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**BONITA SPRINGS, FLORIDA
COMMUNITY DEVELOPMENT DEPARTMENT
ZONING DIVISION
STAFF REPORT**

PROJECT NAME: PRIMO SPECIAL EXCEPTION

TYPE OF CASE: SPECIAL EXCEPTION

CASE NUMBER: SPE21-79524-BOS

HEARING DATE: NOVEMBER 16, 2021

PLANNER: MARY ZIZZO, ESQ.

REQUEST AND STAFF RECOMMENDATION

A special exception request to allow an Automotive Repair and Service, Group I use, with an Indoor Carwash Use within the Historic Zone of the Bonita Beach Road Corridor Overlay.

I. APPLICATION SUMMARY:

- A. Applicant: High Road Holdings, LLC
- B. Agent: Joe McHarris, McHarris Planning and Design
- C. Property Owner: High Road Holdings, LLC
- D. Request: A special exception request to allow an Automotive Repair and Service, Group I use, with an Indoor Carwash Use, within the Historic Zone of the Bonita Beach Road Corridor Overlay.
- E. Location: 28280 Old 41 Rd., Unit M-8, Bonita Springs, FL 34135
- F. Future Land Use Designation, Current Zoning and Use of Property:
 - Future Land Use: Industrial
 - Current Zoning: Bonita Beach Road Corridor Overlay- Historic Zone
 - Current Use: Causeway Commerce Park. Requested Unit: Vacant Commercial.

Surrounding Land Use:

<u>Existing Zoning & Land Use</u>	<u>Future Land Use Map</u>
North: Historic Zone of the Bonita Beach Road Corridor Overlay; Bonita Business Park	Industrial
East: Old U.S. 41 Right-of-Way, Commercial Planned Development (CPD), Historic Zone of Bonita Beach Road Corridor Overlay, Vacant Commercial	General Commercial
South: Historic Zone of Bonita Beach Road Corridor Overlay, Causeway Commerce Park	Industrial
West: Historic Zone of Bonita Beach Road Corridor Overlay, Causeway Commerce Park	Industrial

Staff recommends **APPROVAL** of the Applicant’s requested special exception, **as conditioned below.**

II. BACKGROUND AND INFORMATIONAL ANALYSIS

Introduction/Synopsis

The special exception request is to permit Primo, a boutique indoor car wash, detailing studio, and ceramic coating facility at 28280 Old 41 Rd., Unit M-8, within the Causeway Commerce Park. The Unit is approximately 2,775 square feet. The proposed location is within the Historic Zone of the Bonita Beach Road Corridor Overlay, which requires a special exception for both requested uses.

The Applicant proposes to build-out Unit M-8 to apply ceramic coating to cars and subsequently treat those cars with the proposed touchless indoor carwash and detailing services. The request would allow for a maximum of four vehicles to be worked on at any given time, by appointment only, to be conducted entirely within the Unit.

The Applicant explains their ceramic coating process, an Automotive Repair and Service Group I use, within their Narrative (**Attachment A**), which includes buffing the cars, then hand-applying the ceramic coating process via a soft sponge with liquid from a handheld size jar. The Applicant indicates that the process to fully complete a ceramic coating job can be about three (3) days per car.

The indoor carwash is proposed to clean and detail only those cars that were previously ceramic coated by the facility, by appointment only. Only one car can be treated at a time by the car wash.

The car wash is proposed to be constructed inside of an enclosure built with soundproofing materials, as shown in **Attachment B**.

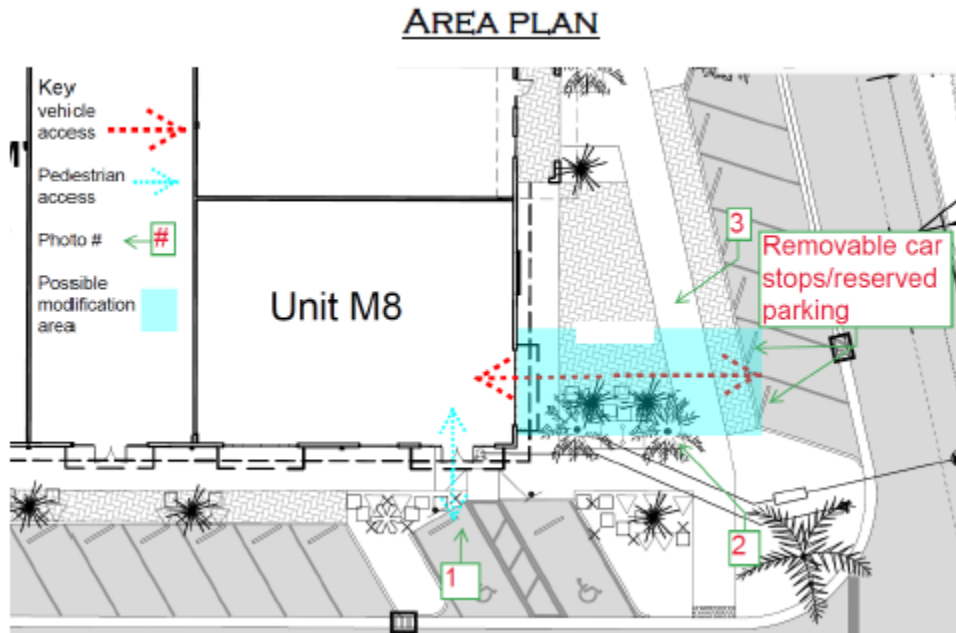


Figure 1: Proposed Access Points

Source: Applicant's Area Plan

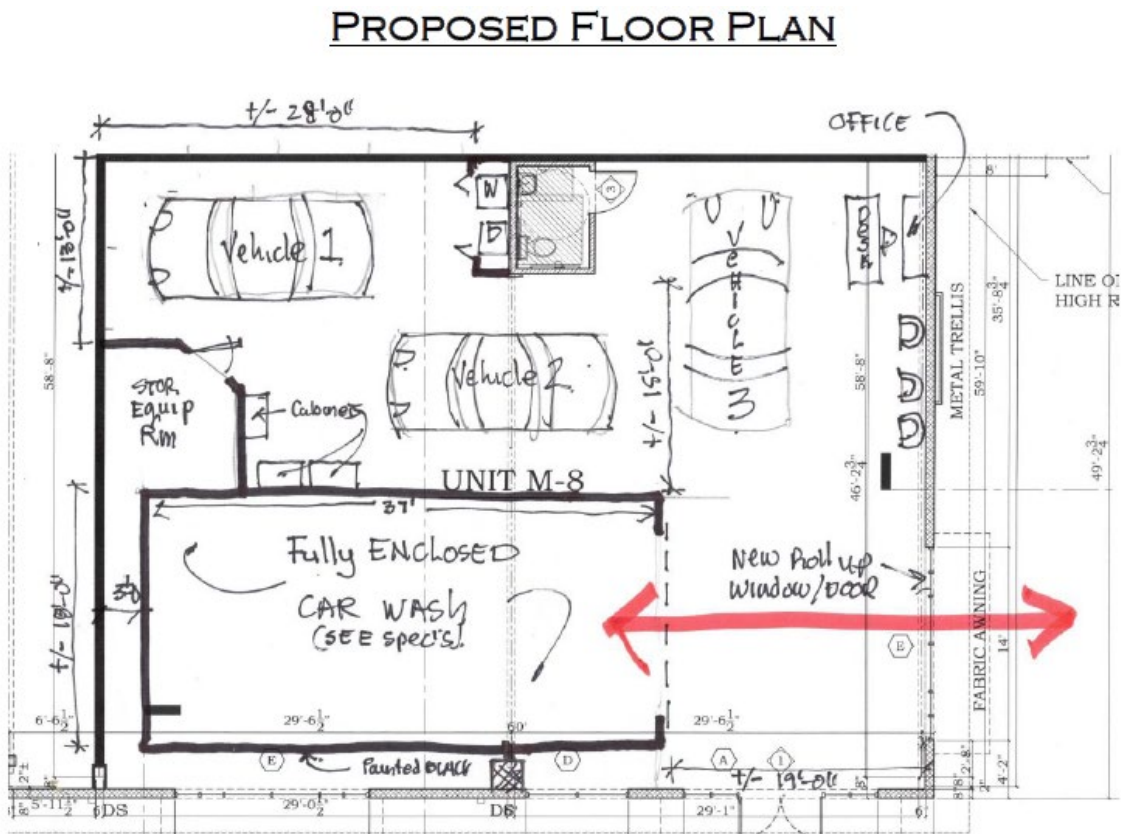


Figure 2: Proposed Floor Plan

Source: Applicant's Floor Plan

Special Exception Review Criteria – LDC Sec. 4-131(c)(2)

Considerations. In reaching their decision, the zoning board must consider the following, whenever applicable:

- a. Whether there exist changed or changing conditions that make approval of the request appropriate.*
- b. The testimony of any applicant.*
- c. The recommendation of staff.*
- d. The testimony of the public.*
- e. Whether the request is consistent with the goals, objectives, policies and intent of the Bonita Plan.*
- f. Whether the request meets or exceeds all performance and locational standards set forth for the proposed use.*
- g. Whether the request will protect, conserve or preserve environmentally critical areas and natural resources.*
- h. Whether the request will be compatible with existing or planned uses.*
- i. Whether the request will cause damage, hazard, nuisance or other detriment to persons or property.*
- j. Whether a requested use will be in compliance with all general zoning provisions and supplemental regulations pertaining to the use set forth in this chapter.*

Reviewing these criteria, Staff makes the following findings:

- a. Whether there exist changed or changing conditions that make approval of the request appropriate.*

The Applicant indicates that the number of high-income residents with multiple high-end vehicles is higher than average in Bonita Springs than the rest of the County and State. This presence of higher net worth incorporates a presence of higher-end vehicles, which are not able to be treated by the standard car and auto detailing locations that are found nearby. The Applicant states that the higher-end vehicles require and incorporate greater technology, allowing for greater protection of the vehicles with a less intense process. The requested indoor car wash is proposed to be less intense than a brick-and-mortar tunnel car wash facility, only servicing a single car at a time in the enclosure, for a 15–20-minute time frame. Staff does recognize that the demographics within the City include residents with high-end vehicles. The increased presence of high-end vehicle dealers locally and within neighboring jurisdictions provides for this greater presence. The changing circumstance does present a need to maintain these vehicles, and the changing technology deviates from the standard car wash locations that many have come to expect.

- d. The testimony of the public.*

The Applicant held their first neighborhood meeting on March 31, 2021. Three unaffiliated attendees were present, all business personnel of the Causeway Commerce Park. Concerns of noise and vibration were presented and discussed, with solutions provided and “met with approval from the attending audience.”

Post-sufficiency, the Applicant held another neighborhood meeting on October 5th, 2021. One unaffiliated attendee was present and did not express any concerns.

Courtesy notices were provided to the residents/ Owners within 375' of the Unit. One letter was returned with opposition for the request. This is included in your packet for review. To note, the Resident expressed disinterest because they "already have this type of business in [the] complex." The sited business is for a different use group, a Vehicle and Equipment dealer, and is for administrative purposes only.

e. Whether the request is consistent with the goals, objectives, policies and intent of the Bonita Plan.

The property is located within the Industrial future land use category of the Bonita Plan, which is intended to primarily accommodate light industrial, research, warehousing and office uses. Appropriate uses include heavy commercial, light industrial, warehousing, recreation, public and semi-public uses. Goal 1 of the Future Land Use element includes promoting a high quality of life that preserves the natural environment and economic vitality of the community. Additionally, the commerce park was developed under the required Future Land Use Goals and Transportation Objectives of the Bonita Plan.

The requested uses are consistent with the Bonita Plan.

f. Whether the request meets or exceeds all performance and locational standards set forth for the proposed use.

The commerce park was created under the Bonita Beach Road Corridor Overlay standards, complying with the Land Development Code requirements for the Historic Zone. While there are more appropriate units with back door access, the requested location, as conditioned, can accommodate the entrance and exit of vehicles in a safe and efficient manner. Any exterior modifications will require City Architect approval.

g. Whether the request will protect, conserve or preserve environmentally critical areas and natural resources.

There are no environmentally critical areas or natural resources at this site.

h. Whether the request will be compatible with existing or planned uses.

The proposed use abuts commercial uses that include contractor uses, food service establishments and retail uses. Within the complex are other office, retail, and commercial uses. The requested use is compatible, as conditioned, to provide commercial services to those residents of the City.

i. Whether the request will cause damage, hazard, nuisance or other detriment to persons or property.

As conditioned, the requested uses will be compatible with the existing and planned uses of the complex and not cause damage, hazard, nuisance or other detriment to persons or property. A required condition, wheel casters, removes any possible fumes or excess noise from inside the Unit

as no vehicles will be turned on inside of the Unit. No work shall be completed outside of the Unit, so the uses shall function similar to the existing uses. The indoor car wash is proposed to be enclosed with Quiet Rock, a sound deadening material, to provide for greater noise barriers from adjacent units.

j. Whether a requested use will be in compliance with all general zoning provisions and supplemental regulations pertaining to the use set forth in this chapter.

The Applicant has applied for a special exception, as required by LDC Sec. 4-898. A narrative, site plan, floor plan, and area plan were provided to support the request. The Applicant held the required neighborhood meeting prior to submitting the request, and again after the request was found sufficient by Staff. The request has been reviewed for compliance with the standards set forth in LDC Chapter Four and no deviations have been requested. Therefore, if approved, site development will be in accordance with the conditions outlined below and in accordance with LDC standards and the Bonita Beach Road Corridor Overlay.

Surrounding Zoning

The proposed location is within the Historic Zone of the Bonita Beach Road Corridor Overlay. The commerce park was developed pursuant to the LDC standards in effect. The requested use incorporates a service (a commercial use) with an industrial component. Within the complex, more intense uses are permitted by right. Staff finds the request compatible with the surrounding zoning.

Neighborhood Compatibility

Surrounded by commercial uses, the proposed uses provide services to residents and visitors of Bonita Springs. The adjacent units have different clientele and/or different peak hours, while still providing commercial services, consistent with the Bonita Beach Road Corridor Overlay, that would make this use appropriate to operate, as conditioned.

Environmental Considerations

The subject property has already been developed and impacted. There are no environmentally critical areas or natural resources located on site. The Applicant has conferred with Bonita Springs Utilities regarding the proper recycling and drainage of water from the indoor carwash use.

Traffic

As conditioned, appointment hours are permitted from 9:00 AM-4:00 PM. The request will not contribute to peak traffic demands and is consistent with uses analyzed as part of the traffic impact statement reviewed at the time of local development order (site plan) approval.

Internal Site Functionality

In order to accommodate the entrance to the Unit, the Condominium has agreed to remove or reserve the two parking spaces closest to the Unit entrance for this requested use. The spaces will be adequately marked to remove any confusion for patrons of the commerce park. When customers with appointments arrive, they will park in the designated spaces for the Unit and turn off the vehicle's ignition. As proposed, the patrons will wait inside the Unit or receive a token to redeem

at one of the neighboring retail/food establishments. Wheel casters will be put on the vehicle and Staff will slowly push the vehicle in once appropriate safeguards are placed to ensure pedestrian traffic is informed of the upcoming sidewalk crossing. Once the vehicle is inside of the Unit, the proposed rolling door will be closed, and the vehicle will be moved around via the casters for the duration of the visit. Once the vehicle car wash, detailing or ceramic coating application are completed, the vehicle will be pushed back out by Staff to the designated spaces and the customer will depart in the manner required by the traffic patterns.



Figure 3: Area Location

Source: Applicant's Area Location Map

Proposed location of sound absorption material

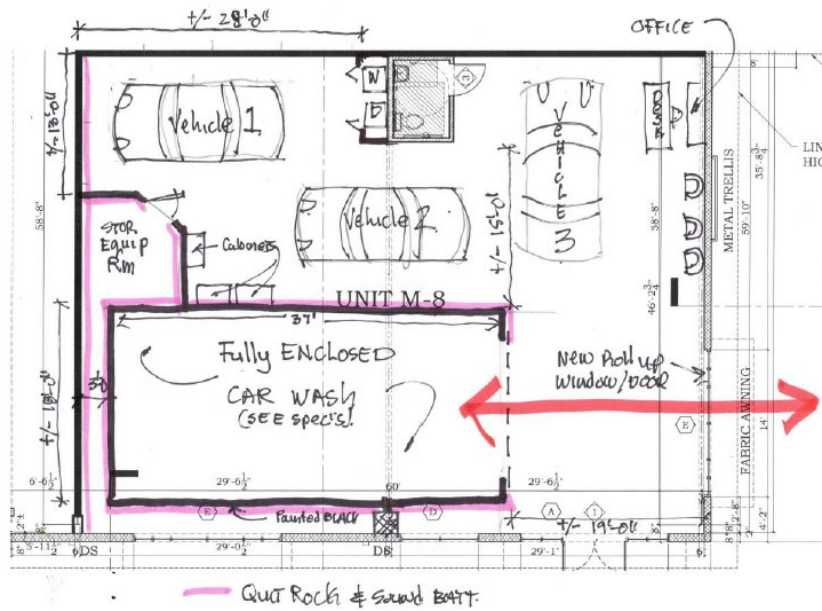


Figure 4: Floor Plan with Sound Deadening Materials

Source: Applicant Floor Plan Page 2



Figure 5: Wheel Casters

Source: Applicant Narrative

Comprehensive Plan Considerations

The subject property is located within the Industrial future land use category according to the Future Land Use Map of the City's Comprehensive Plan. The Industrial category is described in **Policy 1.1.16** as:

Policy 1.1.16 Industrial – Intended to primarily accommodate light industrial, research, warehousing and office uses.

