep on moving.

Attendee:

Body in motion stays in motion.

Erdman Representative:

Body in motion stays in motion.

Attachment B.xxi.

Attendee:

You're on the Master track.

Erdman Representative:

Oh,

Attendee:

Based on this

Erdman Representative:

I'm a college and high school wrestling coach but

Attendee:

I'm also a master martial artists in six months but anyhow, going forward with this, I'm looking for a positivity here because I'm losing my family heritage here is a historic site is being bought out and being demolished my grandfather made the blocks out of Compton oyster shells. Pitch upon a block the bacon, the very first buildings and old survey, the city has done nothing but tear us down, take piece by piece. This is a last history of historical site between all actually all of Bonita Beach Road, between 41 and 41 So, last one.

Erdman Representative:

Hm.

Attendee:

And what y'all done has got a beautiful site plan, it looks great and does that, but I'm losing family heritage here and I want to see something there that's going to prosper and do well for the whole community, long term, and help elderly people out, and I would love to see that, I really do. And I hope you guys stay to your word

Erdman Representative:

Yeah.

Attendee:

And follow through with this, I really do.

Erdman Representative:

Well I just toured, like David said, one of those communities up Atlanta, and if you would see the interaction he has when he's in the community with the residents, knowing him by first name, as well as the staff. Today the hardest thing to running a good community is having good staff. And David is personally connected to the people I don't care if it's back in the kitchen, or if it's a frontline worker, he is. He knows them by name, giving them hugs and he's connected with these people. And to me that's what makes a difference if we're going to develop a community like this. I want to make sure that the people have a connection, and the employees have a connection, not only to the resident, but it starts

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with the management and the ownership, taking good care of these employees, and they will take good care of the residents and the community. And that's what I see when I visit a community with David.

Erdman Representative:

Well and after 20 years we don't, we don't have a they'll say just we don't have a crapload of communities, because we can't get it, we won't be afforded communities, you start to lose something. So, you know, so we pick and choose, Erdman group is just amazing. So we pick and choose who we're going to, who we're going to work with and what we're going to do because there's enough money to be had, the idea is to make sure that you're doing good. And again, I did it, I was a chef for Marriott, I didn't. This wasn't my chosen profession. So my chosen profession was to the hospitality, but both parents end up with issues 25 years ago and five years ago. And, you know, that's the goal. Make sure that your dad can have the best chocolate cake of his life every single day.

Attendee:

So if I could ask you a question.

Erdman Representative:

Sure.

Attendee:

To the, to the point of the job and great your, your business.

Erdman Representative:

Yep.

Attendee:

I've been in business. It's a business that that's irrelevant.

Erdman Representative:

Mhm.

Attendee:

It's nice that you're here. it's nice if you have passion about your job, it's nice that you say you're committed about the people that you're going to be taking care of. My parents both ended up in one of those because of, so I went visit him. I saw what it's like, I know the inside of those buildings, that's. That to me is, it's your business, another business. There's a business across the street.

Erdman Representative:

Right, right.

Attendee:

I've been here. Not as long as they have, but I've been here 35 years I've seen it change, and I, and I'm got my particular since I live on one of those four houses that's right across the street from it

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Erdman Representative:

Oh.

Erdman Representative:

Mm.

Attendee:

Directly doobies, and I have two questions. And being the contractor, what are you guys going to spray print. How long is your build schedule. How often do you stay on schedule. Then, then once that happens, then you're particularly the buffer zone is of interest to me because I'm looking at my front window, I don't live there, actually I live 19 houses over.

Erdman Representative:

Mm.

Attendee:

So I'm well invested in the community. That's my construction office,

Erdman Representative:

Hm.

Attendee:

if you will, and, and that's where my family stay when they come visit. But in any event, so I'm looking out my front window, I want to know what you're going to do with lands across street, whether you're going to clear cut, clear all out, which is fine and replant. I would imagine that there's going to be some kind of receptacle for runoff, so it would be probably dipped out in the middle. You know, but I did notice that you're putting a sidewalk down Bonita Beach Road but you're not putting the one on Alabama Street which is fine with me. Right now the way they've got it. The city made it flat on the road, they try to make water run uphill, they got, they got a catch basin down at the corner of Seagate, Seagate, and Alabama Street, and they're running the water towards, so they're running water, they're trying to make the water do this water come down here, they're trying to run the water into this catch basin, and down here, and down there, and the natural flow if you just don't stand on the street, it runs down here and this is a flood basin, and this used to be the Bonita City dump or right over here, so this is really low, right. So they're trying to make the water run up here so when it gets on there when it, when it runs down the street, it runs down, it goes into this catch basin the catch basin fills up to full water find its own level, and the water runs that way. That's just something that you guys might not know. So, when they were doing this I walked over there and across the street and I talked to the engineer and the guys that were digging up like what the fuck are we doing, this is retarded, but they did it because that's what the guy told him to do

Erdman Representative:

Right.

Attendee:

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and they're trying to run that. So you guys are going to try to fill in this water basin. There's a ditch here right?

Erdman Representative:

Mhm.

Attendee:

Well no it's flat now and then there, that's what's underground, but that's irrelevant. So, you guys are going to clear this entirely.

Tom Barber:

So,

Attendee:

And replant?

Tom Barber:

So half of this will be stormwater, which we won't have to scrape out the existing ground that you have right now is basically controlled water tables a little bit below that. So we have to leave that half of it where it is, we'll have a small berm, maybe two foot berm around it, and then the back strip will be all the native vegetation that's there.

Attendee:

You're not touching this?

Tom Barber:

It'll have to be free of exotics, so the peppers tree goes out. And

Attendee:

So what are you planning on doing mechanical mulching skates here in there with them all trying to

Tom Barber:

I don't know that they're allowed to take the machine in there. I think it needs to be hand cleared I'm not sure.

Attendee:

Okay. Yeah, that'd be a matter of whether the Bonita Springs, you know. I do it all the time. I'm building all the time.

Tom Barber:

So, so for from a drainage standpoint, most of this is piped. There's a few

Attendee:

Yeah, it's piped now. There's a few yeah it's a swale,

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Tom Barber:

Yeah right, so we're gonna connect those swales with the pipe, and then our outfall will be connected and there's a mitered end section right here.

Attendee:

Yep.

Tom Barber:

So we're going to connect straight into that mitered end.

Attendee:

Right, right. No worries. I mean, I can tell you this floor. I built, I'm building right now in um. It's irrelevant but I'm building right now, and I'm getting an EPA approval to fill in wetlands, and Florida is all wetlands right, it's all flat. It's like some of the rules are so ridiculous. So, and I'm not wanting to say oh I'm the last person in and I don't want you guys to clear it, I don't, whatever you want I just want to, I was just asking whether it's going to be clear cut, and replanted with you know palms and what have you. And so that, when I, I just might like I said, my only concern when I look out my front window. I can't see. I can't see the building. And of course, this right here. When I looked out through there before Irma, it was 100% foliage and after Irma, it was. 70% gone.

Erdman Representative:

Mm.

Attendee:

So I could see good blue sky. So, you know, that might happen. That's up my novel down the hall grow up, and, you know, if you live in Florida for any period of time, you know, plant, the first three years, and then you're going to rip out the rest of your life.

Tom Barber:

If you look at the aerial of the site.

Attendee:

Yeah.

Tom Barber:

We're going to remove about half of that. So really the dense area of vegetation will all remain.

Attendee:

Right, right. Yeah, you know, obviously I'm on planes. So, yeah, that's fine. That's my only question that was my only question, how many people um, how many people are gonna be living there?

Erdman Representative:

It's about 100.

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Attendee:

So, on from your experience. People that if a if an individual is living in there. How many times a week, are they visited?

Erdman Representative:

Residents or family member you mean?

Attendee:

Anybody.

Erdman Representative:

So,

Attendee:

If I lived and I was a normal person. I don't have any friends and I don't have any family so no one is going to come visit me, but how many people would visit him

Erdman Representative:

Max on shifts you're talking about probably, probably about 30, 30 change in shifts about 30 cars, so really is going to be the max and you're going to get out of this one, and then

Erdman Representative:

30 cars now that's on a regular basis,

Attendee:

on a daily basis

Erdman Representative:

on a daily basis

Attendee:

So if you have 100 people you're saying that

Erdman Representative:

you're gonna have, you're gonna have, you're gonna have shifts so you're gonna have staffing

Attendee:

You're talking staffing

Erdman Representative:

We're talking visitors. It's so hard to say because you know you get such volume differences but

Attendee:

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Well, I understand that

Erdman Representative:

Yeah, you're probably talking once a week. If you're talking about a

Attendee:

So, so the numbers would be if once a week. The average person

Erdman Representative:

Right

Attendee:

Gets visited once a week, that means there's 100 vehicles going in and out of there for your 100 breaths

Erdman Representative:

For a week.

Attendee:

or one week, and then you have 30 people on three shifts,

Erdman Representative:

right,

Attendee:

So there's

Erdman Representative:

Well

Attendee:

not forget three shifts,

Erdman Representative:

it'll be it'll be day shift would be about 30

Attendee:

Okay.

Erdman Representative:

Evening shifts will be about 20. Night shift will be about 10.

Attendee:

That's 60 people

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Erdman Representative:
Right.

Attendee:
So you have 60 cars going in and out, in the course of 24 hours

Erdman Representative:
Right.

Attendee:
And then you have

Erdman Representative:
probably about figure another 13 14 on average.

Attendee:
see 75

Erdman Representative:
75

Attendee:
75 cars going in and out, in time,

Erdman Representative:
probably the lowest volume business that you'd ever see in that corner,

Attendee:
Yeah 75 cars go through 75 in a hour

Erdman Representative:
Yeah, you're gonna see a low volume business and even if you're talking about sales teams and all that. You're talking probably another sale is five per day. So you maybe at 75 I mean we get, I tried to do this in my hometown where I grew up in Cleveland, Ohio. And I had that conversation with them. And they were like, Yeah, but you're gonna bring in so many extra people that are here, this is the lowest value because they don't brag. By the time they get to that level, they're not driving to work

Attendee:
They're not going in and out.

Erdman Representative:
Yeah

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Attendee:

they're not going in and out its a family member.

Erdman Representative:

Right.

Attendee:

And so you'll get somebody they'll come in, certainly on holidays

Erdman Representative:

that more or less like a little bit more but it's not going to be exact, it's not well you're gonna see some fine, it's not the volume you're gonna see with a restaurant. The only question I would have if you really one question would be, twice a week you're going to get truck deliveries for the week. So that would be the only thing that would be a little bit,

Attendee:

I own a big truck.

Erdman Representative:

That would be the only thing that would be

Attendee:

the reason I'm asking you is I do drive, I own dump truck. As part of my business.

Erdman Representative:

Yeah

Attendee:

and so I'm driving down, I'm driving down to my, you know,

Erdman Representative:

To the site.

Attendee:

I'm driving home.

Erdman Representative:

Yeah

Attendee:

Either parking there or I'm parking at my other house. So I'm coming down and I'm coming down, and I drive slow

Erdman Representative:

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Right.

Attendee:

I mean, I'm not in a big hurry.

Erdman Representative:

Right.

Attendee:

But, you know, I don't want to hit anybody with my dump truck.

Erdman Representative:

Yeah, but you're not you're not talking about residents, you know you're not talking about residents, I mean, they're the areas that they're going to be walking into just so you know, there are some structure areas that Isaac has put together, which will be more confined for the memory care obviously very confined and for the assisted living, there's some beautiful. There's some beautiful gardens that are gonna be in front of the building, just gorgeous gardens.

Attendee:

Yeah, I mean the building. The building is attractive.

Erdman Representative:

Yeah, you should see the last rendition, it's gorgeous right, guys, the guys did a really good job and

Attendee:

Can I ask you another question that may be none of my business.

Erdman Representative:

Sure.

Attendee:

What's your total budget on construction, from start to finish.

Erdman Representative:

We're not disclosing that at this point right now. A lot of it has to do with the market.

Attendee:

That's fine.

Erdman Representative:

It's a crazy market and the costs are all over the all over the board.

Attendee:

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I just wanted I was, you know, I look at it, I build. I build homes in \$6 to \$8 million range so I'm looking at that. Right, somebody is gonna, you know, I just got really interested in,

Erdman Representative:

Sure.

Attendee:

From that, from just a theoretical standpoint of interest so I can look across the street and say yeah they put a, they put a \$26 million project plan, which at the end of the day it's about money for everybody right and he's got to make money you got to get money everybody's gonna make money. The Sheffield's are cashing out on a little bit of their money. But, you know, at the end of the day, I would, I always thought that it was either going to be something like that, or, you know, I bought that house over 20 years ago so I was always concerned what I was going to look at the company. And so, I'm satisfied with what you guys are doing.

Erdman Representative:

Okay.

Attendee:

And like I said, even the fact that I've been down here and I've been a developer for 25 years. I don't expect everybody to stop building because I got here and I want to close the door.

Erdman Representative:

Right.

Attendee:

And look at green greenery across from my front yard, you're not a navy and I was hoping you wouldn't put the dumpster back there. But, you know, I'm sure you got a dumpster somewhere.

Erdman Representative:

there is there is that I feel like you're going to like where its located.

Tom Barber:

We're down here.

Erdman Representative:

I think we're in good shape.

Attendee:

To it, well we're sure a lot of raccoons and that, like, and that's the other thing he was like asked when 1930 There used to be gopher turtles living on their property, they came across the street. I saw. And we all know about gopher turtles

Erdman Representative:

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Yep.