- a. Appropriate uses include heavy commercial, light industrial, warehousing, recreation, public and semi-public uses, and mixed-use planned development with residential density

limited to 10 dwelling units per acre with the approximately 463 acres of gross land area in the land use category.

- b. If affordable housing is provided, residential density may be increased by up to five additional units per acre.*
- c. Accessory commercial uses serving employees within the complex may be allowed provided the commercial uses are integrated within the industrial complex and do not exceed 5% of the intensity of the entire project.*
- d. Maximum allowable height of structures shall be 75 feet from the base flood elevation to the eaves.*
- e. Nonresidential uses shall be limited to a maximum floor area ration (FAR) of 1.2*

The requested use of an Auto Repair and Service, Group I use, and Indoor Carwash use is consistent and compatible with the Industrial future land use provisions in the City's Comprehensive Plan.

Findings & Conclusion

It is Staff's opinion that the special exception request for an Auto and Repair Service, Group I use, and Indoor Carwash use is consistent with the provisions of the Comprehensive Plan and the Land Development Code. The proposed location is compatible with existing uses, as conditioned. Based on the evidence presented, if the uses function as conditioned, approval will not cause damage, hazard, or nuisance, will not impact environmentally critical areas (none exist on the subject property), and adequate public facilities are available.

III. RECOMMENDATION:

Staff recommends **APPROVAL** of the Applicant's requested special exception to allow the use of an Auto Repair and Service, Group I use, and an Indoor Car Wash use at 28280 Old 41 Road, Unit M-8, **subject to the following conditions:**

1. This approval is for a car detailing, ceramic coating and indoor carwash use for the requested user only, Primo, within Unit M-8 at 28280 Old 41 Road.
2. Hours of appointments, pick-ups and drop-offs of vehicles are limited to 9:00 AM-4:00 PM Monday-Saturday.
3. Th Floor Plan shall be generally consistent with the Floor Plan provided (**Attachment B**).
4. The uses shall be conducted entirely within the Unit. No work is permitted outside of the Unit.
5. All doors shall remain closed at all times unless vehicles are actively entering or exiting the Unit via wheel casters.
6. All vehicle ignitions are to remain off the entire duration of the uses until parked outside of the Unit.
7. Two spaces designated for the Unit closest to the roll-up doors shall be adequately marked to indicate the space is for the uses approved in this approval.

8. The Unit Owner shall provide pedestrian signs to safely identify the temporary closure of the sidewalk while moving vehicles in and out of the Unit. Additional safeguards may be required upon a finding of necessity communicated to the Applicant by Community Development.
9. All hazardous materials, as defined by the Environmental Protection Agency, shall be properly stored, used, and disposed of in accordance with Best Management Practices, manufacturer recommendations, and local, state, and federal regulations.

SUBJECT PROPERTY

The Applicant indicates the STRAP number is: 02-48-25-B1-29001.0M08.

EXHIBITS

- A. Legal Description of the Subject Property
- B. Site Plan

ATTACHMENTS

- A. Narrative
- B. Proposed Floor Plan with Sound Proofing Details
- C. Proposed Area Plan with Site Pictures
- D. Area Plan- Surrounding Uses

EXHIBIT A

EXHIBIT II-A-1

LEGAL DESCRIPTION

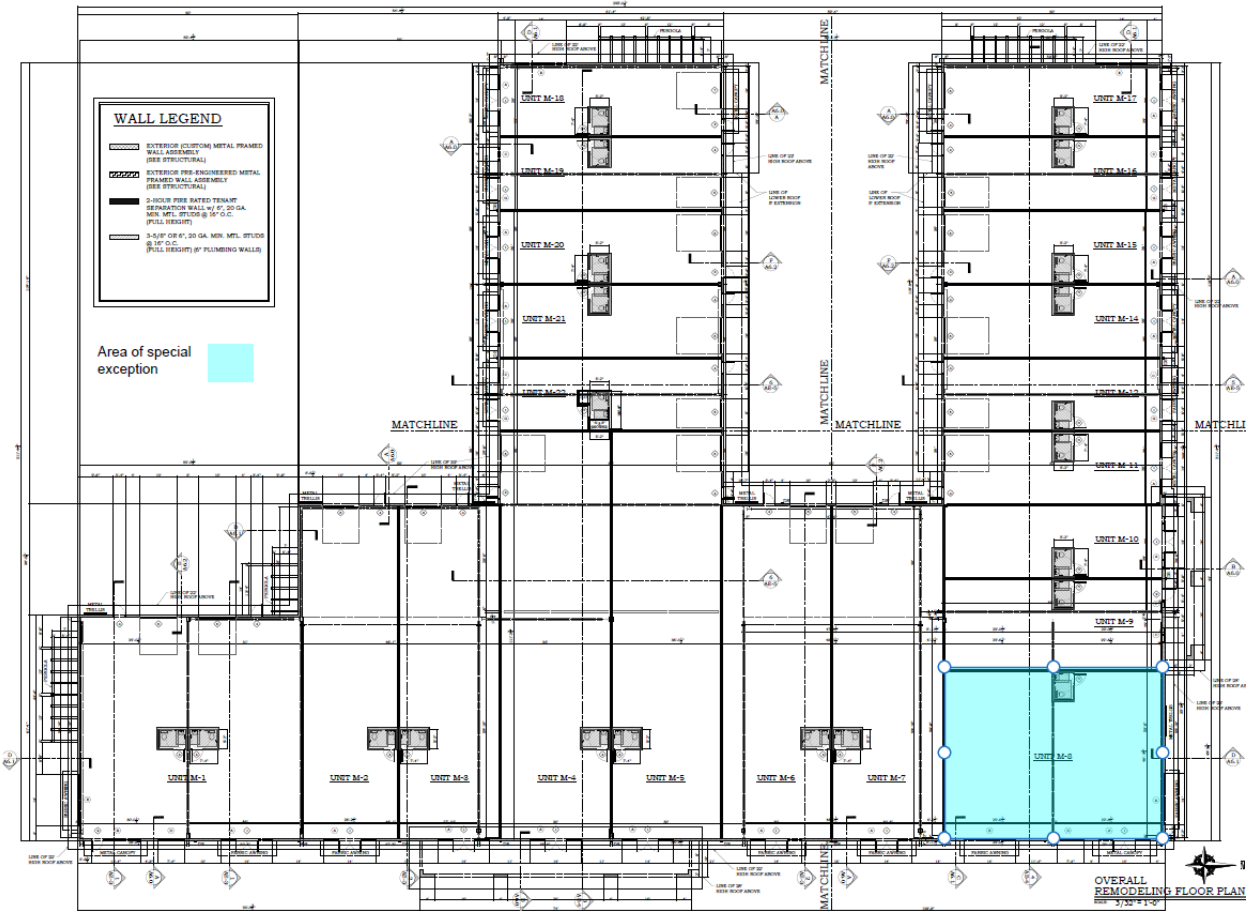
UNIT M-8

UNIT M-8 CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM ACCORDING TO THE DECLARATION OF THE CONDOMINIUM THEREOF RECORDED IN THE OFFICIAL RECORDS INSTRUMENT No. 2019000076625, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

EXHIBIT IV-G

REVISED 6/10/21

SITE/FLOOR PLAN



- A. THE LOCATION AND CURRENT USE OF ALL EXISTING STRUCTURES ON THE SITE, AS WELL AS THOSE ON ADJACENT PROPERTIES WITHIN ON HUNDRED FEET OF THE PERIMETER BOUNDARIES OF THE SITE
 - PLEASE SEE ATTACHED UNITS AND SITE PLAN
- B. ALL PROPOSES STRUCTURES AND USES PROPOSED ON THE SITE
 - ALL USES ARE PER THE ZONING
- C. ANY EXISTING PUBLIC STREETS, EASEMENTS OR LAND RESERVATIONS WITHIN THE SITE AND THE PROPOSED MEANS OF VEHICULAR ACCESS TO AND FROM THE SITE

- THIS LOCATION IS FOR A CONDO UNIT AND ALL THE ELEMENTS ABOVE ARE IN PLACE.
- D. A TRAFFIC IMPACT ANALYSIS FOR THE DEVELOPMENT CONSISTENT WITH THE ZONING TRAFFIC IMPACT STATEMENT GUIDELINES
- USE BEING REQUEST IS NO MORE IMPACT THAN THE ZONING AND WE ARE SUBMITTING FOR A WAIVER.
- E. PROPOSED FENCING AND SCREENING, IF ANY
- NONE
- F. ANY OTHER REASONABLE INFORMATION WHICH MAY BE REQUIRED BY THE DIRECTOR COMMENSURATE WITH THE INTENT AND PURPOSE OF THE REGULATIONS
- ACKNOWLEDGED

EXHIBIT IV-F

REVISED 8/26/21

SPECIAL EXCEPTIONS NARRATIVE

CERAMIC COATING FOR CARS.

- ALL WORK IS GENERATED BY APPOINTMENT ONLY/NO WALK IN SERVICE
- ALL WORK WILL BE DONE INSIDE
- CARS ARE CLEANED (CURRENTLY BY HAND OR RAN OVER TO A CAR WASH) AND IS THE REASON FOR THE REQUESTED CAR WASH)
- CARS ARE BUFFED TO REMOVE IMPERFECTIONS IN THE PAINT.
- CARS THEN GET APPLIED CERAMIC COATING. THIS COMES IN A JAR AND IS IN A LIQUID FORM. IT IS APPLIED BY HAND WITH A SOFT SPONGE AND EXCESS IS REMOVED WITH A MICRO FIBER CLOTH.
- THIS PROCESS TAKE ABOUT THREE DAYS PER CAR, THUS NON CUSTOMER WAITING IS REQUIRED.

THIS PROCESS DOES NOT PRODUCE WASTE PRODUCTS OF FUMES AS PART OF THE WORK.

TOOL AND MATERIALS REQUIRED (SEE BELOW)

- BUFFER AND COMPRESSOR
- SPONGE
- MICROFIBER CLOTHS
- GOOD LIGHTING
- PLACE TO WASH CAR
- INDOORS/OUT OF THE SUN LOCATION
- CERAMIC COATING



CERAMIC MAINTENANCE FOR CARS

JUST BECAUSE YOU HAVE THIS HIGH TECH COATING DOES NOT MEAN YOU ARE BULLET PROOF.

- CARS CANNOT BE WASHED WITH A "BUSH" CAR WAS AS IT DAMAGES THE COATING. CARS NEED TO BE WASHED BY HAND OR WITH A TOUCH-LESS CAR WASH SYSTEM. THUS THE REASON FOR THE TOUCHLESS CAR WASH.
- PERIODIC TOUCH UP AND RE- APPLICATION DUE TO INCIDENTS ARE REQUIRED. EXAMPLE OF AN INCIDENT IS A DING.

TOOL FOR MAINTAINING A CERAMIC COATED VEHICLE

- A TOUCH LESS CAR WASH. THE CLOSEST TOUCH LESS CAR WASH ACCEPTABLE FOR A CERAMIC COATED CAR IS ABOUT 30 MINUTES AWAY.
- THIS CAR WAS IS FOR CUSTOMERS ONLY AND IS NOT OPEN TO THE GENERAL PUBLIC. THIS IS NOT A DRIVE THRU STYLE CAR WAS EITHER.
- THE CAR WASH SHOULD ONLY TAKE 30 MINUTES.
- CERAMIC COATING TOUCH UPS VARY DEPENDING ON SEVERITY

OTHER CONVENIENCE TOOLS

- CAR VACUUM USED AS PART OF THE INTERIOR DETAIL WORK.
- WORK BENCH
- WASHER AND DRYER FOR MICRO-FIBER CLOTHS
- CABINETS
- GREAT LIGHTING.

ALL THE TOOLS WE USE ARE LESS INTRUSIVE AND LESS NOISY THAN THE WORK SHOP THAT IS NEXT DOOR TO US.

MOVING CARS IN THE SPACE OR IN AND OUT OF THE SPACE

- WHEEL CASTER



D. WHETHER THERE EXIST CHANGED OR CHANGING CONDITIONS THAT MAKE APPROVAL OF THE REQUEST APPROPRIATE

YES, WE BELIEVE THAT THERE EXISTS CHANGES THAT DEFIANTLY MAKE THIS REQUEST APPROPRIATE. THE NUMBER OF HIGH INCOME RESIDENTS WITH MULTIPLE HIGH-END VEHICLES IS FAR ABOVE AVERAGE FOR THE STATE AND THE COUNTY.

Bonita Springs Net Worth Distribution



THE USE REQUESTED IS THE RESULT OF A NEED, AND ECONOMICS, ESPECIALLY FOR A WEALTHY BASED RESIDENT DEMOGRAPHIC, AS NOTED ABOVE. MANY ARE RETIRED WITH DISPOSABLE INCOME, WHICH ALLOWS THEM TO AFFORD LUXURY VEHICLES.

ONE OF THE OTHER CHANGES IS THAT TECHNOLOGY HAS CHANGED THE CAR DETAILING BUSINESS. THE OLD POLISHING WAX HAS EVOLVED TO A NANO TECHNOLOGY LIQUID CALLED CERAMIC COATING. **Ceramic protectants (coatings)** provide a much higher durability than **wax**. They resist heat, UV rays, environmental contaminants & harsh detergents much better than **wax**. **Wax** on the other hand simply sits on top of the paint's surface. It does not create the chemical bond like we find with **ceramic coatings**. This allows owners of expensive cars, a way to protect their investment and enjoy the car longer.

E. WHETHER THE REQUEST IS CONSISTENT WITH THE GOALS, OBJECTIVE AND POLICIES OF THE BONITA PLAN

WE HAVE READ THE BONITA PLAN AND WE BELIEVE THAT WE ARE 100% CONSISTENT WITH THE GOALS, OBJECTIVES AND POLICIES AS STATED IN THE DOCUMENT. SEE ITEM 23

F. WHETHER THE REQUEST MEETS OR EXCEEDS ALL PERFORMANCE AND LOCATIONAL STANDARDS SET FORTH FOR THE PROPOSED USE

WE ACTUALLY EXCEED THE STANDARDS FOR THE PROPOSED USE. THE PROPOSED USE IS NOT A HIGH VOLUME DETAILS SHOP BECAUSE WE USE STATE OF THE ART CERAMIC COATINGS WHICH REQUIRED MORE ATTENTION AND MAINTENANCE OVER TIME TO MAINTAIN THE PRODUCT PERFORMANCE. THE CAR WAS IS NOT FOR THE GENERAL PUBLIC AND IS NOT A HIGH VOLUME DRIVE THRU TYPE. GENERALLY CAR WASHES ARE HIGH VOLUME AND REQUIRE A QUEUING LANE FOR ACCESS. THE SERVICES AS PROPOSED WILL BE LIMITED AND WILL REMAIN INSIDE. THEREFORE IT IS NOT HIGH VOLUME AND DOES NOT NEED A QUE LINE FOR SERVICE.

G. WHETHER THE REQUEST WILL PROTECT, CONSERVE OR PRESERVE ENVIRONMENTALLY CRITICAL AREAS AND NATURAL RESOURCES.

AS THIS FACILITY IS ALREADY BUILT, IT WILL NOT IMPACT CRITICAL AND OR ENVIRONMENTAL SENSITIVE AREAS. WE ARE ALSO PROPOSING THE LATEST STATE OF THE ART, SELF-CONTAINED SYSTEMS TO PROTECT THE ENVIRONMENT.

H. WHETHER THE REQUEST WILL BE COMPATIBLE WITH THE EXISTING PLANNED USES.

THE USES IN THIS DEVELOPMENT, WHILE NOT BEING A "PURE" INDUSTRIAL PARK, DOES HAVE INDUSTRIAL USES AS PART OF THE MAKEUP OF TENANTS (SEE ITEM 26 FOR ADJACENT NEIGHBORS AND USES). WE BELIEVE THAT BECAUSE THE PROPERTY DOES ALLOW FOR THIS USE AS A SPECIAL EXCEPTION, THAT IT WAS ANTICIPATED BEING COMPATIBLE. BY LOOKING AT THE INTERNAL USES THAT ARE EXISTING, THIS USE IS COMPATIBLE AND ALSO WILL MOST LIKELY BE USED BY SOME OF THE EXISTING TENANTS. AN EXAMPLE OF THIS COULD BE THE UNIT M-5 WHICH IS CURRENTLY REQUESTING ON LINE HIGH END AUTO SALES.

I. WHETHER THE REQUEST WILL CAUSE DAMAGE, HAZARD, NUISANCE OR OTHER DETRIMENT TO PERSONS OR PROPERTY.

THE REQUEST WILL NOT CAUSE DAMAGE, HAZARD, NUISANCE OR OTHER DETRIMENT TO PERSONS OR PROPERTY. WE ARE LESS NOISY, AND CREATE LESS WASTE THAN MANY OTHER TENANTS. AN EXAMPLE, THERE IS A HANDY MAN SHOP WITH ALL TYPES OF LOUD CONSTRUCTION MACHINERY THAT RUNS ALL DAY LONG AND IS AN ALLOWABLE USE.

J. WHETHER A REQUESTED USE WILL BE IN COMPLIANCE WITH ALL GENERAL ZONING PROVISIONS AND SUPPLEMENTAL REGULATIONS PERTAINING TO THE USE AS SET FORTH IN THE LDC CHAPTER 4

THE REQUESTED USE WILL BE IN COMPLIANCE WITH ALL GENERAL ZONING PROVISIONS AND SUPPLEMENTAL REGULATIONS PERTAINING TO THE USE AS SET FORTH IN THE LDC CHAPTER 4. WE HAVE ALSO REVIEW THE FLORIDA BUILDING CODE AND WILL BE IN FULL COMPLIANCE WITH IT, ESPECIALLY SINCE THE VEHICLES WILL NOT BE TURNED ON WHILE INDOORS. WE HAVE SPOKEN WITH BONITA SPRINGS UTILITIES AND HAVE AN EMAIL OF GENERAL APPROVAL FOR THE CONCEPT FROM THEIR PERSPECTIVE.