Attendee:

the future definitely and I think John Stoltz talks about it in one of his videos where you know, shut up. You know, Gary Shut up, I didn't wanna say anything but I didn't know if you knew, but I like these over tourism images taken down Bonita Beach because there's a preservative Wiggins pass and hundreds of gopher turtles down there, that it's not that three. Three gopher turtles aren't going to be the difference between the extinction of that creature on this planet or not, this like, I think we're doing pretty good job, wiping everything out off the planet anyhow.

Erdman Representative:

Right, right.

Attendee:

He wasn't that was not, not an issue I just, there is animal life in there, and, and you'll probably have plenty of racoons.

Erdman Representative:

I'm sure we will, I'm sure we will.

Attendee:

Well, I mean let's be realistic. So you answered my question

Attendee:

Sure, the city's all on board with everything you're doing the plan though you guys have put a lot in here I know the core bores and everyone coming out have been helpful as I can with that and working with your engineers and stuff like that to do help and

Erdman Representative:

They've been very supportive. This really is the final step, as far as a community meeting before we can actually get into planning commission meetings and really, you know have a formal appearance with with the city, they've been very, very involved to date, as far as the planning and the ideas and the concepts yes they've been very supportive. Hello, how are you?

Attendee:

I'm well and how are you gentlemen, tonight?

Erdman Representative:

Good, Good to see you again.

Attendee:

Yeah, I was expecting maybe to be the only one but I'm not

Erdman Representative:

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Yeah, You got a lot of neighbors here.

Attendee:

So I did have one question that I asked that was not answered. What was the scheduled start, start date, how long are you guys anticipating your project, scheduled to be.

Erdman Representative:

So right now we're anticipating breaking we'd kick off in the first quarter, assuming you know it's hard for us to say because we don't know when we're going to get our approvals, but right now we're targeting first quarter, the kickoff, and it's generally a 15 to 16 month construction cycle. That's a, that's what we're planning

Attendee:

It's pretty quick.

Erdman Representative:

It's basically 15 month cycle.

Attendee:

That's 2022.

Erdman Representative:

It would start in 2022 Correct. Yep, exactly. So, well you're just in time because we haven't even really started going through the presentation we've been at five minutes answering questions well, it actually started technically 5:30 I think but

Attendee:

Yeah I hope they don't pay admission.

Erdman Representative:

Oh really. Okay, well, we, we haven't missed anything other than some questions.

Attendee:

Okay.

Erdman Representative:

So, Tom, you want to walk through your.

Tom Barber:

Yeah sure, so I'm Tom Barber from ABB we're the civil engineer, planning and surveying team. Thank you for being accommodating I hope we were respectful of your property.

Attendee:

Absolutely you were, thank you.

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Tom Barber:

So the engineer on staff is Kellie Fissinger, she's not here. I'm here representing ABB as well as Kathy and Jackson. Transportations Norm Trebilcock and the environmental biologist is Andy Woodruff.

Erdman Representative:

So this gives you an example of our experience between Erdman and AGEWELL some of the product that we've completed. So gives you an understanding of, you know the caliber of what we deliver the quality of what we deliver. So that's the purpose here is just to share with you some product examples of of the product that we've developed and, and we're proud of

Attendee:

Do you have architectural drawings done up?

Erdman Representative:

We do, you'll see them in the presentation here and there's a few boards as well. What I always like to touch on, you know, like last time, the question was asked why here, why are you, why would you consider developing and senior living community here. We always initially run our own internal market study, we have a software where we can run internal market studies and determine, is there a demand in this marketplace for senior living. And then we hire a third party consultant to verify what we've what our, our software tells us, and that's what you see here on the right, you see a primary market area, the population growth of 75 plus is 11% the in migration, people from out of town coming in to this community is at an 8% growth rate. That was pre pandemic who knows what it is with post pandemic. And what the market study told us is that the net demand for 2025 for assisted living, is at 388 units, we're planning 108 units, and we always plan for the most we will plan for is, is 50% of what the market says, because we realize other competitors could come into the market, and we want to make sure that there's ample support in the market for not only our community, but a light sized community that also comes in. One of the things that's interesting here is, when we had that market study completed. There was a number of groups that indicated they were going to be building in the community. And I did an updated research today. Planning for tonight, and a number of those are now either cancelled or delayed. Just, and then the pandemic has done that to a number of operators where they have just said, we're not going to be moving forward because of challenges they might have elsewhere in the country, or they're just concerned about the market so the good news for us is, in our opinion, the market demand is at least 388 units, I would argue it's probably up 50% from that just knowing what competition has decided not to proceed forward.

Attendee:

I'm going to ask not. Just a just an interesting question. So when you say 388 units is that 388 buildings like this.

Erdman Representative:

No no no no 388 rooms.

Attendee:

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Rooms. Really, that's it.

Erdman Representative:

Yep that's it and that's why, you know, we need a certain margin of error. When you're doing this, but the fact that that's almost four times, and that's including competition

Attendee:

Doesn't seem like much, very many people that need now to me.

Attendee:

Yeah

Erdman Representative:

So we think it's conservative. One of the other things that I think is pretty telling is if we look at this map, we usually look at 10 minute drive times to us customers willing to drive 10 miles from their current residence, and the blue represents a 10 minute drive time there. Granted, there are other, there are several other competitors within that blue area. But when you look at the concentration of the void of service at this site. There's a pretty big void where there's not near as much versus going south or north, there's a significant amount of more density than at the specific site and frankly that's one of the reasons why we chose this site is the lack of availability in this immediate market area. We think it's going to be a great location, and when we have this competition study or demographic study done. It is factoring in everything in the blue so it's factoring in all that competition realizing, people in Spanish Wells, if their mother's in a community, they might prefer to have her across the street, as opposed to hopping on 41 and having to fight that traffic to go see her.

Attendee:

I can drop by those community and go blow my airhorn at 5:30 in the morning.

Erdman Representative:

We didn't ask you to do that

Attendee:

Your project is the only one over this time span of 2022 for 15 months that's moving forward.

Erdman Representative:

No, no, I'm not saying that at all.

Attendee:

Ok

Erdman Representative:

No, there are other communities that are being planned.

Attendee:

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In this area and I see purple you see blue.

Erdman Representative:

Yeah, whatever it is I'm kind of colorblind too so. But there are, there are other communities that are being planned, There's one community frankly that's a newer community, that when we were here last wasn't even on the boards but there's at least two other communities that were on the boards for moving forward that are now not proceeding forward.

Attendee:

Do you know where the other's that are going to be under the development, the same time, are in that area?

Erdman Representative:

They're farther south of here. Yeah, there's one by the water. Yeah, there's one that the, the week's camp. To the west, yes, that was always planned,

Attendee:

Okay.

Erdman Representative:

And they were originally going to have assisted living there, that's going to be about 200 units.

Attendee:

It's right on the water at week's camp.

Erdman Representative:

Yeah, yeah.

Attendee:

I thought it was going to be condos.

Erdman Representative:

Well, there's going to be condos there's going to be assisted living, and there's going to be a skilled nursing component.

Attendee:

Like the terraces

Erdman Representative:

What.

Attendee:

Kind of like the Terraces.

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Erdman Representative:

Yes, exactly. Yep. So, but the latest I've read and they're not going to have assisted living, they're gonna have the condos and they're going to have a skilled nursing unit with some memory care.

Attendee:

Hmm, interesting.

Erdman Representative:

So that's to the west and to the south, there's a new community that's being planned. We just actually went and drove by it. It's about two and a half miles south of us. And that one is, they're also planning about 200 units there,

Attendee:

That's right in the same area as all seasons, then

Erdman Representative:

It's right across the street from all seasons,

Attendee:

Really? Not seeing how some of these people pick these sites.

Erdman Representative:

And that's why I mean if you look at the map, I think the map speaks for itself as far as why we would choose to build here.

Attendee:

Yeah, because you got find, the arbitration you've got all seasons are all bunched together now, and now there's going to be another one.

Erdman Representative:

There is.

Attendee:

Wow

Erdman Representative:

Okay. So, this identifies the site the location everybody here is very familiar with that location that's why you're here, so we appreciate your, your attending here and your interest in the project. Go ahead Tom.

Tom Barber:

Yeah. So again, this is a subject site, we all know where it is between 41 and old 41 on Beach Road to the north side. So I thought it was important to show you the map on the right is the current zoning, so right now all the properties in red represent commercial zoning, the properties in green are PUDs plan unit developments with some residential there in the yellow, is single family or multifamily or townhome

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I guess zoning right now. So as you can see throughout the whole Beach Road corridor really this is the last residential property to continue pointing left.

Attendee:

I can't see where you're talking about.

Erdman Representative:

In between the black.

Tom Barber:

Yeah, so that black. The black square.

Attendee:

Oh okay, thank you.

Tom Barber:

So that's that's the property that we're looking to rezone the future land use is designated as commercial, so it's compatible with what the city is expecting to happen there. So the building as you can see is four stories that concentrated all the intensity to the front to the Beach Road side, and tried to transition down towards the residential properties to the north. You know, the Bonita Beach Road overlay which is through that Bonita Beach Road corridor, really encourages density, so the City of Benita is looking for more intensity and density along that corridor to concentrate, you know, more, more building in that area. So we tried to move the intensity towards the corridor as much as possible, they actually have minimum setbacks. So the building has to be a certain distance from the roadway. It can't be set off too far. So, we've pushed it up against the roadway and buffered it well and screened it well. Go ahead, Jackson. So, shows you the folio number, it's roughly 4.2 acres. And we are asking to rezone it to a CPD commercial plan development

Attendee:

What does TFC stand for?

Jackson McConnell:

Two family conservation

Tom Barber:

Two family conservation. So as we talked about is designed to provide for and maintain the surrounding community elderly needs. It's designed to fit within the community, and the density of land use is appropriate, through that corridor. This is a block plan as you've seen before, just showing interconnections with the properties nearby the blue arrows show potential interconnections there's two up to the west, that are currently not our connections but, if, if in the future, those properties want to redevelop or build out, there's a potential there.

Attendee:

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At the last meeting that we had a little bit of conversation at the end about saving that banyan tree on the property. That picture doesn't look like it's gonna do that.

Tom Barber:

No, we've looked into it and actually talked to the city, and they thought it could be, you know concern for blowing down or you know something happening in a storm, but since it's not necessarily a native plant. You know, it's not required to be preserved. So just from the site layout and what works best and having a building up front, unfortunately, we're not gonna be able to save that.

Attendee:

My last comment at the last meeting was if you take that down I'm gonna hate you forever.

Tom Barber:

And we did look into it you know that's one of the things Isaac mentioned to me is what can we do to try and save that tree.

Attendee:

Yeah, because it's been there

Attendee:

Have you gone on the property yet,

Erdman Representative:

No.

Attendee:

Oh, well good look at the banyan tree down

Attendee:

Well hold on now my bees, I've been raising there for last 45 years are pissed off I got stung 14 times, they are trying to cool, but the bees in the front of that banyan tree, and also it won't bees will eat you up. We've got to make sure that we have let everybody knows when you guys tear the banyan tree down.

Erdman Representative:

No problem.

Tom Barber:

So there are three heritage pine trees on the site.

Attendee:

Yeah, not a Banyan.

Tom Barber:

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Well, we're able to save two of them. One of them is where we're gonna develop but two of them we're gonna save towards the back.

Attendee:

And by the way, one of them has \$35,000 buried in mason jar around, find that I get half. I'm serious.

Tom Barber:

Really?

Attendee:

Yes.

Erdman Representative:

Okay, wow. What are we doing after this. I trust you've already been digging

Attendee:

I got a little tracker. I just waiting for y'all to do I know about what happening we're splitting.

Tom Barber:

So again looking at the site plan. There's a stormwater management tree preservation area the stormwater management will be concentrated closer to the, the building and then there'll be a preservation area, where all the native trees will remain to try to buffer the community. We're installing seven foot sidewalks along both Wisconsin and Bonita Beach Road, they're a bit wider than normal sidewalks so you can have bikes and pedestrians crossing.

Attendee:

On that side?

Tom Barber:

On both Bonita Beach and Wisconsin,

Attendee:

Ok, on Wisconsin it's going to be on that side?

Tom Barber:

Yes, yes on the east side

Attendee:

Because Bonita Beach already has one.

Tom Barber:

Right, yeah we're gonna have to widen, widen the Bonita Beach sidewalk.

Tom Barber:

Attachment B.xxi.

So just a detailed master concept plan this is what's required to submit to the city. It calls out required vegetation buffers, required building setbacks, different areas designating different types of land use. So the, the gray hatches is a stormwater management area. Kind of speckled polka dotted hatch is a preserve, which will be the native vegetation area. The light gray's parking vehicular use and the dark is the building.

Attendee:

The double headed black arrow towards the bottom of the screen on the right hand side.

Tom Barber:

Mhm.

Attendee:

What is that egress ingress across from it?

Tom Barber:

That's the cancer center.

Attendee:

Okay, that's the second driveway.

Tom Barber:

It's their second driveway, we lined up. Great. So I thought it was important to mention the density per the rezone and it's commercially rezoned, you could have 10 units per acre here. And an assisted living facility the equivalent is 4 assisted units per each residential unit. So potentially there could be 168 units here, we're only asking for 64% of those which would be 108 units.

Attendee:

Why are you going lower than what you're allowed?

Tom Barber:

I think that's what

Erdman Representative:

There's a balance of market demand, not wanting to overbuild.

Attendee:

Ok.

Erdman Representative:

The high risk of building a larger community. Yup.

Tom Barber:

Attachment B.xxi.