WE HAVE ALSO READ THE BONTIA BEACH CORRIDOR OVERLAY AND HAVE APPLIED APPLICABLE TO THE INTENT AND CONCEPTS OF THE OVERLAY DISTRICT. MANY OF THE BBCO OBJECTIVES HAVE BEEN INTEGRATED INTO THE OVERALL DEVELOPMENT. WHILE WE ARE ONLY A SMALL PART OF THE DEVELOPMENT WE FEEL THAT WE ARE ADDING TO THE BBCO OBJECTIVES. WE WILL BE MAINTAINING AND ENHANCING THE CONCEPT OF PEDESTRIAN INTERCONNECTIVITY. WE ARE DOING THIS BY GIVING TOKENS FOR FREE DRINK/APPETIZER TO ENCOURAGING OUR CUSTOMERS TO WALK DOWN TO AND SUPPORT THE RESTAURANT IN THE COMPLEX. WE ARE MAINTAINING THE ARCHITECTURAL INTEGRITY OF THE BUILDING BY LOCATION THE ROLL UP WINDOW/DOOR THAT MATCHES THE OTHER WINDOWS.

OPERATIONS NARRATIVE

Narrative

Primo Detailing Studio is a high-end, luxury, boutique style detailing center that offers, paint correction and ceramic coating, and a touchless car wash. The touchless car wash will be only for “Primo Members” that set up an appointment to have their ceramic coated vehicle maintenance wash. Clients are required to set up an appointment in order to have their car maintenance through the touchless car wash. This narrative is to describe step by step, from start to finish of the washing a ceramic coating process.

Applying Ceramic Coating

1. Client makes appointment (between 9 am and 4 pm)
2. Client shows up for appointment, client does not drive car in or out of the unit. A Primo technicians will be putting the car on “wheel dollies” in order to safely pull in and out the car of the unit.
3. Cones will be set up outside of the garage door for any pedestrians walking across the walkway if needed.
4. After client is greeted, and we go over what service is going to be provided, the garage door is open, the car then enters the touchless car wash on wheel dollies. Once the car enters the

building the garage door closes. The car will not be on while inside the unit to eliminate any fumes from the exhaust.

5. Client does not wait at the unit; this application of ceramic takes a minimum of 3 overnights to complete.
6. The car is then pushed into the touchless car wash by Primo technicians and the wash process starts. The washing facility is fully enclosed so that no spray goes outside the enclosed structure.
7. When car is finished being washed, the car is then pushed (with the car still on the wheel dollies into a designated spot within the unit to start the compounding/polishing process. Once it is in the designated spot, the dollies are removed to make the car stable.
8. The compound and polishing process uses a random orbital buffer, with either a foam pad or a microfiber pad. The compound or polish is then applied to the buffing pad. Technician then starts to remove any imperfections from the clear coat one car panel at a time.
9. Once Primo has removed all the imperfections from the clear coat, the application of ceramic is applied to all exterior surfaces of the vehicle. Ceramic coating is a liquid, not a paste
10. Ceramic is applied by hand with a square microfiber pad. The ceramic is applied to the microfiber pad and applied to each panel working in 4X4 sections of the car. Once the ceramic is applied to a section of the panel, it is then wiped off with a high pile microfiber towel to remove any excess
11. This is done to the exterior of the car until all exterior surfaces are completed.
12. The microfiber pad is then thrown out when done being used and same with the microfiber towels.
13. Once the bottle of ceramic is finished and there is no product left in the bottle, the bottle is then thrown out. There is no excess product.
14. Once the ceramic application is complete, the car then has to sit in same spot overnight to cure enough to drive the next day.
15. When we call the client, we set up a time and a day to pick up. Once this is achieved and agreed upon, the car is then put back on wheel dolly's and pushed by Primo technicians, cones set up for any pedestrians crossing and then parked in designated finish spot
16. Client and Primo technician go over exterior of car to make sure client is happy and our quality is second to none.

Ceramic Coated Wash Maintenance

1. Client makes appointment
2. Client arrives at designated time and at Primo's designated parking spot. Primo then removes "removable" car stop
3. Primo technicians then put the car on "wheel dollies" in order to safely pull in and out the car of the building.
4. Cones can be set up outside of the garage door for any pedestrians walking across the walkway.
5. After client is greeted, and we go over what service is going to be provided, the garage door is open, the car then enters the touchless car wash on wheel dollies. Once the car enters the building the garage door closes. The car will not be on while inside the unit to eliminate any fumes from the exhaust.
6. Client is then given a "token" to enjoy a complimentary drink or appetizer at the industry a couple doors down or can wait in shop

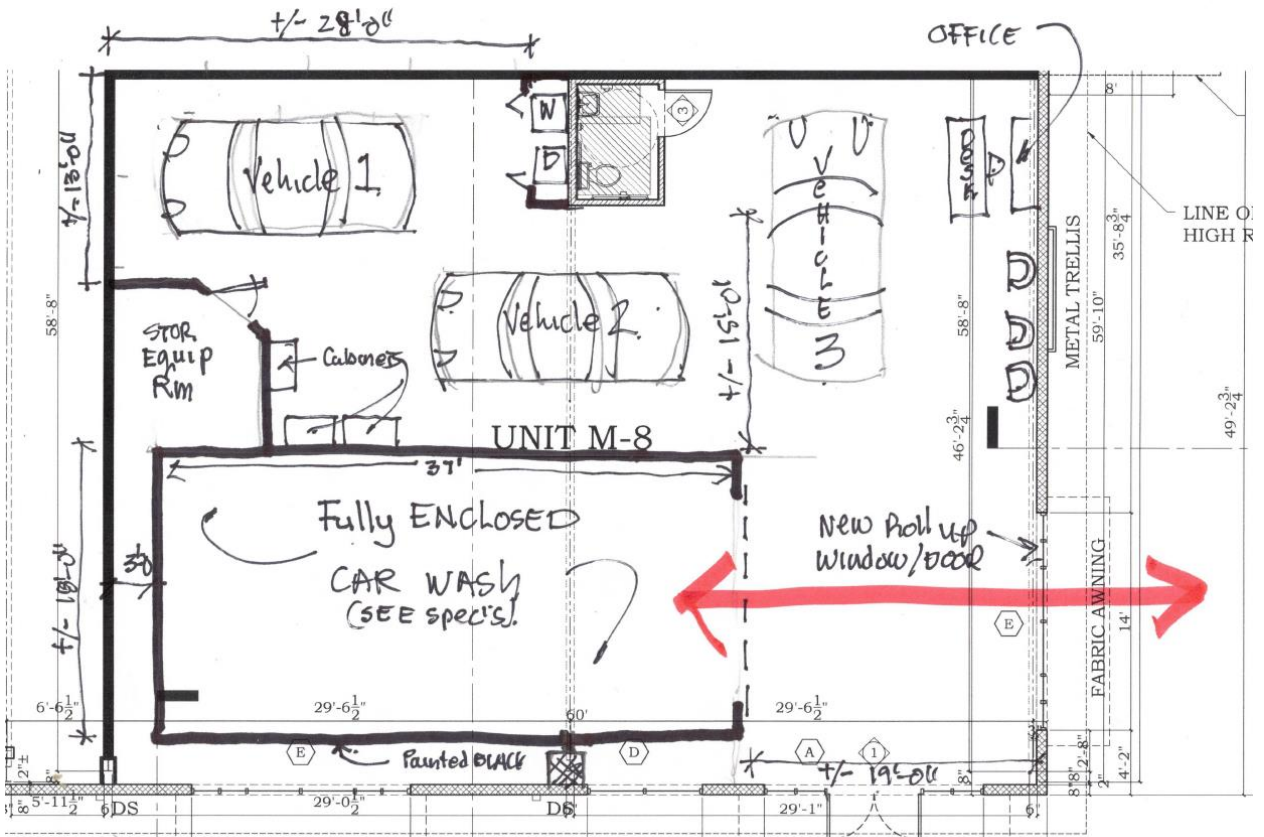
7. Touchless Car Wash process starts on car
8. Garage door is then opened, putting the cones outside if needed, while another Primo technician watches to see if there are any pedestrians walking past
9. When touchless car wash process is finished, the car is then pushed back out to the garage door on dollies and delivered back to the primo parking spot. The car stop is put back in place and the dollies are removed
10. The vehicle is then parked in an undetermined parking spot when finished so Primo spot is left open to repeat again when needed
11. We call the client to have them pick up the car
12. The whole process is repeated with next client that makes appointment

PLEASE SEE ITEMS 22 AND 24 FOR ACCESS DIAGRAMS AND CONCEPTUAL FLOOR PLANS

ITEM 24

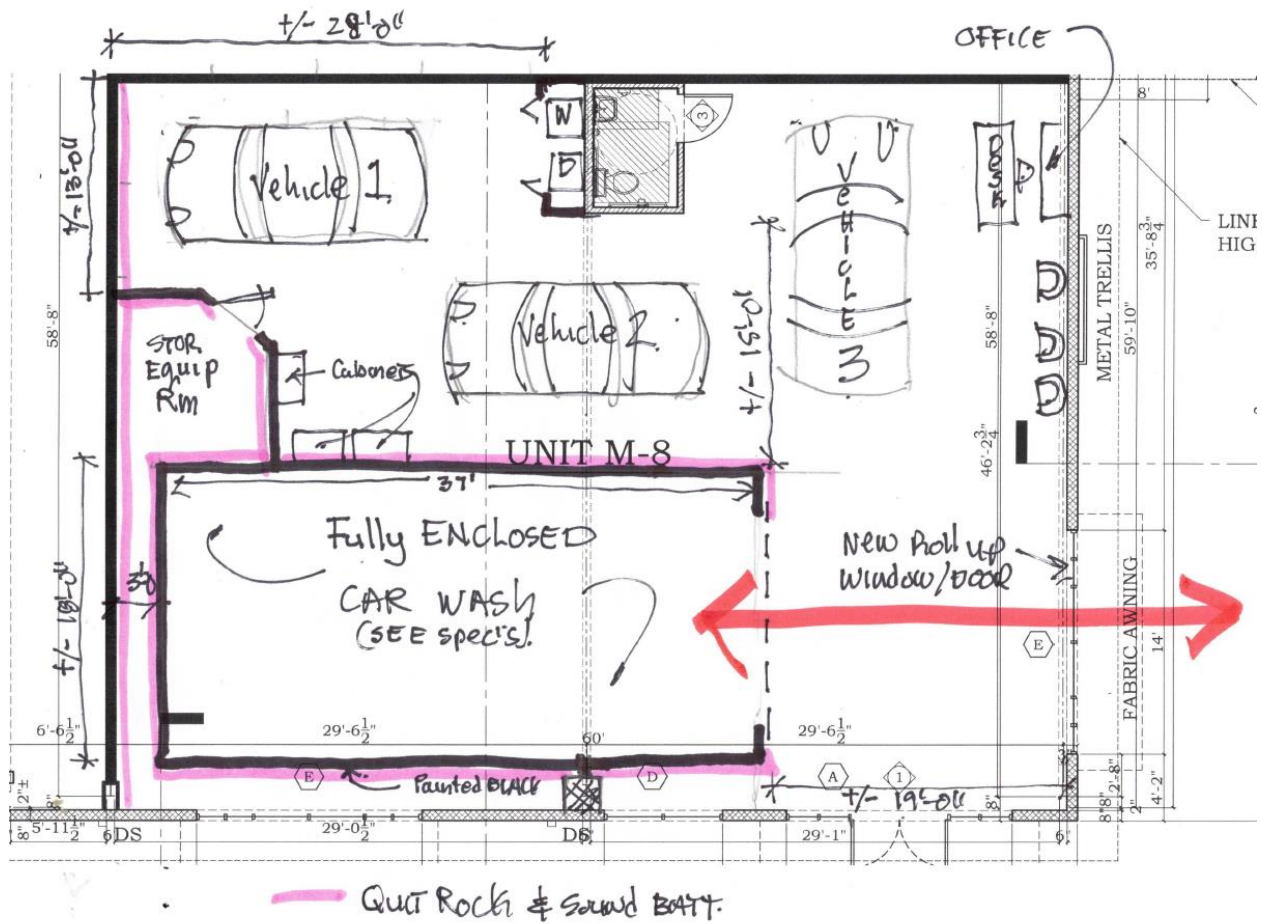
REVISED 7/27/21

PROPOSED FLOOR PLAN



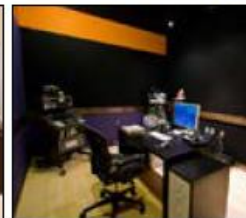
All cars are moved by hand and wheel casters, this include going in and out of the car wash. Engines will not be on during moves.

Proposed location of sound absorption material



See below for specifications of both quiet Rock and sound batt insulation (or equal).

QuietRock® 545



The **HIGHEST PERFORMING** Sound Reducing Gypsum Panel on the Market

QuietRock® 545 is the only sound damping panel that is designed for maximum sound isolation across a broad frequency range. QuietRock® 545 is ideal for high-end home theaters, commercial theaters, professional studios, music rooms, and other projects where low-frequency mitigation is critical.



QuietRock® 545 Benefits

- Highest performing sound damping drywall available
- Exceptional low-frequency performance
- Maximum sound isolation across a broad frequency range
- Ideal for high-end home theaters, studios, commercial theaters, and other sound rooms
- Lab tested and proven to outperform older conventional sound isolation methods
- Offers high STC ratings, tested up to STC 80

QuietRock® 545



Multi-layer gypsum panel engineered to provide maximum sound attenuation across a broad frequency range. QuietRock® 545 can be used in any application where transmission loss performance is required at low frequencies - ideal for commercial theaters, home theaters, studios, and sound rooms.

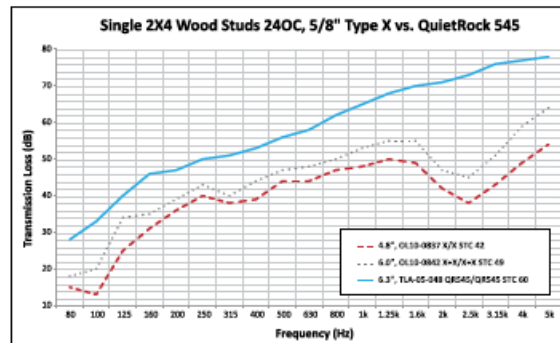
STC Comparison*

1 layer 5/8" gypsum per side	42
6" CMU	45
2 layers 5/8" gypsum per side	49
1 layer QuietRock® 545 per side	60

*in single wood stud construction (single 2x4 24" OC)

Product Specifications:

- Thickness:** 1-3/8" (34.9mm), tapered edge
- Width:** 4' (1220mm)
- Lengths:** 8' (2438mm)
- Weight:** 6.25 lbs/sqft
- STC-rated Assemblies (per ASTM E 90):** 60-80
- Permeability (per ASTM E 695-03):** 0
- Product Standards:** ASTM C 1396
- Installation Standards:** ASTM C 840; GA-214, GA-216



Common Wall Assemblies:

Wood Stud Walls		
<p>Single 2x4 wood studs, 16" OC - STC 49</p> <p>QuietRock® on one side Type X on the other</p>	<p>Single 2x4 wood studs, 16" OC - STC 54</p> <p>QuietRock® on both sides</p>	<p>Staggered 2x4 wood studs, 8" OC - STC 64*</p> <p>QuietRock® on one side Type X on the other</p>
<p>Single 2x4 wood studs, 24" OC - STC 56*</p> <p>QuietRock® on one side, Type X on the other</p>	<p>Single 2x4 wood studs, 24" OC - STC 60</p> <p>QuietRock® on both sides</p>	<p>Double 2x4 wood studs, 24" OC - STC 80</p> <p>Double layer QuietRock® on both sides</p>

* Estimated STC based on independent laboratory testing

The information contained in this document is for general purposes only. Features and specifications are subject to change. The diagrams and stated STC ratings are intended to serve as a guide. Construction practices have an influence on final STC ratings. Serious Energy cannot guarantee actual STC ratings. Flanking sound patterns, the integrity of the wall, and construction methods factor in effective sound control. Exposure to excessive or continuous moisture and extreme temperatures of 125°F (52°C) or more should be avoided. QuietRock should be stored flat in a dry area, under cover, on supported risers to prevent damage to product. Proper care should be taken while transporting, storing, applying and maintaining QuietRock.



PABCO® Gypsum | 37851 Cherry Street, Newark, CA 94560 | 1.800.797.8159 | www.PabcoGypsum.com | www.QuietRock.com | PN: 101-00045-011018
 © 2018 PABCO® Gypsum. All rights reserved. PABCO® Gypsum, the PABCO® logo, EZ-SNAP®, Quiet®, QuietRock®, QuietPutty®, QuietSeal®, QuietSeam®, QuietGlue® Pro, and QuietCoat® are trademarks or registered trademarks of Pacific Coast Building Products, Inc. and licensed to PABCO® Gypsum in the United States and other countries. Information subject to change without notice. QuietRock 545 is covered by patent U.S. number 7,181,891 and 7,882,763.



Quiet Batt™ 30 Soundproofing Insulation

Quiet Batt™ 30 is a 3 in. premium, high-performance soundproofing and thermal insulation product designed for use in both interior and exterior walls, ceilings and attic applications. Quiet Batt™ 30 soundproofing insulation installs with a tight friction fit between wood and metal studs to minimize sound and thermal energy transmission. Quiet Batt™ 30 can be used as a standalone soundproofing product or in conjunction with other soundproofing materials.

\$91.10 — **\$104.10**

Size

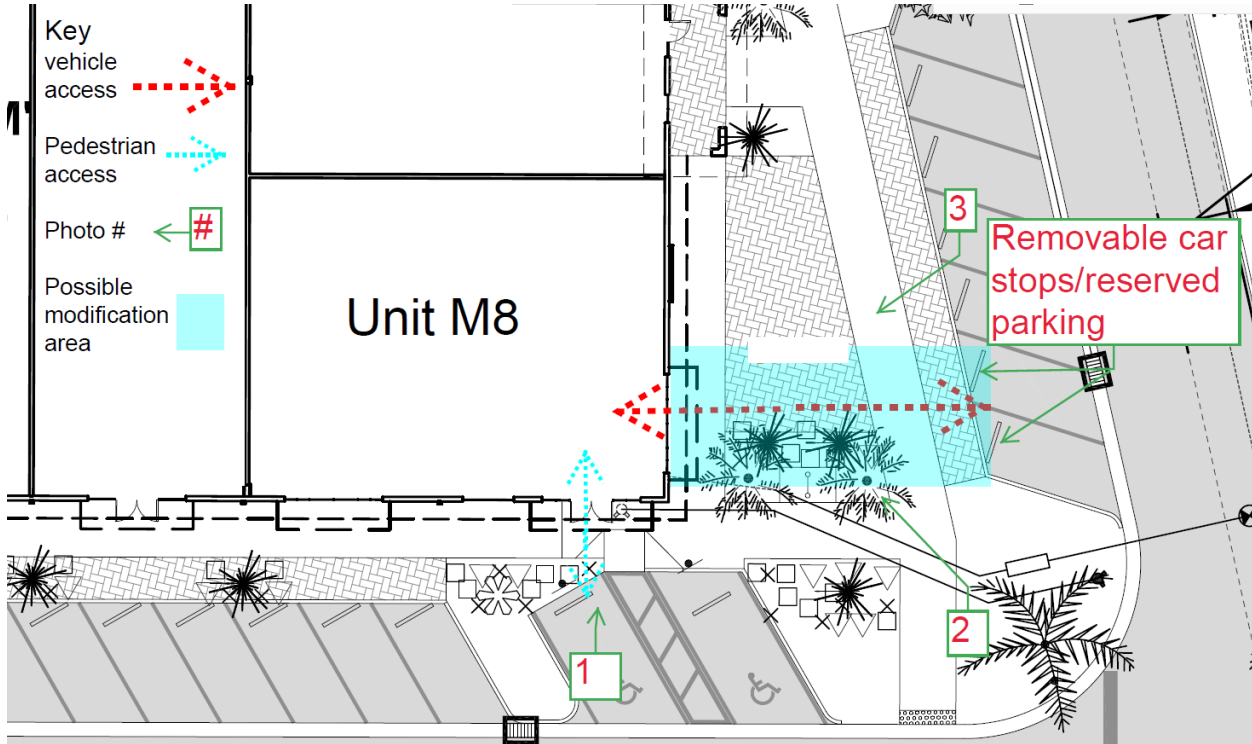
24in on center spacing (48sqft)



ITEM 22

REVISED 7/27/21

AREA PLAN



Area Requested modifications*

- Removable car stops
- Reserved parking/8-5
- Roll up window to match existing
- Sub-surface modifications' for added vehicle weight if needed

* Cars will be put on casters and pushed into/around and out of the facility.
Cars will not be turned on inside the building

Pictures



1 Existing pedestrian access doors-M8



2 Picture looking south west (existing buffering)

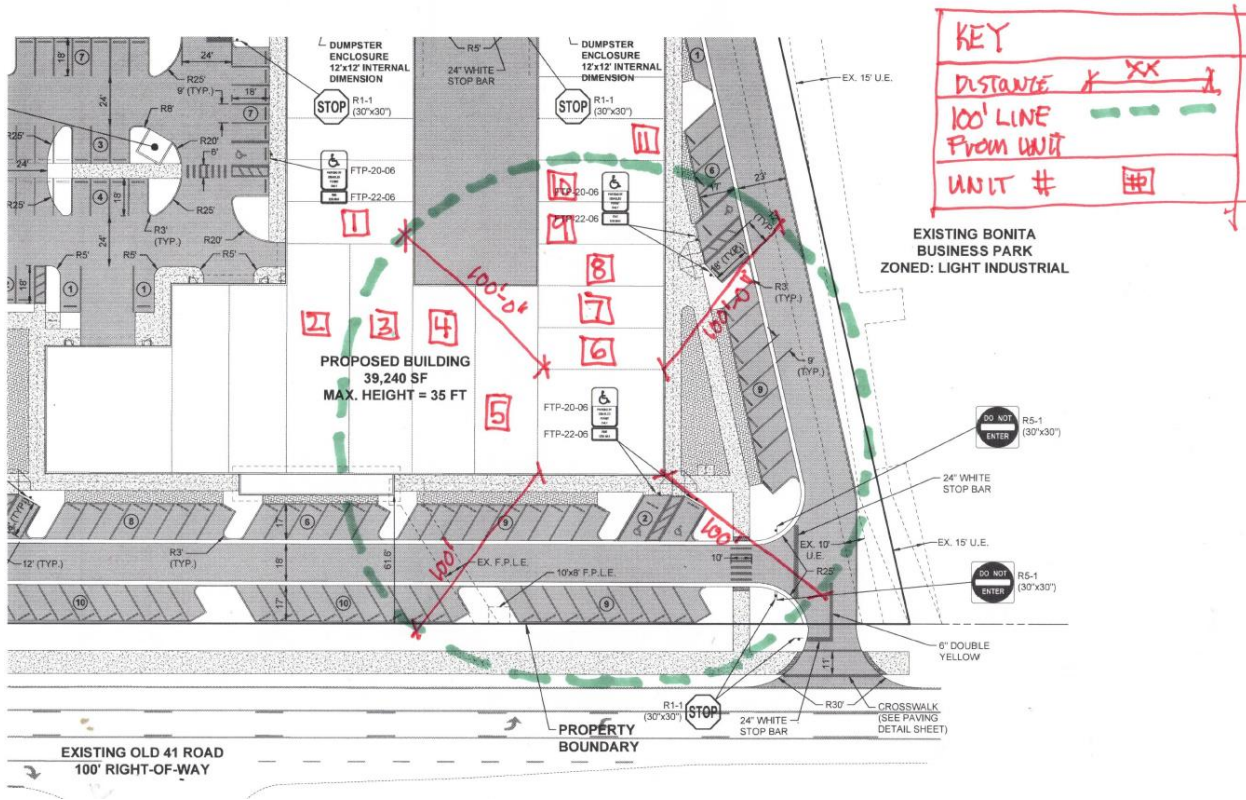


3 Picture looking south (before and after- no change to plan or elevations)

ITEM 26

NEW 7/27/21

AREA NEIGHBOR PLAN (100 FEET FROM M8)



Business

- 1 CJ Cleaning, Permitting, and Consulting
This company cleans, helps with permitting and does general consulting/home watch.
- 2 Encore Garage Company (Unit 1)
This company assembles/fabricate cabinets/garage organizing systems and install garage floor coatings.
- 3 312 Motors (Requesting Special Exception)(Unit 5)
This is an online indoors cars sales only showroom that is appointment based only.
- 4 Truly Handy (Unit 6)
General contractor and handyman services
- 5 Truly Handy (Unit 7)
General contractor and handyman services
- 6 CRU Private Wine Club (Unit 9)
Wine tasting and small plate pairings are help several days a week by reservation only
- 7 Art Studio (Unit 10)
Art studio

- 8 Grumpy Goat Coffee Company (Unit 11)
Coffee roaster

- 9 Houge LLC (Unit 12)
Office

- 10 Gulfshore Fitness (Unit 13)
Online and onsite fitness services/personal trainer

- 11 Light-Scapes/lighting distributor (Unit 11)
Landscape lighting designer



PUBLIC HEARING APPLICATION FOR REZONINGS (CONVENTIONAL) & SPECIAL EXCEPTIONS

Community Development Department | 9220 Bonita Beach Road, Suite 111 | Bonita Springs, FL 34135 | Phone: (239) 444-6150 | Fax: (239) 444-6140

Applicant's Name: Phone #:

Address:

E-mail:

Project Name:

STRAP Number:

Application Form: Computer Generated* City Printed

* By signing this application, the applicant affirms that the form has not been altered.

STAFF USE ONLY

Case Number: Date of Application:

Fee:

Current Zoning:

Land Use Classification(s): Comp. Plan Density:

Date of Zoning Public Hearing: Date of City Council Public Hearing:

Planner Assigned:

Staff Recommendation:

PART I

APPLICANT/PROPERTY OWNERSHIP INFORMATION

A. Name of applicant: High Road Holdings, LLC
Street Mailing Address: 360 Warwick Way
City: Naples State: Florida Zip: 34110
Phone Number: Area Code: 414 Number: 708-4726 Ext.
E-mail: ben.myers@svn.com

B. Relationship of applicant to property:
 Owner Trustee* Option holder*
 Lessee* Contract Purchaser*
 Other (indicate)*

*If applicant is NOT the owner and the application is NOT City-initiated, submit a notarized Authorization Form from the owner to the applicant. Label the attachment "Exhibit I-B-1".

* If the application is City-initiated, enter the date the action was initiated by the City Council:

Attach a copy of the "green sheet" and a list of all property owners, and their mailing addresses, for all properties within the area described. Names and addresses must be those appearing on the latest tax rolls of Lee County. Label the "green sheet" as "Exhibit I-B-2" and the list as "Exhibit I-B-3".

C. Name of owner of property: Causeway Commerce Building Condo Assoc.
Street Mailing Address: 808 Wiggins Pass Road-Suite200
City: Naples State: Florida Zip: 34110
Phone Number: Area Code: 239 Number: 594-7777 Ext.

D. Date property was acquired by present owner(s): 10/01/19

E. Is the property subject to a sales contract or sales option? NO YES

F. Are owner(s) or contract purchasers required to file a disclosure form? NO YES. If yes, please complete and submit Exhibit I-F (attached).

G. Authorized Agent(s): List names of authorized agents. Attach extra sheet if more space is required

Name: McHarris Planning and Design
Contact Person: Joe McHarris
Address: 11338 Bonita Beach Road, suite 103 , Bonita Springs, Florida 34110
Phone: 239-948-6688 E-mail: joe@mcharris.com

**PART II
GENERAL INFORMATION**

A. Legal Description: Is property within a platted subdivision recorded in official Plat Books of Lee County?

NO. Attach a legible copy of the legal description (labeled Exhibit II-A-1.) and a certified sketch of description as set out in Chapter 5J-17.053, F.A.C., Florida Administrative Code, unless the subject property consists of one or more undivided platted lots. If the application includes multiple abutting parcels, the legal description must describe the perimeter boundary of the total area, but need not describe each individual parcel. However, the STRAP number for each parcel must be included. (labeled Exhibit II-A-2.)

YES. Property is identified as:

Subdivision Name: _____
 Plat Book: _____ Page: _____ Unit: _____ Block: _____ Lot: _____

Submit a copy of the Plat Book page with subject property clearly marked. Label this Exhibit II-A-3.

STRAP NUMBER: 02 48 25 B1 29001.0M8

B. Project Street Address: 28280 Old 41 Road, Unit M-8, Bonita Springs, Florida 13435 Building 1

C. General Location of Property (referenced to major streets) Located at Causeway Park of Commerce, across from the Gray hound Track on Old 41

D. Nature of Request: (Check applicable answers)

Rezoning FROM: _____ TO: _____
 Special Exception for: _____

E. Property Dimensions

1. Width (average if irregular parcel): 51 Feet
2. Depth (average if irregular parcel): 50 Feet
3. Frontage on road or street: 50 Feet
4. Width along waterbody (If applicable): N A Feet
5. Total land area: +/- 2900 sq ft Acres or Square Feet

F. Facilities

1. Fire District: Bonita Springs Fire Control District
2. Sewer Service Supplier: BSU
3. Water Service Supplier: BSU

G. Present Use of Property: Is the property vacant? Yes No

Except for City-initiated requests, if the property is not vacant, the owner or applicant's signature on this application indicates that the Owner agrees to either remove all existing buildings and structures, OR that the use of the building or structure(s) will be in compliance with all applicable requirements of the land development code.

Briefly describe current use of the property:

Vacant Commercial Condominium

H. Property restrictions: Are there any deed restrictions or other types of covenants or restrictions on the property? Yes No. If yes, submit a copy of the restrictions and a written statement as to how the restrictions may affect the request.

The Declaration of Commercial Condominium restrict the use of each unit as permitted by applicable zoning

There are not covents or restrictions on the property which would affect the applicant request

EXHIBIT I-F

NOTARIZED DISCLOSURE FORMS

**EXHIBIT I-F
DISCLOSURE OF INTEREST FORM FOR:**

STRAP NO. 02-48-25-B1-29000.0M08 **CASE NO.** _____

1. If the property is owned in fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest.

Name and Address	Percentage of Ownership
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

2. If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each.

Name, Address, and Office	Percentage of Stock
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

3. If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with percentage of interest.

Name and Address	Percentage of Interest
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

4. If the property is in the name of a GENERAL PARTNERSHIP OR LIMITED PARTNERSHIP, list the names of the general and limited partners.

Name and Address	Percentage of Ownership
<u>High Road Holdings LLC</u>	<u>100%</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

5. If there is a CONTRACT FOR PURCHASE, whether contingent on this application or not, and whether a Corporation, Trustee, or Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners.

Name, Address, & Office (if applicable)	Percentage of Stock
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Date of Contract: _____

6. If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust.

Name and Address

For any changes of ownership or changes in contracts for purchase subsequent to the date of the application, but prior to the date of final public hearing, a supplemental disclosure of interest shall be filed.

The above is a full disclosure of all parties of interest in this application, to the best of my knowledge and belief.

Signature: *[Handwritten Signature]*
 (Applicant)
 Benjamin Myers
 (Printed or typed name of applicant)

STATE OF FLORIDA
 COUNTY OF LEE

The foregoing instrument acknowledged before me this 20th day of August, 2021, by _____, who is personally known to me or who has produced _____ as identification.

[Handwritten Signature]
 Signature of Notary Public
Kathryn Parker
 Printed Name of Notary Public



EXHIBIT I-B-1 (AFFIDAVIT)

NOTARIZED AUTHORIZATION FORM

PART III

AFFIDAVIT

I, Joseph McHarris, certify that I am the owner or authorized representative of the property described herein, and that all answers to the questions in this application and any sketches, data or other supplementary matter attached to and made a part of this application, are honest and true to the best of my knowledge and belief. I also authorize the staff of City of Bonita Springs Community Development to enter upon the property during normal working hours for the purpose of investigating and evaluating the request made thru this application.

[Signature]
Signature of owner or owner-authorized agent

3/3/21
Date:

Joseph McHarris
Typed or printed name

STATE OF FLORIDA
COUNTY OF LEE

The foregoing instrument was certified and subscribed before me this 3 day of MARCH 2021, by JOSEPH McHARRIS, who is personally known to me or who has produced as identification.

(SEAL)

[Signature]
Signature of notary public

TARA SHEA ROE
Printed name of notary public



AREA LOCATION MAP
(EXHIBIT 3)



EXHIBIT II-A-1

LEGAL DESCRIPTION

UNIT M-8

UNIT M-8 CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM ACCORDING TO THE DECLARATION OF THE CONDOMINIUM THEREOF RECORDED IN THE OFFICIAL RECORDS INSTRUMENT No. 2019000076625, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

EXHIBIT IV-A

SURROUNDING PROPERTY OWNERS LIST

(MAILING LABELS SEE ITEM 21)

Date of Report: March 04, 2021
 Buffer Distance: feet [Click here to download the map image, mailing labels \(Avery 5161\) and CSV formatted information.](#)
 Parcels Affected: 155
 Subject Parcel: **02-48-25-B1-29000.00CE**
 To change, add or remove subject parcels please change the parcel selection in [GeoView](#)