So we broke down floor area ratios which is basically the ratio of the building, square footage versus the property size. Right now you have floor area ratios, to the east. 0.42, 0.34, 0.41, 0.84 and we're proposing 0.52, so it kind of fits within the range of what's there now.

Attendee:

I have no idea what numbers you were just pulling off. You don't have a pointer. You know the stuff that we don't.

Tom Barber:

So, as far as if you're looking at the floor area of a building. If you divide that floor area of all the floors by the area of the property, then you come up with the floor area ratio.

Attendee:

Ok.

Tom Barber:

So.

Erdman Representative:

So if you look at the orange box to the right of our site you can see where our site is 4.19 acres,

Attendee:

Yeah.

Erdman Representative:

The building to the right has a floor ratio of 0.42,

Attendee:

Ok.

Erdman Representative:

And ours is going to be 0.52.

Attendee:

Alright

Erdman Representative:

So pretty comparable to the building next door that medical office building to the right

Attendee:

Mhm.

Erdman Representative:

Attachment B.xxi.

Or to the east and then the building right out to the West has a lower FAR at 0.29, so he's just comparing the density of development or floor area.

Attendee:

Mhm.

Erdman Representative:

Thank you.

Tom Barber:

So we talked about traffic before we actually have a transportation consultant who they use the ITE manual and plug in what type of facility this is a square footage and they come up with an estimated trips. So, they look at the demand in the morning and at night and peak hours 44 Peak two way trips, was the intensity of this project. And so what I did is I tried to compare that to other commercial developments that you might see on that size of a property. So if you were to build a shopping center, you might have 178 trips, a supermarket, 235, or a pharmacy 226 So really the traffic component is about a fifth of what you might see with another commercial development

Attendee:

That was a big concern at the last meeting by the other gentleman who is here. Nice to see you pulled this together.

Attendee:

Right.

Erdman Representative:

Yeah. We're pretty close.

Attendee:

But that's, that's a way high estimate compared to what we we're talking about

Attendee:

44

Attendee:

100 100 divided by 24 hours is not 44.

Tom Barber:

Right, well this is a peak hour of.

Attendee:

You mean what everybody gets off in the same time and everybody gets on using it

Tom Barber:

Attachment B.xxi.

Right.

Attendee:

Everybody wants to come visit

Tom Barber:

Right, this is after work to come see your parents

Attendee:

Worst case scenario.

Tom Barber:

Yeah.

Attendee:

I'm gunna count them.

Tom Barber:

All right.

Attendee:

Yeah, that is for Bonita Beach Road.

Tom Barber:

Yeah, that's.

Attendee:

Not even taking in the secondary of Wisconsin, which will help to bring that down,

Tom Barber:

Right, right, I'm not sure how many people would be coming from Wisconsin.

Erdman representative:

Well maybe maybe a few of

Attendee:

You said that you can miss all the Bonita Beach.

Tom Barber:

Right, sure.

Attendee:

So that's a good thing for you.

Attachment B.xxi.

Tom Barber:

Good point, I'll mention that. We talked about the interconnection of the site so the blue dashed line shows how it'll be connected. Beach Road is to the left of the screen, Wisconsin, at the bottom, and then you can come through the site and around over to the office building, and we'll have a little frontage road connected to their building as well,

Attendee:

Is it in dispute anything that you put in that.

Tom Barber:

They requested it, they want interconnection there, they want less connections along Beach Road, I mean, you can get to your house from Beach Road now and they were, we were looking at having something like that but it was a non starter with them.

Attendee:

That's good though now it's a good concept for everybody to come on and outta there

Tom Barber:

Yeah, yeah.

Attendee:

Guarantee there's gonna be a lot of places that flew on.

Tom Barber:

So pedestrian good segue to pedestrians. The pink shows all the different sidewalks and connections with for pedestrians through there.

Attendee:

That's an old picture you don't have the newest duplexes on it.

Tom Barber:

No?

Attendee:

No.

Tom Barber:

There is a bus stop at the front of the site that will be upgraded to meet current Lee County. LeeDOT standards.

Attendee:

What does that mean you're gonna have an inlet and outlet.

Tom Barber:

Attachment B.xxi.

It might have a little jog in I'm not sure. We haven't got there yet. We need to coordinate FPL and right of way and figure out

Attendee:

That'll involve the sidewalk that you're widening anyway,

Tom Barber:

Right,

Attendee:

Rarely see any posted stuff in there, I'm out there four five times a day. What are you gonna do about that power poles. Is that, is your power intention to keep all the power, the way it is.

Tom Barber:

I think we're looking into that

Attendee:

Is there discussion about burying it?

Erdman Representative:

I think we haven't made a final conclusion but it's likely we typically bury, but that is still in discovery, it'd be something like the workout the power and half that

Attendee:

Goes in the ground back out.

Tom Barber:

Right, yeah

Tom Barber:

So, from a native vegetation preserve standpoint, no listed species were found on site, when they came to observe the site,

Attendee:

What does that mean?

Tom Barber:

Like bonneted bats,

Jackson McConnel:

endangered or

Tom Barber:

Endangered species, right. So we are preserving 10% of the site. To the north.

Attachment B.xxi.

Erdman Representative:

So I'll take over for the building kinda block into our kind of strategy of how we got to where we are on this is original concept maps that we did just to kind of give you guys idea what the kind of building feels like in context with everything else around it. So you know specifically here we talked about the mat the mass of the building, and the presence of the building being pushed the Bonita Beach Road that's something that the city asked us to do from day one they really want, they want that street to hold your presence right that's where everything wants to happen. And to that point we stepped the building down to our memory care in a less density to the north so that we were respecting the neighbors to the north and not putting a big building right across from your house, so you know I think that was the intention from day one. So the way the plans work just getting into the building is, is something that AGEWELL doesn't look you know, is what pretty cool. Yes What what's different, all the common space is really centered around this entry so it come into the building and everything we'll show you some renderings at the end here, everything is kind of focused on there so when you walk in this building you see life you have the interaction of people everybody comes down here, and people aren't kind of back in different areas of the buildings sitting by themselves. So you come in the door you'll have a bistro through the left and to the right with a filtered view up to the dining so you'll see there's an activity beyond there. We have fitness that's a short walk down one hallway, and then we have our, our memory care all down the other hallway so everything's really centered, even in the memory care itself we have activity, dining and everything in one central location, easier for staff to take care of people because they're all the staffs in one spot, and, and you see the life you know people have the interaction and that's what's key to senior living is, is the interaction that people aren't sitting by themselves. There's a study about how loneliness is more detrimental to health than smoking 15 cigarettes a day. So that's something that I think AGEWELL does really,

Erdman Representative:

And just to understand that too we do, we have positions that are building there, seven days a week called Lifestyle directors, and they spend, they spend a lot of time trying to rally and get people, you know, to do things to go places to try to keep a life like it's, you know, so we do we do put more into that than other other places

Attendee:

I don't wanna do anything

Erdman Representative:

I'm gonna, I'm gonna shake you and wake you up and I'll be, I'll be like, wake up every morning. I'll be in the bed next to you like "wake up".