OWNER NAME AND ADDRESS	STRAP AND LOCATION	LEGAL DESCRIPTION	MAP INDEX
SEMINOLE GULF RAILWAY L P 4110 CENTER POINTE DR STE 207 FORT MYERS FL 33916	35-47-25-B4-00001.0000 RAILROAD R W BONITA SPRINGS FL 34135	RR R/W OR 343 PG 420 + DB 292 PG 458 + OR 1651 PG 3493 LYING S OF RIVER	1
BRUCE L SCHEINER TRUST + PO BOX 61412 FORT MYERS FL 33906	35-47-25-B4-00001.0010 ACCESS UNDETERMINED BONITA SPRINGS FL	PARL IN SW 1/4 SEC 35 TWP 47 R 25 DESC IN OR 1751 PG 4676	2
VAUGHN RICHARD L - CHERI J 217 WEST ST NAPLES FL 34108	35-47-25-B4-00210.0250 10350 BONITA BEACH RD SE BONITA SPRINGS FL 34135	HEITMANS BONITA SPRINGS BLK 10 PB 6 PG 24 LOTS 25 + 26	3
CLUB AT MEDITERRA INC 15755 CORSO MEDITERRA CIR NAPLES FL 34110	01-48-25-B4-00010.0040 ACCESS UNDETERMINED BONITA SPRINGS FL	MEDITERRA NORTH GOLF COURSE LYING IN SW 1/4 OF SEC 1 + S 1/2 OF SE 1/4 + NW 1/4 OF SE 1/4 + W 1/2 SE OF OLD 41 AS DESC IN INST#2009000329735 + INST#2010000145194	4
NORTHLAND MONTERRA LLC NORTHLAND INVESTMENT CORP 2150 WASHINGTON ST STE 300 NEWTON LOWER FALLS MA 02462	02-48-25-B1-00001.0000 28001-151 DOVEWOOD CT BONITA SPRINGS FL 34135	THE E 1/2 OF NW 1/4 OF NW 1/4 LYING W + N OF THE ACL RR R/W + W 1/2 OF NW 1/4 OF THE NW 1/4 LESS RD R/W	5
QUALITY STATE INVESTMENT LLC BONITA STORAGE INN 8841 W TERRY ST BONITA SPRINGS FL 34135	02-48-25-B1-00006.0020 10347-351 BONITA BEACH RD SE BONITA SPRINGS FL 34135	PAR IN NE 1/4 OF NW 1/4 S OF BONITA BCH RD + WLY OF OLD 41 AS DESC IN OR 3320 PG 1202 + OR 3320 PG 1204	6
RDP PROPERTIES LLC 308 SPIDER LILY LN NAPLES FL 34119	02-48-25-B1-00006.0040 10301 BONITA BEACH RD SE BONITA SPRINGS FL 34135	PARL IN NW1/4 DESC OR 1889 PG 4631 LESS OR 2905 PG 59 + LESS BONITA BEACH RD DESC OR 1996 PG 4546	7
RDP PROPERTIES LLC 308 SPIDER LILY LN NAPLES FL 34119	02-48-25-B1-00006.0060 28110 INDUSTRIAL RD BONITA SPRINGS FL 34135	PARL IN NW1/4 E OF RR ROW DESC OR 2905 PG 59	8
QUALITY STATE INVESTMENT LLC BONITA STORAGE INN 8841 W TERRY ST BONITA SPRINGS FL 34135	02-48-25-B1-00007.0000 28181 OLD 41 RD BONITA SPRINGS FL 34135	PARL IN GL 3 S OF BONITA BEACH RD + ELY OF OLD 41 AS DESC OR 3320 PG 1204	9
BONITA-FT MYERS CORP 401 NW 38TH CT MIAMI FL 33126	02-48-25-B1-00008.0000 28191 OLD 41 RD BONITA SPRINGS FL 34135	A PARL OF LAND IN G L 3 SWLY OF U S 41 AS DESC IN OR 279 PG 18	10
MEDITERRA COMMUNITY ASSN INC 15735 CORSO MEDITERRA CIR NAPLES FL 34110	02-48-25-B1-00011.15CE ACCESS UNDETERMINED BONITA SPRINGS FL	PORT OF PARL DESC IN OR 1575 PG 526 + OR 2969 PG 2810 LYING N + E OF CONSV AREA 4B LESS OR 3492 PG 3551 + OR 3742 PG 917 + INST#2007000008816 + 2009000329735 + LESS SUBS + CONDO	13
SEMINOLE GULF RAILWAY L P 4110 CENTER POINTE DR STE 207 FORT MYERS FL 33916	02-48-25-B1-00013.0000 RAILROAD R W BONITA SPRINGS FL 34135	STRIP OF LAND RUNNING SWLY ACROSS W 1/2 SEC FOR RR R/W.	14
BONITA-FT MYERS CORP 401 NW 38TH CT MIAMI FL 33126	02-48-25-B1-00014.0000 28251 OLD 41 RD BONITA SPRINGS FL 34135	THE N 100 FT OF N 1/2 OF SE 1/4 OF NW 1/4 LYING E OF US 41 R/W ALSO THE E 66	15
BONITA BUSINESS PARK ASSN 2338 IMMOKALEE RD NAPLES FL 34110	02-48-25-B1-00300.00CE BONITA BUSINESS PARK C/E BONITA SPRINGS FL	BONITA BUSINESS PARK DESC OR 3411/4684 + OR 3488/316 + OR 3564 PG 3730 OR 3389 PG 4620 COMMON ELEMENTS	16
MED-MAR LLC 1 CENTRAL PARK WEST # 34G NEW YORK NY 10023	02-48-25-B1-00700.0130 29000 MARCELLO WAY NAPLES FL 34110	MEDITERRA PARCEL 114 PB 69 PGS 90-92 LOT 13	17
PEDRA CHRISTI M TR 29010 MARCELLO WAY NAPLES FL 34110	02-48-25-B1-00700.0140 29010 MARCELLO WAY NAPLES FL 34110	MEDITERRA PARCEL 114 PB 69 PGS 90-92 LOT 14	18
JAMIESON MARK T + JOANN 1050 BORGHESE LANE # 1506 NAPLES FL 34114	02-48-25-B1-00700.0150 29020 MARCELLO WAY NAPLES FL 34110	MEDITERRA PARCEL 114 PB 69 PGS 90-92 LOT 15	19
MARBELLA AT SPANISH WELLS COMPASS MANAGEMENT GROUP 4851 TAMAMI TRAIL N STE 400 NAPLES FL 34103	02-48-25-B1-0150B.10CE MARBELLA @ SPANISH WELLS C/E BONITA SPRINGS FL	MARBELLA AT SPANISH WELLS PB 75 PGS 19-29 TRACT B-1 LESS OR 4807 PG 2175 + SUBD	20
MARBELLA AT SPANISH WELLS FAMILY PROPERTY SERVICES INC 1330 RAIL HEAD BLVD STE 4 NAPLES FL 34110	02-48-25-B1-0150E.04CE MARBELLA @ SPANISH WELLS C/E BONITA SPRINGS FL	MARBELLA AT SPANISH WELLS PB 75 PGS 19-29 TRACT F-4	21
MARBELLA AT SPANISH WELLS FAMILY PROPERTY SERVICES INC 8359 BEACON BLVD STE 313 FORT MYERS FL 33907	02-48-25-B1-0150L.01CE SUBMERGED BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS PB 75 PGS 19-29 TRACT L-1	22
MARBELLA AT SPANISH WELLS III BENSONS INC 12650 WHITEHALL DR FORT MYERS FL 33907	02-48-25-B1-02600.00CE MARBELLA @ SPANISH WELLS III C/E BONITA SPRINGS FL	MARBELLA AT SPANISH WELLS III DESC IN INST#2006-158772 + #2006-180617 + #2006-160745 + 197628 + 197629 + 197630 + 160751 + 229125 + 239192 + 239180 + 239181 + 280997 + 2007-19973 + 19974 + 56700 COMMON ELEM	23

CONSTITUTION PLAZA KEB MANAGEMENT VERN SMITH 6017 PINE RIDGE RD STE 262 NAPLES FL 34119	02-48-25-B1-16000.00CE CONSTITUTION PLAZA C/E BONITA SPRINGS FL	PARCEL LYING S OF A RD RECORDED IN OR 414 PG 178 - W OF SR 887 + E OF ACL RAILROAD R/W AS DESC IN OR 4332 PG 698 + OR 4556 PG 3341 + 2005-55014 + 2005-18988 + 2006-148052 COMMON ELEMENTS	24
CAUSEWAY COMMERCE PARK CONDO A 3375 PINE RIDGE RD STE 206 NAPLES FL 34109	02-48-25-B1-28000.00CE ACCESS UNDETERMINED BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE PARK LAND CONDO AS DESC IN INST# 2018-122132 COMMON ELEMENTS	25
BONITA-FT MYERS CORP 401 NW 38TH CT MIAMI FL 33126	02-48-25-B2-00009.0000 10601 BONITA BEACH RD SE BONITA SPRINGS FL 34135	W 1/2 OF NE 1/4 LESS RD R/W FOR BONITA BCH + RD R/W DESC IN OR 2099 PG 4758 + PG 4761 + RD R/W DESC IN INST#2008000318009	26
MEDITERRA NORTH CDD WRATHELL HUNT & ASSOCIATES LLC 2300 GLADES RD STE 410W BOCA RATON FL 33431	02-48-25-B3-00011.0080 MEDITERRA C/E NAPLES FL	PARCEL LYING IN SOUTH 3/4 OF SECTION DESC OR 3492/3551 CONSERVATION AREA 4B	27
MEDITERRA NORTH CDD WRATHELL HUNT & ASSOCIATES LLC 2300 GLADES RD STE 410W BOCA RATON FL 33431	02-48-25-B4-0070C.0000 MEDITERRA C/E NAPLES FL 34110	MEDITERRA PARCEL 114 PB 69 PGS 90-92 TRACT C	28
MEDITERRA COMMUNITY ASSN INC 15735 CORSO MEDITERRA CIR NAPLES FL 34110	02-48-25-B4-0070R.00CE RIGHT OF WAY BONITA SPRINGS FL	MEDITERRA PARCEL 114 PB 69 PGS 90-92 TRACT R	29
S+R PROPERTIES OF FLORIDA LLC 11170 BONITA BEACH RD SE BONITA SPRINGS FL 34135	02-48-25-B1-00301.0101 28190 OLD 41 RD #101 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3488 PG 316 PH 2 BLDG 1 UT 101	30
S+R PROPERTIES OF FLORIDA LLC 11170 BONITA BEACH RD SE BONITA SPRINGS FL 34135	02-48-25-B1-00301.0102 28190 OLD 41 RD #102 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3488 PG 316 PH 2 BLDG 1 UNIT 102	30
S+R PROPERTIES OF FLORIDA LLC 11170 BONITA BEACH RD SE BONITA SPRINGS FL 34135	02-48-25-B1-00301.0103 28190 OLD 41 RD #103 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3488 PG 316 PH 2 BLDG 1 UT 103	30
ALL FIRESHIELD AND INSULATION 28190 OLD 41 RD UNIT 104 BONITA SPRINGS FL 34135	02-48-25-B1-00301.0104 28190 OLD 41 RD #104 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3488 PG 316 PH 2 BLDG 1 UT 104	30
CARNEY LANCE M + 5891 GOLDEN OAKS LN NAPLES FL 34119	02-48-25-B1-00302.0201 28200 OLD 41 RD #201 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 201	31
TMC CONNORS LLC 25272 PABILLION DR BONITA SPRINGS FL 34135	02-48-25-B1-00302.0202 28200 OLD 41 RD #202 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 202	31
MY BONITA LLC 1101 LAS PALMAS DR SANTA BARBARA CA 93110	02-48-25-B1-00302.0203 28200 OLD 41 RD #203 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 203	31
ROOSA LINDA C TR 255 BAREFOOT BEACH BLVD # 204 BONITA SPRINGS FL 34134	02-48-25-B1-00302.0204 28200 OLD 41 RD #204 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 204	31
S + R PROPERTIES OF FL LLC DAN K ROOSA 11170 BONITA BEACH RD SE BONITA SPRINGS FL 34135	02-48-25-B1-00302.0205 28200 OLD 41 RD #205 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 205	31
S + R PROPERTIES OF FL LLC DAN K ROOSA 11170 BONITA BEACH RD SE BONITA SPRINGS FL 34135	02-48-25-B1-00302.0206 28200 OLD 41 RD #206 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 206	31
DUIARDIN RICK 6139 ISLAND PARK CT FORT MYERS FL 33908	02-48-25-B1-00302.0207 28200 OLD 41 RD #207 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 207	31
MORGAN DOUGLAS ENTERPRISES LC 2786 OLDE CYPRESS DR NAPLES FL 34119	02-48-25-B1-00302.0208 28200 OLD 41 RD #208 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 208	31
SRC INVESTMENTS OF 28200 OLD 41 RD STE 209 BONITA SPRINGS FL 34135	02-48-25-B1-00302.0209 28200 OLD 41 RD #209 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 209	31
SRC INVESTMENTS OF 28200 OLD 41 RD STE 209 BONITA SPRINGS FL 34135	02-48-25-B1-00302.0210 28200 OLD 41 RD #210 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 210	31
MANGROVE STORAGE LLC 2575 NORTHBROOKE PLAZA DR #300 NAPLES FL 34119	02-48-25-B1-00303.0301 28210 OLD 41 RD #301 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 301	32
MANGROVE STORAGE LLC 2575 NORTHBROOKE PLAZA DR #300 NAPLES FL 34119	02-48-25-B1-00303.0302 28210 OLD 41 RD #302 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 302	32
TUTTLE AGENCY SOUTH LLC 28210 OLD 41 RD UNIT 303 BONITA SPRINGS FL 34135	02-48-25-B1-00303.0303 28210 OLD 41 RD #303 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 303	32
GSP HOLDINGS LLC UNIT 202 6270 HUNTINGTON LAKES CIR NAPLES FL 34119	02-48-25-B1-00303.0304 28210 OLD 41 RD #304 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 304	32
GSP HOLDINGS LLC UNIT 202 6270 HUNTINGTON LAKES CIR NAPLES FL 34119	02-48-25-B1-00303.0305 28210 OLD 41 RD #305 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 305	32
BROOKFORD GROUP LLC 10834 EST CORTILE COURT NAPLES FL 34110	02-48-25-B1-00303.0306 28210 OLD 41 RD #306 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 306	32
CARNEY LANCE M + BEVERLY J 5891 GOLDEN OAKS LN NAPLES FL 34119	02-48-25-B1-00303.0307 28210 OLD 41 RD #307 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 307	32

FAUCONNEAU GUY + KITT 10089 MAGNOLIA BEND ESTERO FL 34135	02-48-25-B1-00303.0308 28210 OLD 41 RD #308 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 308	32
JAYDE COURTNEY LLC 28730 DIAMOND DR #202 BONITA SPRINGS FL 34134	02-48-25-B1-00303.0309 28210 OLD 41 RD #309 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 309	32
DM PHOTO LLC 28210 OLD 41 RD UNIT 310 BONITA SPRINGS FL 34135	02-48-25-B1-00303.0310 28210 OLD 41 RD #310 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 310	32
VOSS KENNETH C + PHYLLIS J 26430 SUMMER GREENS DR BONITA SPRINGS FL 34135	02-48-25-B1-00303.0311 28210 OLD 41 RD #311 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 311	32
MCWILLIAMS EAMON + KIMBERLY 240 25TH ST SW NAPLES FL 34117	02-48-25-B1-00304.0401 28220 OLD 41 RD #401 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 401	33
JMP OF SOUTHWEST FLORIDA INC 3821 BONITA BEACH RD BONITA SPRINGS FL 34134	02-48-25-B1-00304.0402 28220 OLD 41 RD #402 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 402	33
BARBERA DONALD + CYNTHIA 25420 STILLWELL PKWY BONITA SPRINGS FL 34135	02-48-25-B1-00304.0403 28220 OLD 41 RD #403 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 403	33
TMC CONNORS LLC 25272 PAVILLION DR BONITA SPRINGS FL 34135	02-48-25-B1-00304.0404 28220 OLD 41 RD #404 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 404	33
SALAS MICHAEL A + MARGARET L 10929 CHILDERS ST BONITA SPRINGS FL 34135	02-48-25-B1-00304.0405 28220 OLD 41 RD #405 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 405	33
SALAS MICHAEL A + MARGARET L 10929 CHILDERS ST BONITA SPRINGS FL 34135	02-48-25-B1-00304.0406 28220 OLD 41 RD #406 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 406	33
SALAS MICHAEL A + MARGARET L 10929 CHILDERS ST BONITA SPRINGS FL 34135	02-48-25-B1-00304.0407 28220 OLD 41 RD #407 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 407	33
AVELLAN TOMAS + MARLENE TR 28241 LISBON CT #3511 BONITA SPRINGS FL 34135	02-48-25-B1-02635.3511 28241 LISBON CT #3511 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2006-160617 PH 10 BLDG 35 UNIT 3511	34
TETRAULT JOHN E + LISA A 2220 E COUNTY ROAD 1200 N EATON IN 47338	02-48-25-B1-02635.3512 28241 LISBON CT #3512 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2006-160617 PH 10 BLDG 35 UNIT 3512	34
DEWOLFE PEREZ M III + 4 FOUNTAIN INN LANE MARBLEHEAD MA 01945	02-48-25-B1-02635.3521 28241 LISBON CT #3521 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2006-160617 PH 10 BLDG 35 UNIT 3521	34
LONGO PAUL E 4 MIZZEN LANE BUZZARDS BAY MA 02532	02-48-25-B1-02635.3522 28241 LISBON CT #3522 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2006-160617 PH 10 BLDG 35 UNIT 3522	34

LONGO PAUL E 4 MIZZEN LANE BUZZARDS BAY MA 02532	02-48-25-B1-02635.3522 28241 LISBON CT #3522 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2006-160617 PH 10 BLDG 35 UNIT 3522	34
SEXTON CHARLES DAVID 9601 SPANISH MOSS WAY #3611 BONITA SPRINGS FL 34135	02-48-25-B1-02636.3611 9601 SPANISH MOSS WAY #3611 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3611	35
CUNNINGHAM CAROL A 9601 SPANISH MOSS WAY #3612 BONITA SPRINGS FL 34135	02-48-25-B1-02636.3612 9601 SPANISH MOSS WAY #3612 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3612	35
ENTRUST IRA SW FLORIDA LLC JAMES J HOGAN 2501 AUGUSTA DR NAPLES FL 34109	02-48-25-B1-02636.3613 9601 SPANISH MOSS WAY #3613 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3613	35
ZAMBRZCKI CASIMIRA S & 23 ORCHARD ST SOUTH AMBOY NJ 08879	02-48-25-B1-02636.3614 9601 SPANISH MOSS WAY #3614 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3614	35
TYTLA MILAN + JOCELYN 17 CHEYENNE DR SCARBOROUGH ON M1J 2Y5 CANADA	02-48-25-B1-02636.3615 9601 SPANISH MOSS WAY #3615 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3615	35
WOODS TIMOTHY P TR 3025 JORDON GROVE WEST DES MOINES IA 50265	02-48-25-B1-02636.3616 9601 SPANISH MOSS WAY #3616 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3616	35
BUTLER WILLIAM F + DIANE H 9601 SPANISH MOSS WAY #3621 BONITA SPRINGS FL 34135	02-48-25-B1-02636.3621 9601 SPANISH MOSS WAY #3621 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3621	35
ZOOK DAVID D + MARY JEAN 28536 BURANO DR BONITA SPRINGS FL 34135	02-48-25-B1-02636.3622 9601 SPANISH MOSS WAY #3622 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3622	35
BENO BETI THOMA BENO 14 REDWOOD RD NEW HYDE PARK NY 11040	02-48-25-B1-02636.3623 9601 SPANISH MOSS WAY #3623 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3623	35
ALAM ALI 8851 COLONNADES CT W # 117 BONITA SPRINGS FL 34135	02-48-25-B1-02636.3624 9601 SPANISH MOSS WAY #3624 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3624	35
BURKE LEANNE D 9601 SPANISH MOSS WAY # 3625 BONITA SPRINGS FL 34135	02-48-25-B1-02636.3625 9601 SPANISH MOSS WAY #3625 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3625	35
DJW ENTERPRISES LLC 422 WHITESTONE FARM DR CHESTERFIELD MO 63017	02-48-25-B1-02636.3626 9601 SPANISH MOSS WAY #3626 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3626	35
MCCABE JAMES E 9601 SPANISH MOSS WAY #3631 BONITA SPRINGS FL 34135	02-48-25-B1-02636.3631 9601 SPANISH MOSS WAY #3631 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3631	35
TEREZI ROMEO 2135 IMPERIAL CIR NAPLES FL 34110	02-48-25-B1-02636.3632 9601 SPANISH MOSS WAY #3632 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3632	35

FITZGERALD EDWARD F JR & 83 PROPOSE RD SHERLEY NY 11967	02-48-25-B1-02636.3633 9601 SPANISH MOSS WAY #3633 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3633	35
PAULUS JAMES 1838 SAINT MARGARETS RD ANNAPOLIS MD 21409	02-48-25-B1-02636.3634 9601 SPANISH MOSS WAY #3634 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3634	35
LEIBMAN ALAIN + 119 N 7TH AVE HIGHLAND PARK NJ 08904	02-48-25-B1-02637.3711 9611 SPANISH MOSS WAY #3711 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3711	36
GERARD G THERRIEN TRUST + PO BOX 207 HAMPTON NH 03843	02-48-25-B1-02637.3712 9611 SPANISH MOSS WAY #3712 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3712	36
OAKES ROBERT D + NANCY J 1488 VALLEY VIEW RD JERSEY SHORE PA 17740	02-48-25-B1-02637.3713 9611 SPANISH MOSS WAY #3713 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3713	36
LANE SUZANNE S 9611 SPANISH MOSS WAY #3714 BONITA SPRINGS FL 34135	02-48-25-B1-02637.3714 9611 SPANISH MOSS WAY #3714 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3714	36
TWEED LINDA A 9611 SPANISH MOSS WAY #3715 BONITA SPRINGS FL 34135	02-48-25-B1-02637.3715 9611 SPANISH MOSS WAY #3715 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3715	36
KAROLAK DENNIS J + ANGELA M 1127 HICKORY AVE ROYAL OAK MI 48073	02-48-25-B1-02637.3716 9611 SPANISH MOSS WAY #3716 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3716	36
MALY MICHAEL A + NANCY E 20552 ALPINE DR LAWRENCEBURG IN 47025	02-48-25-B1-02637.3721 9611 SPANISH MOSS WAY #3721 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3721	36
DANIELS ELLEN R + GREGORY L PO BOX 514 ALBION RI 02802	02-48-25-B1-02637.3722 9611 SPANISH MOSS WAY #3722 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3722	36
GREASER FRANK B + GWENDOLLYN M 2714 PENN AVE HATFIELD PA 19440	02-48-25-B1-02637.3723 9611 SPANISH MOSS WAY #3723 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3723	36
DUNDOVICH MARK J + MARY C TR 3820 BUNKERHILL DR ALGONQUIN IL 60102	02-48-25-B1-02637.3724 9611 SPANISH MOSS WAY #3724 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3724	36
MORAWCZYNSKI BOGUSLOW + BOZENA 10 WESLOCK CRESSCENT ATUORA ON L4G 7Y9 CANADA	02-48-25-B1-02637.3725 9611 SPANISH MOSS WAY #3725 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3725	36
TROUT ANDREW E TR 2500 HIDDEN MEADOW LN BALLWIN MO 63021	02-48-25-B1-02637.3726 9611 SPANISH MOSS WAY #3726 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3726	36

PANCIROLI JAMES + MADELEINE 9611 SPANISH MOSS WAY #3731 BONITA SPRINGS FL 34135	02-48-25-B1-02637.3731 9611 SPANISH MOSS WAY #3731 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3731	36
ROZELL JOHN J + JEAN M 9611 SPANISH MOSS WAY #3732 BONITA SPRINGS FL 34135	02-48-25-B1-02637.3732 9611 SPANISH MOSS WAY #3732 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3732	36
GIIKA ANILA + VASKEN 9611 SPANISH MOSS WAY #3733 BONITA SPRINGS FL 34135	02-48-25-B1-02637.3733 9611 SPANISH MOSS WAY #3733 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3733	36
VAN LEUR WILLIAM B + 1321 PARKVIEW PL BRANDON SD 57005	02-48-25-B1-02637.3734 9611 SPANISH MOSS WAY #3734 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3734	36
JOB HOLDINGS 2 LLC 27031 DRIFTWOOD DR BONITA SPRINGS FL 34135	02-48-25-B1-16300.0001 28400 OLD 41 RD #1 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 1	37
JOB HOLDINGS 2 LLC 27031 DRIFTWOOD DR BONITA SPRINGS FL 34135	02-48-25-B1-16300.0002 28400 OLD 41 RD #2 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 2	37
JOB HOLDINGS 2 LLC 27031 DRIFTWOOD DR BONITA SPRINGS FL 34135	02-48-25-B1-16300.0003 28400 OLD 41 RD #3 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 3	37
JOB HOLDINGS 2 LLC 27031 DRIFTWOOD DR BONITA SPRINGS FL 34135	02-48-25-B1-16300.0004 28400 OLD 41 RD #4 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 4	37
LALOO REAL ESTATE HOLDINGS 1 L 27223 BAREFOOT LN BONITA SPRINGS FL 34135	02-48-25-B1-16300.0005 28400 OLD 41 RD #5 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 5	37
LALOO REAL ESTATE HOLDINGS 1 L 27031 DRIFTWOOD DR BONITA SPRINGS FL 34135	02-48-25-B1-16300.0006 28400 OLD 41 RD #6 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 6	37
TGC HOLDINGS LLC 4535 DOMESTIC AVE NAPLES FL 34104	02-48-25-B1-16300.0007 28400 OLD 41 RD #7 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 7	37
RAYN JAY LLC 12851 BAY TIMBER CT FORT MYERS FL 33913	02-48-25-B1-16300.0008 28400 OLD 41 RD #8 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 8	37
COUNTRY CLUB TECH LLC 24230 MELAINE LANE BONITA SPRINGS FL 34135	02-48-25-B1-16300.0009 28400 OLD 41 RD #9 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 9	37
LAGRATA REAL ESTATE HOLDINGS 568 ROMA CT NAPLES FL 34110	02-48-25-B1-16300.0010 28400 OLD 41 RD #10 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 10	37
KEITHLEY DAVID C + DIANA 27566 IMPERIAL RIVER RD BONITA SPRINGS FL 34134	02-48-25-B1-16300.0011 28400 OLD 41 RD #11 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 11	37

DOMINGUEZ RICARDO 28380 OLD 41 RD #1 BONITA SPRINGS FL 34135	02-48-25-B1-16400.0001 28380 OLD 41 RD #1 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 1	38
4PL MANAGEMENT LLC 28380 OLD 41 RD STE 2 BONITA SPRINGS FL 34135	02-48-25-B1-16400.0002 28380 OLD 41 RD #2 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 2	38
PILOTZ MICHAEL C TR 28040 CASTELLANO WAY NAPLES FL 34110	02-48-25-B1-16400.0003 28380 OLD 41 RD #3 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 3	38
V-XII LLC 17046 PORTA VECCHIO WAY # 101 NAPLES FL 34110	02-48-25-B1-16400.0004 28380 OLD 41 RD #4 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 4	38
V-III LLC 17046 PORTA VECCHIO WAY # 101 NAPLES FL 34110	02-48-25-B1-16400.0005 28380 OLD 41 RD #5 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 5	38
COX BONNIE LYNN TR 1794 ROSE CT WHEATON IL 60189	02-48-25-B1-16400.0007 28380 OLD 41 RD #7 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 7	38
OLD 41 VETERINARY EMERGENCY 28380 OLD 41 RD #8 BONITA SPRINGS FL 34135	02-48-25-B1-16400.0008 28380 OLD 41 RD #8 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 8	38
MERRIMAC HOLDINGS LLC 1528 BRIDIE DR NAPLES FL 34120	02-48-25-B1-16400.0009 28380 OLD 41 RD #9 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 9	38
GOLDMAN ROBERT & JACOBA R 14693 RESERVE LN NAPLES FL 34109	02-48-25-B1-16400.0010 28380 OLD 41 RD #10 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 10	38
V-XI LLC 17046 PORTA VECCHIO WAY # 101 NAPLES FL 34110	02-48-25-B1-16400.0011 28380 OLD 41 RD #11 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 11	38
BEYS A TR 13821 LAKE MAHOGANY BLVD #3821 FORT MYERS FL 33907	02-48-25-B1-16400.006A 28380 OLD 41 RD #6A BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 +2006-148052 BLDG 400 UNIT 6A	38
TUSCANY DEVELOPERS LLC N3108 HWY 67 LAKE GENEVA WI 53147	02-48-25-B1-16400.006B 28380 OLD 41 RD #6B BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 + 2006-148052 BLDG 400 UNIT 6B	38
SNYDER REAL ESTATE HOLDINGS LL 3284 ATLANTIC CIRCLE NAPLES FL 34119	02-48-25-B1-16500.0001 28360 OLD 41 RD #1 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 1	39
MJ LLC 541 ROMA CT NAPLES FL 34110	02-48-25-B1-16500.0002 28360 OLD 41 RD #2 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 2	39
WEEGAR JON SCOTT & LISA A 28968 SETON CT BONITA SPRINGS FL 34134	02-48-25-B1-16500.0003 28360 OLD 41 RD #3 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 3	39
SCREENIT INC 2736 IMPERIAL OAKS CIRCLE BONITA SPRINGS FL 34135	02-48-25-B1-16500.0004 28360 OLD 41 RD #4 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 4	39
PTS 6 LLC 3368 WOODS EDGE CIR #101 BONITA SPRINGS FL 34134	02-48-25-B1-16500.0005 28360 OLD 41 RD #5 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 5	39
PILTS LLC TR SFLP PILTSLLC P O BOX 2568 BONITA SPRINGS FL 34133	02-48-25-B1-16500.0006 28360 OLD 41 RD #6 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 6	39
ALEXANDER BUILDING CORPORATION SCOTT ALEXANDER 41 HIGH COUNTRY RD WEAVERVILLE NC 28787	02-48-25-B1-16500.0007 28360 OLD 41 RD #7 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 7	39
ALBENGA LOUIS P & LINDA M 16125 CAMDEN LAKES DR NAPLES FL 34110	02-48-25-B1-16500.0008 28360 OLD 41 RD #8 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 8	39
3601 HANSON ST LLC UNIT 101 17046 PORTA VECCHIO WAY NAPLES FL 34110	02-48-25-B1-16500.0009 28360 OLD 41 RD #9 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 9	39
SA CONDOREALTY LLC 4393 AURORA ST NAPLES FL 34119	02-48-25-B1-16500.0010 28360 OLD 41 RD #10 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 10	39
SA CONDOREALTY LLC 15513 SUMMIT PLACE CIR NAPLES FL 34119	02-48-25-B1-16500.0011 28360 OLD 41 RD #11 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 11	39
CAUSEWAY COMMERCE PARK LLC 3375 PINE RIDGE RD STE 206 NAPLES FL 34109	02-48-25-B1-28000.0001 28292 INDUSTRIAL RD BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE PARK LAND CONDO AS DESC IN INST# 2018-122132 UNIT 1	40
ULTIMATE DEVELOPMENTS LLC 7326 ACORN WAY NAPLES FL 34119	02-48-25-B1-28000.0002 28282 INDUSTRIAL RD BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE PARK LAND CONDO AS DESC IN INST# 2018-122132 UNIT 2	41
CAUSEWAY COMMERCE PARK LLC 3375 PINE RIDGE RD STE 206 NAPLES FL 34109	02-48-25-B1-28000.0003 28290 OLD 41 RD BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE PARK LAND CONDO AS DESC IN INST# 2018-122132 UNIT 3	42
CAUSEWAY COMMERCE PARK LLC 3375 PINE RIDGE RD STE 206 NAPLES FL 34109	02-48-25-B1-29000.00101 28280 OLD 41 RD #M1 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-1	43
CAUSEWAY COMMERCE PARK LLC 3375 PINE RIDGE RD STE 206 NAPLES FL 34109	02-48-25-B1-29000.00102 28280 OLD 41 RD #M2 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-2	43

PHIL 413 LLC 27088 DEL LN BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M03 28280 OLD 41 RD #M3 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-3	43
CKV PROPERTY M 4 LLC 28280 OLD 41 RD #M4 BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M04 28280 OLD 41 RD #M4 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-4	43
HIGH ROAD HOLDINGS LLC 360 WARWICK WAY NAPLES FL 34110	02-48-25-B1-29000.0M05 28280 OLD 41 RD #M5 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-5	43
TRULY HANDY LLC 28280 OLD 41 RD UNIT 6 BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M06 28280 OLD 41 RD #M6 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-6	43
TRULY HANDY LLC 28280 OLD 41 RD UNIT 7 BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M07 28280 OLD 41 RD #M7 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-7	43
CAUSEWAY COMMERCE PARK LLC 3375 PINE RIDGE RD STE 206 NAPLES FL 34109	02-48-25-B1-29000.0M08 28280 OLD 41 RD #M8 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-8	43
CRU WINE CLUB LLC 9010 STRADA STELL CT STE 207 NAPLES FL 34109	02-48-25-B1-29000.0M09 28280 OLD 41 RD #M9 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-9	43
ARTURO CORREA STUDIO LLC 28280 OLD 41 RD #M10 BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M10 28280 OLD 41 RD #M10 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-10	43
GOAT INDUSTRIES LLC 27275 PATRICK ST BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M11 28280 OLD 41 RD #M11 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-11	43
CASSATA THOMAS A 8805 TAMIAMI TRL N BOX 134 NAPLES FL 34108	02-48-25-B1-29000.0M12 28280 OLD 41 RD #M12 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-12	43
BRUCE HOGUE LLC 27771 TENNESSEE ST BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M14 28280 OLD 41 RD #M14 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-14	43
SNOVELROBERTSON REAL ESTATE LL 792 ASHBURTON DR NAPLES FL 34110	02-48-25-B1-29000.0M15 28280 OLD 41 RD #M15 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-15	43
SUNSTREAM HOTELS & RESORTS LLC 6630 ESTERO BLVD FORT MYERS BEACH FL 33931	02-48-25-B1-29000.0M16 28280 OLD 41 RD #M16 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-16	43
MY FLORIDA INSURANCE INC 14700 TAMIAMI TRAIL N STE 8 NAPLES FL 34110	02-48-25-B1-29000.0M17 28280 OLD 41 RD #M17 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-17	43
28280 OLD 41 M18-M19 LLC 28280 OLD 41 RD #M18 BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M18 28280 OLD 41 RD #M18 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-18	43
28280 OLD 41 M18-M19 LLC 28280 OLD 41 RD #M18 BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M19 28280 OLD 41 RD #M19 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-19	43
CAUSEWAY #20 HOLDINGS COMPANY 10116 NORTH GOLDEN ELM DR ESTERO FL 33928	02-48-25-B1-29000.0M20 28280 OLD 41 RD #M20 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-20	43
DELIZIOSI LLC 12801 COMMERCE LAKES DR #14 FORT MYERS FL 33913	02-48-25-B1-29000.0M21 28280 OLD 41 RD #M21 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-21	43
RODRIGUEZ CARMEN 134 BURNT PINE DR NAPLES FL 34119	02-48-25-B1-29000.0M22 28280 OLD 41 RD #M22 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-22	43