Attendee:

Oh no not that guy.

Erdman Representative:

AL, and, and memory care,

Attachment B.xxi.

Attendee:

Okay because I noticed your key that the memory care is individual rooms are private rooms

Erdman Representative:

They're all private rooms.

Erdman Representative:

Everything's private rooms. So I just, we just have the common space to encourage people to come out and interact so on the memory care side we have the private studio units, but then you have dining space activity space, and kind of a living space all connected right there.

Attendee:

Okay

Erdman Representative:

And then we have this little, we call it the memory care garden or a sensory garden where people can go outside. It's enclosed as well so Memory Care obviously has controlled access so people can't just leave, you know, on a whim. And then on the assisted living site we have a mix of studios ones and two bedroom units in the floors, and four stories. So if you jump through we have kind of a view of the second floor, you can see there's a little bit of community space on the second floor just given our assisted living we call it a community kitchen our activity rooms go here, but it allows, like if, let's say I have a unit I don't have enough space my unit to have a bunch of friends get together, we have some space and so I can rent this out and have you know a party or get together with a full kitchen and all that kind of stuff so I can still do the things I used to do in my home before I moved into here. And then the next slide shows the upper floors which is a continuation of the floors below. So, little, little activity nodes and and service nodes at the corners but otherwise it's

Erdman Representative:

And a lot of larger rooms and they weren't at shrinking people in, and so there's a lot of choice for large rooms and smaller rooms so it fits yes you can look through it there, the room sizes.

Attendee:

Where are the one bedrooms.

Erdman Representative:

So I think the one bedrooms on a small side are like, seven, seven, or seven,

Erdman Representative:

Yeah I was gonna say 740 And I think they have gone to like 780 and then the two bedroom place things start at upper 8's and the biggest ones like 900

Erdman Representative:

Yeah, it's really not going to swing back and shrink a senior into a 300 square foot room is what we're kind of against.

Attachment B.xxi.

Attendee:

Yeah

Erdman Representative:

So

Attendee:

So, there's only a first floor, on the north section of the building the north part of the building. It's only a single floor

Erdman Representative:

Memory care is usually going to only as a single floor so that, so if you have a wandering situation, you can wander into enclosed garden or go outside when you want to do all that and in our buildings we actually do. We do farms if they want to farm, so we'll, we'll have ducks and whatever they want.

Attendee:

No roosters please we've had enough,

Erdman Representative:

We actually have roosters in building but it's, we're gonna go into we're okay with these other roosters, then you see the rest of what's in the restricted.

Erdman Representative:

So, and then just kind of how we got the design we have you know we looked at a lot of the other senior buildings around here and everything looked like it was the same, you know pitch roof clay tile roof, and it was really hard to kind of, you go from one site to the next and it just seemed like it was the same thing over and over again so we, from the day one we just kind of felt we want to do a little different relative to kind of make this a more contemporary community so this was kind of our precedent study when we first started looking just to kind of get an idea of what type of building we wanted to create. And then, you know, as you saw before, the massing, you know, like I said it pulled that mass the front. We had a lot of patio spaces so we have a garden space for the AL units we have the garden space the memory care units, we have a dining space that has a patio on the back side of the building so there's lots of outdoor spaces for residents to get out on, and including a patio on the front of the bistro so there's just, every common space kind of has an adjacent outdoor space to go to serve the residents. And then, you know, just thought you guys like to see kind of our development from the Forbidden concept today. This is our view rendered on the front entry of the building so this will be the drop off canopy where our lobby is, we have this clear story that brings natural light in so when you come into the space, it's just a lot of night, a lot of light and. And still, like a connection to well, you'll see some of the renderings of this connection to the major and and some Biophilia with some plants

Attendee:

Is that the entrance off Wisconsin?

Attachment B.xxi.

Erdman Representative:

The entrance off Wisconsin will be our main entry.

Attendee:

I got a question for you.

Erdman Representative:

Yeah, go ahead

Attendee:

and you guys are the architect right? Are we doing sound. Sound concepts on that. The horseshoe you got in there when the cars go by and the echoing in that in that horseshoe.

Erdman Representative:

Well it's open so shouldn't resonate too bad.

Attendee:

Okay.

Erdman Representative:

I haven't done a specific sound test

Attendee:

Oh I know I just, I live about what 600 feet from Bonita Beach Road and, you know, two o'clock in the morning it's gonna be nice and quiet but there's gonna be times when it's gonna be pretty loud right there.

Erdman Representative:

Yeah.

Attendee:

You know, he lives about right where that horseshoe is

Erdman Representative:

We'll have a lot of plantings along there as well.

Attendee:

Yeah.

Erdman Representative:

Patio itself and you'd have plantings inside there so sound, sound ricochets off we have solid surfaces we have all kinds of space, things to break that off.

Attendee:

Attachment B.xxi.

As far as I'm concerned, I can't hear anything anyways. You got a four story building buffering sound to My Father bless, so like,

Erdman Representative:

So you'll be happy.

Attendee:

Yeah, exactly. I just was wondering from, you know, as a builder standpoint, was looking at plan go. Yeah, that might be a little loud in that

Attendee:

To get louder if the city is pushing for commercial property being built on the network.

Attendee:

More and more Rotel road can be the same no matter what's been in vitro doesn't mean you can put anything down. I mean yeah there's going to be more traffic but only. No, I don't think demographically the logistics of the amount of traffic that goes down Bonita Beach Road on an hourly basis is going to change whether that facility is there or not.

Erdman Representative:

But as long as as were talking about it I wanna jump to the concept plan for the inside so you know you start putting some new plantings there and stuff like that. I think it'll help break up that noise. Once again, you know, it's not. You know I think that units that would be the loudest would be your end units that are directly adjacent to Bonita and the things we have going for us as this is a, you know block construction so you have, you know, solid construction that's going to mitigate a lot of your sound, your windows are impact, rated windows because you know we're in a high impact rated area so I think we're doing a lot of things here to help mitigate those concerns but, I mean those are concerns in any, you know, any area that you have traffic so

Attendee:

Any class today, you could be standing on one side person on the other side you could be talking to them and you can't do this.

Erdman Representative:

You cant hear them.

Attendee:

I'm sure your sound inside the building won't be very bad. Just think about the corner.

Erdman Representative:

Yeah.

Attendee:

But it's irrelevant, I sort of take your time with it,

Attachment B.xxi.