EXHIBIT IV-B

SURROUNDING OWNERS MAP

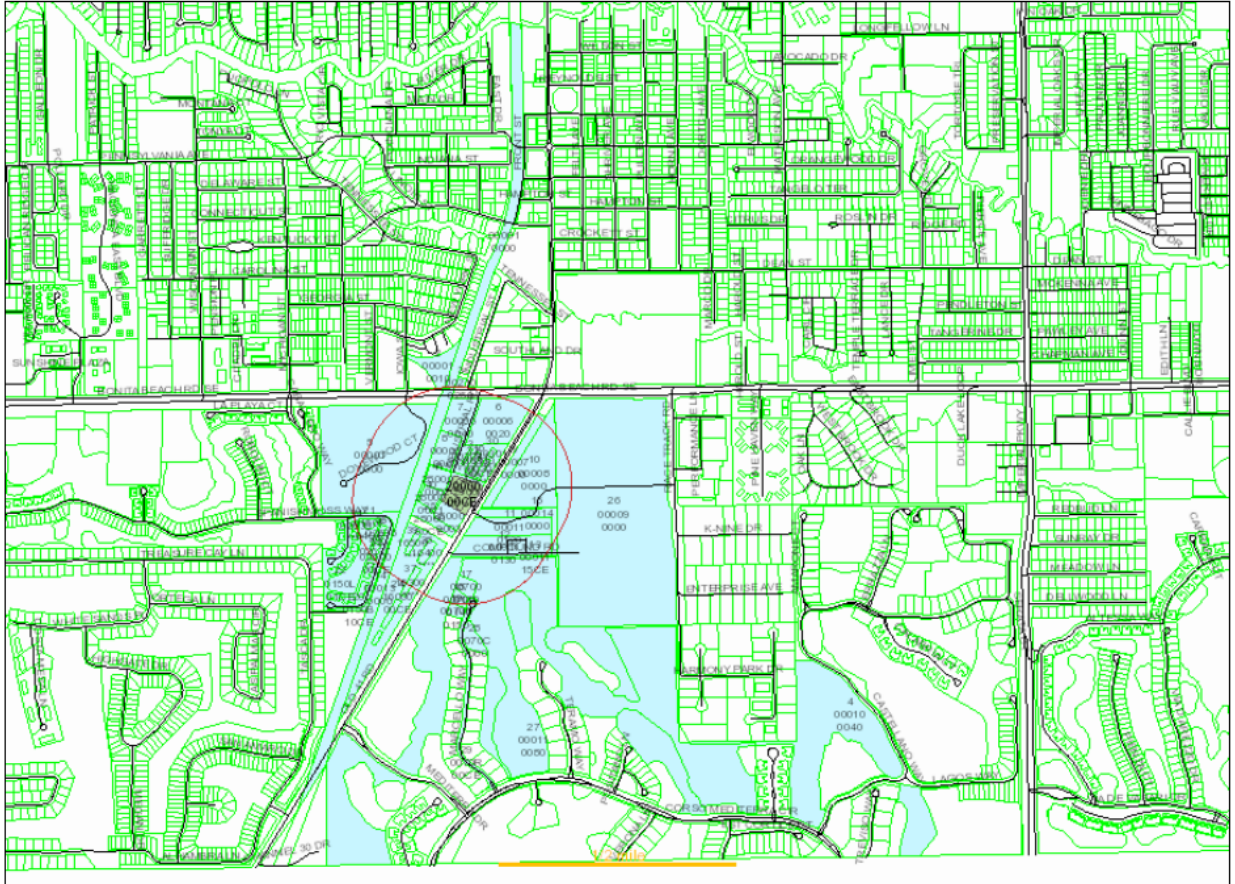


EXHIBIT IV-F

SPECIAL EXCEPTIONS NARRATIVE

D. WHETHER THERE EXIST CHANGED OR CHANGING CONDITIONS THAT MAKE APPROVAL OF THE REQUEST APPROPRIATE

YES, WE BELIEVE THAT THERE EXISTS CHANGES THAT DEFIANTLY MAKE THIS REQUEST APPROPRIATE. THE USE REQUESTED/CARWASH IS THE RESULT OF OUR INTENDED USE-APPLY HIGH TECH CERAMIC COATINGS TO NEW VEHICLES WHICH IS DONE ALL INDOORS. WITH THESE HIGH TECH COATINGS, ONE IS NOT ALLOWED TO UTILIZE A NORMAL CAR WASHING "BRUSHED" SYSTEM. ONE MUST EITHER HAND WASH OR USE A TOUCHLESS CAR WASH. AGAIN THIS IS NOT A PUBLIC CARWASH BUT A BOUTIQUE STYLE FACILITY THAT HAS ALL SERVICES ENCLOSE INSIDE A BUILDING AND NO DRIVE THRU FACILITIES.

E. WHETHER THE REQUEST IS CONSISTENT WITH THE GOALS, OBJECTIVE AND POLICIES OF THE BONITA PLAN

WE HAVE READ THE BONITA PLAN AND WE BELIEVE THAT WE ARE 100% CONSISTENT WITH THE GOALS, OBJECTIVES AND POLICIES AS STATED IN THE DOCUMENT.

F. WHETHER THE REQUEST MEETS OR EXCEEDS ALL PERFORMANCE AND LOCATIONAL STANDARDS SET FORTH FOR THE PURPOSED USE

THE PROPOSED USE IS NOT EXACTLY THE SAME AS THE ONE BEING REQUESTED. THIS IS DUE TO THE NATURE OF THE NEW TECHNOLOGY, THE FACT THAT THIS IS NOT INTENDED FOR THE GENERAL PUBLIC, AND THE FACT THAT IT WILL BE 100% INSIDE. GENERALLY CAR WASHES ARE HIGH VOLUME AND REQUIRE A QUEUING LANE FOR ACCESS. THE SERVICES AS PROPOSED WILL BE LIMITED AND WILL REMAIN INSIDE.

G. WHETHER THE REQUEST WILL PROTECT, CONSERVE OR PRESERVE ENVIRONMENTALLY CRITICAL AREAS AND NATURAL RESOURCES.

AS THIS FACILITY IS ALREADY BUILT, IT WILL NOT IMPACT CRITICAL AND OR ENVIRONMENTAL SENSITIVE AREAS. WE ARE ALSO PROPOSING THE LATEST STATE OF THE ART, SELF-CONTAINED SYSTEMS TO PROTECT THE ENVIRONMENT.

H. WHETHER THE REQUEST WILL BE COMPATIBLE WITH THE EXISTING PLANNED USES.

WE BELIEVE THAT BECAUSE THE USE PART OF THE SPECIAL EXCEPTION ALL USES FOR THIS PROPERTY, THAT IT IS 100 PERCENT COMPATIBLE THE EXISTING AND PLANNED USES. ESPECIALLY THE WAY WE HAVE DESCRIBED IT, AND WHERE IT IS BEING LOCATED.

I. WHETHER THE REQUEST WILL CAUSE DAMAGE, HAZARD, NUISANCE OR OTHER DETRIMENT TO PERSONS OR PROPERTY.

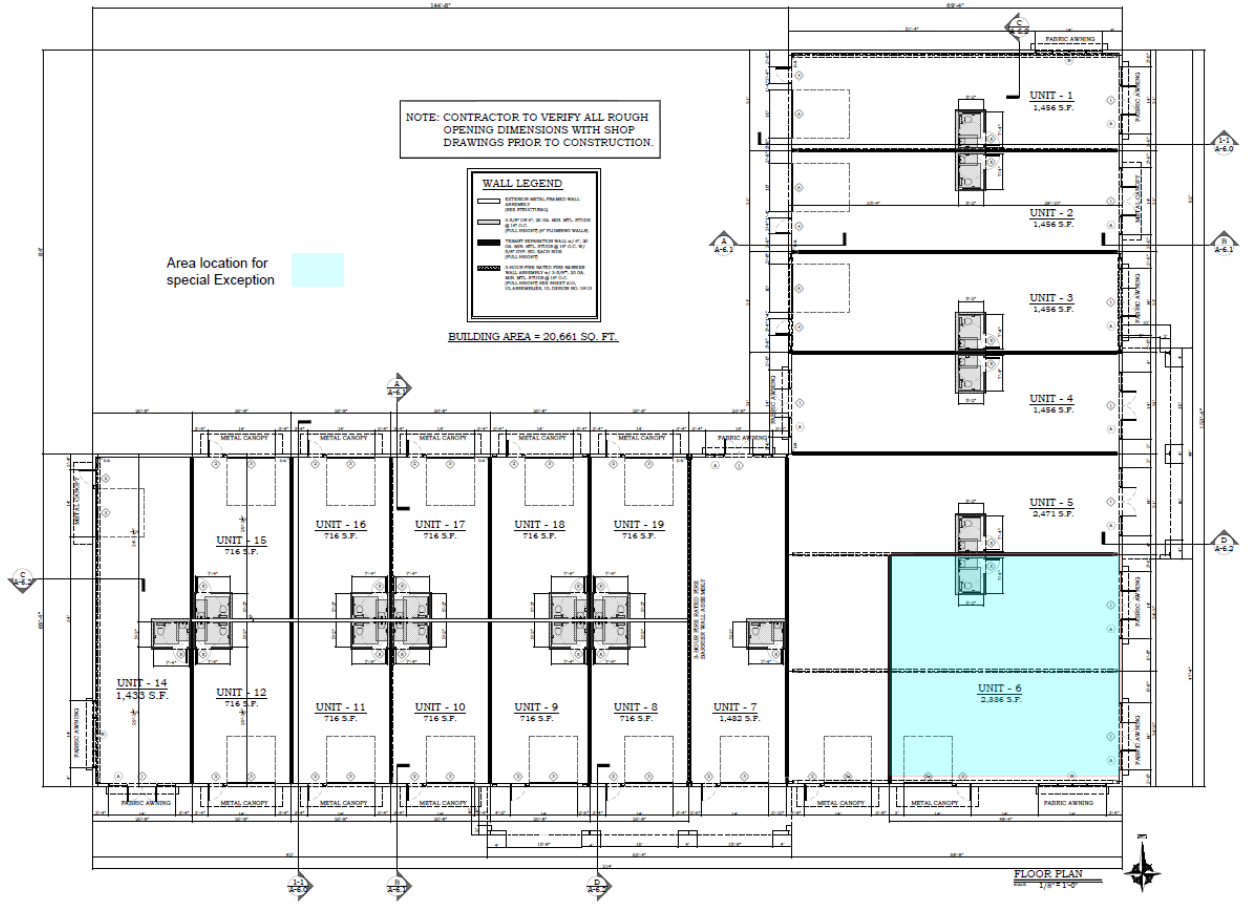
THE REQUEST WILL NOT CAUSE DAMAGE, HAZARD, NUISANCE OR OTHER DETRIMENT TO PERSONS OR PROPERTY.

J. WHETHER A REQUESTED USE WILL BE IN COMPLIANCE WITH ALL GENERAL ZONING PROVISIONS AND SUPPLEMENTAL REGULATIONS PERTAINING TO THE USE AS SET FORTH IN THE LDC CHAPTER 4

THE REQUESTED USE WILL BE IN COMPLIANCE WITH ALL GENERAL ZONING PROVISIONS AND SUPPLEMENTAL REGULATIONS PERTAINING TO THE USE AS SET FORTH IN THE LDC CHAPTER 4

EXHIBIT IV-G

SITE/FLOOR PLAN



- A. THE LOCATION AND CURRENT USE OF ALL EXISTING STRUCTURES ON THE SITE, AS WELL AS THOSE ON ADJACENT PROPERTIES WITHIN ON HUNDRED FEET OF THE PERIMETER BOUNDARIES OF THE SITE
 - PLEASE SEE ATTACHED UNITS AND SITE PLAN
- B. ALL PROPOSES STRUCTURES AND USES PROPOSED ON THE SITE
 - ALL USES ARE PER THE ZONING
- C. ANY EXISTING PUBLIC STREETS, EASEMENTS OR LAND RESERVATIONS WITHIN THE SITE AND THE PROPOSED MEANS OF VEHICULAR ACCESS TO AND FROM THE SITE
 - THIS LOCATION IS FOR A CONDO UNIT

D. A TRAFFIC IMPACT ANALYSIS FOR THE DEVELOPMENT CONSISTENT WITH THE ZONING TRAFFIC IMPACT STATEMENT GUIDELINES

- USE BEING REQUEST IS NO MORE IMPACT THAN THE ZONING

E. PROPOSED FENCING AND SCREENING, IF ANY

- NONE

F. ANY OTHER REASONABLE INFORMATION WHICH MAY BE REQUIRED BY THE DIRECTOR COMMENSURATE WITH THE INTENT AND PURPOSE OF THE REGULATIONS

- ACKNOWLEDGED

Notice of Neighborhood Meeting
28280 Old 41 Road, unit M-8, Bonita Springs, Florida 34135
Proposed Special Exception

NOTICE IS HEREBY GIVEN THAT HIGH ROAD HOLDINGS, LLC/BEN MYERS (applicant) is holding a neighborhood meeting regarding their proposed Special Exception and will answer questions. No formal decision regarding the project will be mad at this meeting.

PUBLIC MEETING DATE/TIME: 5:00 PM Wednesday March 31, 2021
MEETING LOCATION/ADRESS: 28280 Old 41 Road, unit M-8
Bonita Springs, Florida 34135

TO DISCUSS THE FOLLOWING PROJECT:

PROJECT: 28280 Old 41 Road, unit M-8, Bonita Springs, Florida 34135, Special Exception
CASE NUMBER: Pre-Application Meeting
APPLICANT: High Roads Holdings, LLC/Ben Myers
SITE ADDRESS: 28280 Old 41 Road, unit M-8, Bonita Springs, Florida 34135

PROJECT DISTRIPTION

The proposed Special Exception is for a +/- 2500 sf unit within a project known as the Causeway Commerce Park. The Applicant is under contract to buy Unit M-08 Causeway Commerce Park building, a Commercial Condominium according to the Declaration of Condominium thereof recorded in Official Records Instrument no. 20190000766251 of the Public records of Lee County, Florida. Mr. Ben Myers with High Roads Holdings, LLC, a Florida Limited Liability company, intends to use the unit M-08 as a Boutique Vehicular Detail/Ceramic Coating facility with private indoor car washing.

The Causeway Commerce Park has been develop by Causeway Commerce Park, LLC on the former Causeway Lumber Company site. The Zoning for this property allows this use with the requirement of the special exceptions zoning process. Refer to figure A- Project location Map.

The applicant will present the proposed project at the meeting and would like to receive input from the surrounding owners and residents. Please contact Joseph M. McHarris at (239) 948-6688 or Joe@mcharris.com for any questions.

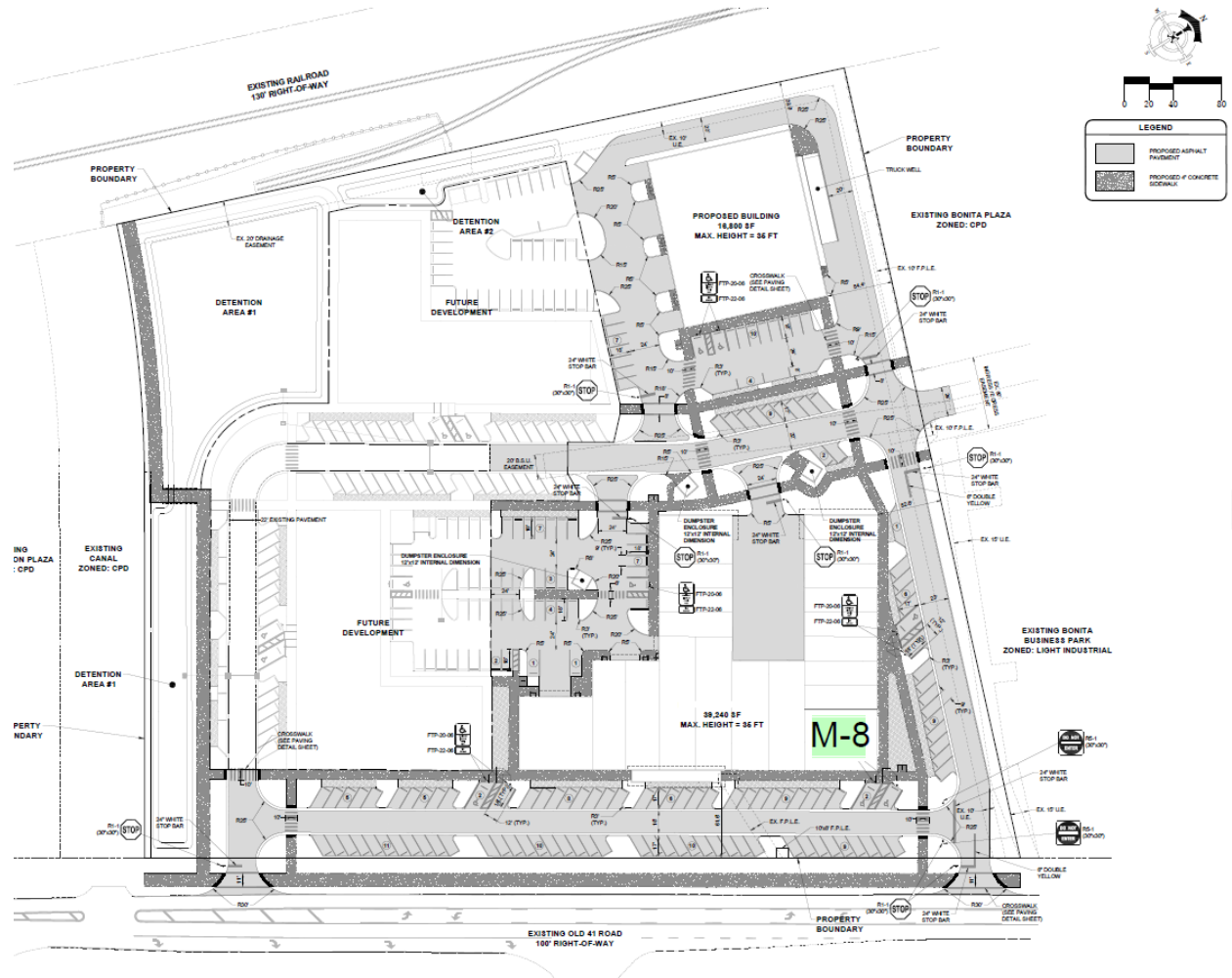


Figure A-Project location Map

AFFIDAVIT OF NOTICE MAILING
(EXHIBIT 16)

AFFIDAVIT OF NOTICE MAILING

PROPERTY ADDRESS: 28280 OLD 41 ROAD, UNIT M-8, BONITA SPRINGS, FLORIDA 34135

BEFORE ME THIS DAY PERSONALLY APPEARED JOSEPH M. MCHARRIS WHO, DULY SWORN DEPOSES AND SAYS:

- 1) HE IS THE APPLICANTS AUTHORIZED AGENT, OF THE REAL PROPERTY LEGALLY DESCRIBED IN EXHIBIT A CONTAINED WITHIN THE PRE-APPLICATION MEETING AND ZONING APPLICATION CASE FOR THE PROPERTY DESCRIBED ABOVE, AND;
- 2) THE ACCOMPANYING PROPERTY OWNERS LIST IS THE BEST OF HIS KNOWLEDGE A COMPLETE AND ACCURATE LIST OF ALL PROPERTY OWNERS' MAILING ADDRESSES DATED NO MORE THAN 90 DAYS PRIOR TO THE PRE-APPLICATION MEETING AT WHICH THE CIRCUMSTANCES BEHIND THE SPECIAL EXCEPTION SHALL BE HEARD. THE LIST OF PROPERTY OWNERS IS BASED ON THE LATEST TAX RECORDS FOR THE SUBJECT PROPERTY AND ALL OTHER PROPERTY WITHIN ON THOUSAND (1,000) FEET OF THE REAL PROPERTY WHOLLY OR IN PART AS DESCRIBED IN EXHIBIT A, AND;
- 3) EACH ENVELOPE INCLUDED THE NOTICE OF NEIGHBORHOOD MEETING AND JOSEPH M. MCHARRIS, 11338 BONITA BEACH ROAD, SUITE 103, BONITA SPRINGS, FLORIDA 34135 AS THE RETURN ADDRESS, AND;
- 4) EACH ENVELOPE BEARS A POSTMARK DATE MARCH 11, 2021, IN COMPLIANCE WITH ALL APPLICABLE LEGAL NOTICE REQUIREMENTS, AND;
- 5) A COPY OF THE SAME WAS SENT ON MARCH 11, 2021 TO THE MANAGER OF THE CITY OF BONITA SPRINGS, FLORIDA.