Erdman Representative:

No that's fine. Good questions. So then just to give you the material palette so like I said it is a block, block building so we'll make it look like it's stucco so it's actually an E system which is a stucco with an installation backup. So we have a few different colors of stucco kind of our base building is the white stucco look, we have some dark accents and then a concrete textured look for some pieces, and then the wood texture to just give us that. So, these are our hard samples that we actually got. And then you know before we didn't have anything the insights will give you a sneak peek of some of the first images we're pulling together for the inside design concepts. So this is the lobby view, like I said we're have that natural light coming in with that clear story glass, we're creating this, this green wall that you know that they call Biophilia and there's, there's research that backs up that idea that, you know, being surrounded by nature helps keep you healthy and in a happy mood so that's something that we have as a central center point for this building. It also creates a great screen for visibility into the dining space so you can see there's activity here, but you don't necessarily have a direct view of somebody, you know, eating dinner. So we thought that was a nice way to kind of bring all these spaces together but still give you some separation. Go ahead. As David said, you know, It's so important in each of those communities for the cooking so we have this display cooking opportunity. So, and maybe you can talk

Erdman Representative:

Do a lot right in front of everybody, so we do a lot of cooking right in front of them, we'll do that let's stations the pasta stations I spent all weekend in Virginia. Cooking. Cooking Sunday brunch for everybody with a sliced tenderloin, sliced fresh seafood up there, which we're gonna try to do the same thing here because they, they literally the second question I get right after how much is it is, is, what's the food like so and I'm I'm a certified executive chef from Marriott days. And so that's, we build our stuff around health and food and all that. So it's it's kind of, it'll be a very interesting, interesting place, you will definitely definitely it'll be better than most restaurants

Attendee:

The boat will blow the wind on the shop, which are going to be a good time.

Erdman Representative:

I can tell you how many champagne bottles, through this weekend at senior living. You'd be amazed. So, my mimosas we went through a lot.

Erdman Representative:

And then like I said there's you know, the whole space is based on the interaction so apart from dining display kitchen we also have Bistro slash like an ice cream bar so you do ice cream socials here this has walked off space to a pub patio right outside. So by the front entryway you have activity, and this is open to the lobby so this is a great spot that you know anybody who comes in is the first thing they're going to see is life.

Erdman Representative:

They want to, You know, if they want to get coffee anytime it's going to be there if they want to get ice cream anytime it's going to be there, you know, if they want to sit and have a drink before dinner or something, I mean it's, it's, it's assisted living, so you'll see a lot of it, but you'll still have the opportunity,

Attachment B.xxi.

you know, three times a week they'll be happy hour there, so that they can go and get what they want or if it turns out to be five years later we

Attendee:

Sounds like I'm gonna get a membership.

Erdman Representative:

You know what we'll take you.

Attendee:

Come on over

Erdman Representative:

You're gonna come hang out with us.

Attendee:

Is this is a buy in or a rental?

Erdman Representative:

This is a rental,

Attendee:

Is it a choice as to how much assistance you want

Erdman Representative:

Your assistance is done according to a point based system by our nurses.

Attendee:

Mhm.

Erdman Representative:

So, depending on what you need it really, it really doesn't become a choice, it becomes a need, so

Attendee:

So, there's no tier of

Erdman Representative:

There is there's those four tiers, built in, so there's tiers of a one tier which is basic, basic needs like going down a lot, all the way up to a four tier. So which would mean that you would you would need help with all of your activities of daily living, all your medication all of your stuff. What we find as newer buildings is people come in at a much lower tier and they're able to kind of partake in everything to through void or tiers and it just rotates,

Attendee:

Attachment B.xxi.

Okay

Erdman Representative:
Rotate through

Attendee:

Everybody gets to partake in all of this, that's incorporated into the price, even if it's a four tier versus a one tier

Erdman Representative:
Right

Erdman Representative:

On that portion of it is, it's more of the care of this here. So if you, if you are in need of a lot of bathing assistance need a lot of medication management all that. That's what the tier is it's not for the food and beverage that's all included.

Attendee:

It's like bookkeeping,

Erdman Representative:
Right.

Erdman Representative:

That's the last slide. So, I know you guys have asked questions along the way, which is great.

Attendee:

What's it gonna cost? Any projections.

Erdman Representative:

It's gonna be a market rate. Mark because the rents in the area are anywhere from 4000 to 5000 for a one bedroom assisted living room. That's a range and we will be competitive with the market,

Attendee:

And the memory Care?

Erdman Representative:

Memory Care is. I think the market on the memory care here is about \$1,000 more per month, generally speaking,

Attendee:

John Q Public is the middle classes for the wealthier.

Attachment B.xxi.

Erdman Representative:

Unfortunately, based on the cost to build these communities. Well, I couldn't rent it out for material that was.

Erdman Representative:

Well, but you know you think about it too. I mean, you know, my mother was not a wealthy lady she lived in a community for now four years between what my father left her, and what you know what she gets per month, and the sale of her condo in Florida, you know she's lived there for four years she'll have another two years or three years if she needs it. She's not in great shape right now after the fourth year. And, you know, so it really is not out of, out of hand the problem and my comment to her has always been the same thing. Do that leave me or Matt.

Attendee:

I supposed to feed the cat

Erdman Representative:

That's okay. Do not leave me or any of the kids any of that money that you want to make sure that you take care of yourself. And that's been always, you know,

Attendee:

I'm telling you it's there. We'll find it

Erdman Representative:

I got to shovel in the car

Attendee:

We got shot but we'll figure it out.

Attendee:

Metal Detector

Attendee:

Lid rusted off though that's why I haven't found it yet.

Attendee:

That's hilarious.

Erdman Representative:

And this product is going to be very pretty. I mean it's just we're looking at more tricky getting away from just a traditional looking going to a transition look. It's gonna look it's gonna look beautiful, the Pamphlets and stuff he will have he won't have that same smell you get when you get in old places, it's, it's gonna be nice, it's gonna be right now.

Attendee:

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This is modern, beautiful y'all have a really great job

Erdman Representative:

They did a great job.

Attendee:

You guys pick on a general contractor yet?

Erdman Representative:

We have not, well, I should know about the job

Erdman Representative:

Erdman as a firm we deliver the construction so we're the construction manager but we don't have any self performing trades. So we hire all local subcontractors to do all the stuff.

Attendee:

Are you the owner?

Erdman Representative:

No, I am not the owner.

Erdman Representative:

I own the other management company and then we usually put money in to own portion of the building. And then, Erdman has large large stock so it depends.

Erdman Representative:

Yeah and I misunderstood the question so Erdman AGEWELL and Erdmann together, they called the sponsor of the project so we will be an owner. And then we also bring in outside capital as well

Attendee:

I was just wondering who's actually signing off on the property that I got a lead from. Who's that?

Erdman Representative:

The corporation

Attendee:

The corporation and actually,

Erdman Representative:

So the Earthmen has signed off on the contract, Erdman has the contract for the property because I've made the journal any any of that I've been involved yeah the purchase agreements and working with Lee and Associates. Absolutely, yes.

Attendee:

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I need to talk to you.

Erdman Representative:
Alright, let's talk property.

Attendee:
You're the property owner?

Attendee:
My mother.

Attendee:
Okay, I believe, owned my property around the corner for 30 years

Attendee:
Where do you live?

Attendee:
I've never seen you before so Hi.

Attendee:
You've never seen us?

Attendee:
No.

Attendee:
We've been there for 107 years

Attendee:
I wouldn't doubt it. It's fascinating.

Attendee:
My grandfather

Attendee:
Where do you live around the corner? Around the corner is a lot of places.

Attendee:
Alabama , right on Alabama towards the condos. I was the only duplex, and now there's three.

Attendee:
On the left.

Attachment B.xxi.

Attendee:

Yes

Attendee:

You will encourage old chicken coop was with the current farm was with all the eggs.

Attendee:

No

Attendee:

No

Attendee:

That was

Attendee:

I don't think we'd be doing this.

Erdman Representative:

Are there any other questions in regards to what's been presented.

Kathy Vargas:

Um, let me see if anyone wants to ask anything on

Tom Barber:

We have people on zoom.

Erdman Representative:

Oh yeah, people on zoom.

Kathy Vargas:

We have two people on Zoom. Does anyone on Zoom have questions?

Attendee:

What are the rules you have to jump to clearance.

Erdman Representative:

So we not have to go through the planning council meetings to gain approval from the planning commissioner.

Attendee:

I went through the one that I mentioned in action, actually what I said, Wait, votes are supports.

Tom Barber:

Attachment B.xxi.

There'll be a sign on the side, and they'll be advertised in the paper

Attendee:

I need mail and then I'll lose it anyway.

Erdman Representative:

Okay, were there any questions online.

Kathy Vargas:

Nope. Nobody.

Erdman Representative:

Okay, no other questions, the meeting is adjourned. Thank you. Appreciate it, thank you for coming.

Attendee:

We really appreciate you all coming here.

Attendee:

I'm pleased to meet all y'all you're done looking forward to what you're going to do not looking forward to leaving my concern.

ATTACHMENT B.xxii.

CITY OF BONITA SPRINGS
BONITA SPRINGS TREE ADVISORY BOARD
OFFICIAL AGENDA
LILES HOTEL – 27300 Old 41 Road
MONDAY, JULY 12, 2021
4:00 P.M.
BONITA SPRINGS, FLORIDA 34135

I. Call to Order

Meeting called to order; time not noted.

II. Roll Call

Present

Clark Ryals
Phil Buck
Jack Brown
Barbara Ogle
Suzy Valentine

Staff

Laura Gibson
Mayor Rick Steinmeyer
Jane Swanson

Guest

Brent Guillot from Agnoli, Barber and Brundage

III. Public Comment

No public comment.

IV. Approval of Minutes Tree Advisory Board Meeting For: June 14 and June 25, 2021

Ms. Valentine made a motion to approve the June 14 and June 25, 2021, meeting minutes, Mr. Buck seconded; motion passed unanimously.

V. New Business

a) Erdman ALF Project – PD21-77930-BOS – 9726 Bonita Beach Road SE

The Board reviewed the minutes from the Site visit. Four Board members were able to attend the site visit along with staff.

Mr. Guillot addressed the Board stating that they determined three heritage trees would have to be removed.

Ms. Gibson noted that the Laurel Oak on the property is not a heritage tree and during the site visit, they determined it was not in good health. Ms. Gibson stated right now they are in the rezone stage and have not looked into the landscaping yet. It will probably be going to the zoning board soon and then City Council. The Board needs to discuss the heritage trees and replacement.

ATTACHMENT B.xxii.

Suzy Valentine joined the meeting. Mr. Brown briefly updated Ms. Valentine on what had been discussed.

Mr. Guillot stated that each heritage tree that is removed will be replaced.

Ms. Gibson stated that staff will work with applicant on appropriate species for replacement.

Mr. Buck made a motion to retain the 19 ½ inch slash pine by the preserve, remove the three slash pines and the laurel oak and replace two of the heritage trees with native species to be determined later, Ms. Valentine seconded; all in favor, motion passed unanimously.

b) Discuss Award/Recognition Program

The Board decided to table this discussion for next meeting.

VI. Old Business

a) Discuss Tree City USA Process for Growth Award Activities

Mr. Brown thought that there were a lot of very interesting ideas and things that they already do. Ms. Swanson stated if they come across an activity that they think they would like to do, to bring it before the Board. Ms. Ogle asked if their poster contest would count, the Board agreed it would count. Mr. Buck suggested talking to other cities and reported that Naples is a Sterling City due to their activities. Mr. Brown asked if someone from the Board should be the contact person to go after the growth awards. Mr. Buck said he would investigate it.

b) Top 10 Landscaping Items for Consideration to be Refined by Staff for Board's Review – (July/August)

Ms. Gibson reported that Mr. Gibbons was working on the language but has been out of the office. Mr. Brown asked if staff could give the Board a timeline. Ms. Gibson replied that the Board has provided enough direction and they will get back to the Board with a timeline.

c) Arbor Day 2022 to include School Poster Contest (April 29, 2022)

Mr. Brown stated that Arbor Day worked out well this year and thinks it is good to keep this topic on the agenda so they can get it in front of the schools. Ms. Swanson stated this year they added the gift card, which has added a nice incentive and that everyone was pleased.

d) General – Staff Project/Updates

Ms. Gibson does not have anything new to report.

ATTACHMENT B.xxii.

Mr. Brown asked if there is anything coming that will come before the Board. Ms. Gibson said there was another project, but it has been stalled and may not move forward. The project that was presented today is the only project with heritage trees for removal and that they do not have many development orders right now.

Ms. Ogle asked if they looked at landscaping for commercial development. Ms. Gibson stated only if there are heritage trees and staff goes through the landscape plans in a detailed fashioned.

Ms. Valentine suggested that each project be brought before the Board to benefit from the Board's expertise. Ms. Gibson said the efficient way to do that is through the code. To bring every project in front of the Board would cause delay in review time.

e) General – Board Member Items/Updates

No Board member updates.

f) Establish next meeting: August 9, 2021 @ 4:00p.m.

The next Board meeting established for August 9, 2021, at 4 p.m. Ms. Ogle stated she would not be able to attend.

g) Adjournment

Ms. Valentine made a motion to adjourn, Mr. Buck seconded, meeting adjourned.

ANY PERSON REQUIRING SPECIAL ACCOMMODATIONS AT ANY OF THE MEETINGS BECAUSE OF A DISABILITY OR PHYSICAL IMPAIRMENT SHOULD CONTACT LISA ROBERSON, DIRECTOR OF FINANCE AT 239-949-6262, AT LEAST 48 HOURS PRIOR TO THE MEETING.

TWO OR MORE MEMBERS OF THE BONITA SPRINGS CITY COUNCIL MAY BE PRESENT AND MAY PARTICIPATE AT THE MEETING. THE SUBJECT MATTER OF THIS MEETING MAY BE AN ITEM FOR DISCUSSION AND ACTION AT A FUTURE BONITA SPRINGS CITY COUNCIL MEETING.