FURTHER AFFIANT SAYETH NOT.
SIGNATURE OF AFFIANT: _____

[Handwritten Signature]

PRINTED NAME OF AFFIANT: _____

JOE MCHARRIS

SWORN TO AND SUBSCRIBED BEFORE ME THIS 8 DAY OF APRIL 2021

[Handwritten Signature]
SIGNATURE OF NOTARY PUBLIC

STATE OF FLORIDA

PRINT, TYPE, OR STAMP COMMISSIONED NAME OF NOTARY PUBLIC _____

AFFIANT IS PERSONALLY KNOWN TO NOTARY PUBLIC OR AFFIANT PRODUCED IDENTIFICATION _____ AND IF SO, TYPE OF IDENTIFICATION PRODUCED _____

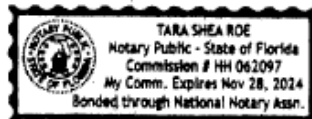


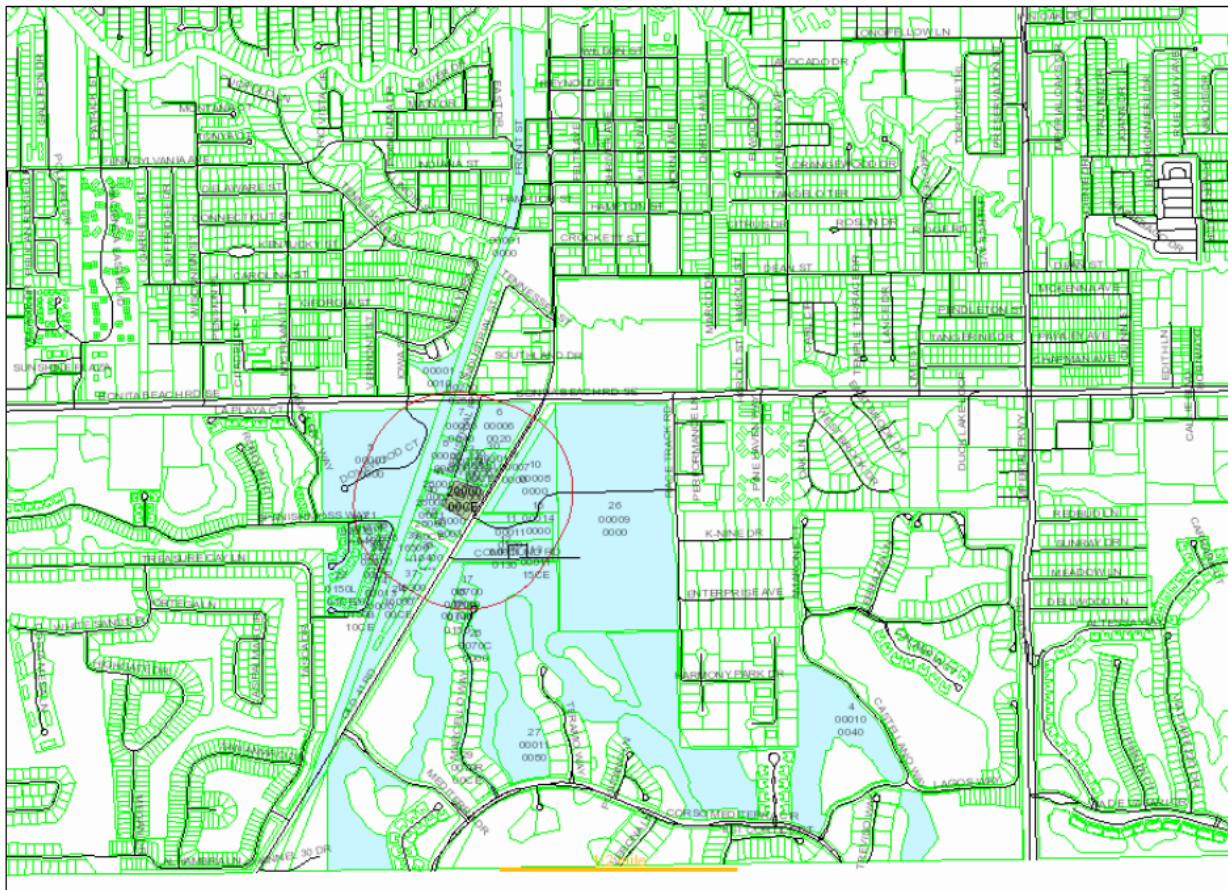
EXHIBIT A

LEGAL DESCRIPTION

UNIT M-8

UNIT M-8 CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM ACCORDING TO THE DECLARATION OF THE CONDOMINIUM THEREOF RECORDED IN THE OFFICIAL RECORDS INSTRUMENT NO. 2019000076625, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

SURROUNDING OWNERS MAP



SURROUNDING PROPERTY OWNERS LIST AND MAILING LABELS

Date of Report: March 04, 2021
 Buffer Distance: feet
 Parcels Affected: 155
 Subject Parcel: **02-48-25-B1-29000.00CE**

[Click here to download the map image, mailing labels \(Avery 5161\) and CSV formatted information.](#)

To change, add or remove subject parcels please change the parcel selection in [GeoView](#)

OWNER NAME AND ADDRESS	STRAP AND LOCATION	LEGAL DESCRIPTION	MAP INDEX
SEMINOLE GULF RAILWAY L P 4110 CENTER POINTE DR STE 207 FORT MYERS FL 33916	35-47-25-B4-00001.0000 RAILROAD R/W BONITA SPRINGS FL 34135	RR R/W OR 343 PG 420 + DB 292 PG 458 + OR 1651 PG 3493 LYING S OF RIVER	1
BRUCE L SCHEINER TRUST + PO BOX 61412 FORT MYERS FL 33906	35-47-25-B4-00001.0010 ACCESS UNDETERMINED BONITA SPRINGS FL	PARL IN SW 1/4 SEC 35 TWP 47 R 25 DESC IN OR 1751 PG 4676	2
VAUGHN RICHARD L - CHERI J 217 WEST ST NAPLES FL 34108	35-47-25-B4-00210.0250 10350 BONITA BEACH RD SE BONITA SPRINGS FL 34135	HEITMANS BONITA SPRINGS BLK 10 PB 6 PG 24 LOTS 25 + 26	3
CLUB AT MEDITERRA INC 15755 CORSO MEDITERRA CIR NAPLES FL 34110	01-48-25-B4-00010.0040 ACCESS UNDETERMINED BONITA SPRINGS FL	MEDITERRA NORTH GOLF COURSE LYING IN SW 1/4 OF SEC 1 + S 1/2 OF SE 1/4 + NW 1/4 OF SE 1/4 + W 1/2 SE OF OLD 41 AS DESC IN INST#2009000329735 + INST#2010000145194	4
NORTHLAND MONTERRA LLC NORTHLAND INVESTMENT CORP 2150 WASHINGTON ST STE 300 NEWTON LOWER FALLS MA 02462	02-48-25-B1-00001.0000 28001-151 DOVEWOOD CT BONITA SPRINGS FL 34135	THE E 1/2 OF NW 1/4 OF NW 1/4 LYING W + N OF THE ACL RR R/W + W 1/2 OF NW 1/4 OF THE NW 1/4 LESS RD R/W	5
QUALITY STATE INVESTMENT LLC BONITA STORAGE INN 8841 W TERRY ST BONITA SPRINGS FL 34135	02-48-25-B1-00006.0020 10347-351 BONITA BEACH RD SE BONITA SPRINGS FL 34135	PAR IN NE 1/4 OF NW 1/4 S OF BONITA BCH RD + WLY OF OLD 41 AS DESC IN OR 3320 PG 1202 + OR 3520 PG 1204	6
RDP PROPERTIES LLC 308 SPIDER LILY LN NAPLES FL 34119	02-48-25-B1-00006.0040 10301 BONITA BEACH RD SE BONITA SPRINGS FL 34135	PARL IN NW1/4 DESC OR 1889 PG 4631 LESS OR 2905 PG 59 + LESS BONITA BEACH RD DESC OR 1996 PG 4546	7
RDP PROPERTIES LLC 308 SPIDER LILY LN NAPLES FL 34119	02-48-25-B1-00006.0060 28110 INDUSTRIAL RD BONITA SPRINGS FL 34135	PARL IN NW1/4 E OF RR ROW DESC OR 2905 PG 59	8
QUALITY STATE INVESTMENT LLC BONITA STORAGE INN 8841 W TERRY ST BONITA SPRINGS FL 34135	02-48-25-B1-00007.0000 28181 OLD 41 RD BONITA SPRINGS FL 34135	PARL IN GL 3 S OF BONITA BEACH RD + ELY OF OLD 41 AS DESC OR 3320 PG 1204	9
BONITA-FT MYERS CORP 401 NW 38TH CT MIAMI FL 33126	02-48-25-B1-00008.0000 28191 OLD 41 RD BONITA SPRINGS FL 34135	A PARL OF LAND IN G L 3 SWLY OF U S 41 AS DESC IN OR 279 PG 18	10
MEDITERRA COMMUNITY ASSN INC 15735 CORSO MEDITERRA CIR NAPLES FL 34110	02-48-25-B1-00011.15CE ACCESS UNDETERMINED BONITA SPRINGS FL	PORT OF PARL DESC IN OR 1575 PG 526 + OR 2969 PG 2810 LYING N + E OF CONSV AREA 4B LESS OR 3492 PG 3551 + OR 3742 PG 917 + INST#20070000008816 + 2009000329735 + LESS SUBS + CONDO	13
SEMINOLE GULF RAILWAY L P 4110 CENTER POINTE DR STE 207 FORT MYERS FL 33916	02-48-25-B1-00013.0000 RAILROAD R/W BONITA SPRINGS FL 34135	STRIP OF LAND RUNNING SWLY ACROSS W 1/2 SEC FOR RR R/W.	14
BONITA-FT MYERS CORP 401 NW 38TH CT MIAMI FL 33126	02-48-25-B1-00014.0000 28251 OLD 41 RD BONITA SPRINGS FL 34135	THE N 100 FT OF N 1/2 OF SE 1/4 OF NW 1/4 LYING E OF US 41 R/W ALSO THE E 66	15
BONITA BUSINESS PARK ASSN 2338 IMMOKALEE RD NAPLES FL 34110	02-48-25-B1-00300.00CE BONITA BUSINESS PARK C/E BONITA SPRINGS FL	BONITA BUSINESS PARK DESC OR 3411/4684 + OR 3488/316 + OR 3564 PG 3730 OR 3589 PG 4620 COMMON ELEMENTS	16
MED-MAR LLC 1 CENTRAL PARK WEST # 34G NEW YORK NY 10023	02-48-25-B1-00700.0130 29000 MARCELLO WAY NAPLES FL 34110	MEDITERRA PARCEL 114 PB 69 PGS 90-92 LOT 13	17
PEDRA CHRISTI M TR 29010 MARCELLO WAY NAPLES FL 34110	02-48-25-B1-00700.0140 29010 MARCELLO WAY NAPLES FL 34110	MEDITERRA PARCEL 114 PB 69 PGS 90-92 LOT 14	18
JAMIESON MARK T + JOANN 1050 BORGHESE LANE # 1506 NAPLES FL 34114	02-48-25-B1-00700.0150 29020 MARCELLO WAY NAPLES FL 34110	MEDITERRA PARCEL 114 PB 69 PGS 90-92 LOT 15	19
MARBELLA AT SPANISH WELLS COMPASS MANAGEMENT GROUP 4851 TAMAMI TRAIL N STE 400 NAPLES FL 34103	02-48-25-B1-0150B.10CE MARBELLA @ SPANISH WELLS C/E BONITA SPRINGS FL	MARBELLA AT SPANISH WELLS PB 75 PGS 19-29 TRACT B-1 LESS OR 4807 PG 2175 + SUBD	20
MARBELLA AT SPANISH WELLS FAMILY PROPERTY SERVICES INC 1330 RAIL HEAD BLVD STE 4 NAPLES FL 34110	02-48-25-B1-0150F.04CE MARBELLA @ SPANISH WELLS C/E BONITA SPRINGS FL	MARBELLA AT SPANISH WELLS PB 75 PGS 19-29 TRACT F-4	21
MARBELLA AT SPANISH WELLS FAMILY PROPERTY SERVICES INC 8359 BEACON BLVD STE 313 FORT MYERS FL 33907	02-48-25-B1-0150L.01CE SUBMERGED BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS PB 75 PGS 19-29 TRACT L-1	22
MARBELLA AT SPANISH WELLS III BENSONS INC 12650 WHITEHALL DR FORT MYERS FL 33907	02-48-25-B1-02600.00CE MARBELLA @ SPANISH WELLS III C/E BONITA SPRINGS FL	MARBELLA AT SPANISH WELLS III DESC IN INST#2006-158772 + #2006-160617 + #2006-160745 + 197628 + 197629 + 197630 + 160751 + 229125 + 239192 + 239180 + 239181 + 280997 + 2007-19973 + 19974 + 56700 COMMON ELEME	23

CONSTITUTION PLAZA KEB MANAGEMENT VERN SMITH 6017 PINE RIDGE RD STE 262 NAPLES FL 34119	02-48-25-B1-16000.00CE CONSTITUTION PLAZA C/E BONITA SPRINGS FL	PARCEL LYING S OF A RD RECORDED IN OR 414 PG 178 - W OF SR 887 + E OF ACL RAILROAD R/W AS DESC IN OR 4332 PG 698 + OR 4556 PG 3341 + 2005-55014 + 2005-18988 + 2006-148052 COMMON ELEMENTS	24
CAUSEWAY COMMERCE PARK CONDO A 3375 PINE RIDGE RD STE 206 NAPLES FL 34109	02-48-25-B1-28000.00CE ACCESS UNDETERMINED BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE PARK LAND CONDO AS DESC IN INST# 2018-122132 COMMON ELEMENTS	25
BONITA-FT MYERS CORP 401 NW 38TH CT MIAMI FL 33126	02-48-25-B2-00009.0000 10601 BONITA BEACH RD SE BONITA SPRINGS FL 34135	W 1/2 OF NE 1/4 LESS RD R/W FOR BONITA BCH + RD R/W DESC IN OR 2099 PG 4758 + PG 4761 + RD R/W DESC IN INST#2008000318009	26
MEDITERRA NORTH CDD WRATHELL HUNT & ASSOCIATES LLC 2300 GLADES RD STE 410W BOCA RATON FL 33431	02-48-25-B3-00011.0080 MEDITERRA C/E NAPLES FL	PARCEL LYING IN SOUTH 3/4 OF SECTION DESC OR 3492/3551 CONSERVATION AREA 4B	27
MEDITERRA NORTH CDD WRATHELL HUNT & ASSOCIATES LLC 2300 GLADES RD STE 410W BOCA RATON FL 33431	02-48-25-B4-0070C.0000 MEDITERRA C/E NAPLES FL 34110	MEDITERRA PARCEL 114 PB 69 PGS 90-92 TRACT C	28
MEDITERRA COMMUNITY ASSN INC 15735 CORSO MEDITERRA CIR NAPLES FL 34110	02-48-25-B4-0070R.00CE RIGHT OF WAY BONITA SPRINGS FL	MEDITERRA PARCEL 114 PB 69 PGS 90-92 TRACT R	29
S+R PROPERTIES OF FLORIDA LLC 11170 BONITA BEACH RD SE BONITA SPRINGS FL 34135	02-48-25-B1-00301.0101 28190 OLD 41 RD #101 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3488 PG 316 PH 2 BLDG 1 UT 101	30
S+R PROPERTIES OF FLORIDA LLC 11170 BONITA BEACH RD SE BONITA SPRINGS FL 34135	02-48-25-B1-00301.0102 28190 OLD 41 RD #102 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3488 PG 316 PH 2 BLDG 1 UNIT 102	30
S+R PROPERTIES OF FLORIDA LLC 11170 BONITA BEACH RD SE BONITA SPRINGS FL 34135	02-48-25-B1-00301.0103 28190 OLD 41 RD #103 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3488 PG 316 PH 2 BLDG 1 UT 103	30
ALL FIRESHIELD AND INSULATION 28190 OLD 41 RD UNIT 104 BONITA SPRINGS FL 34135	02-48-25-B1-00301.0104 28190 OLD 41 RD #104 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3488 PG 316 PH 2 BLDG 1 UT 104	30
CARNEY LANCE M + 5891 GOLDEN OAKS LN NAPLES FL 34119	02-48-25-B1-00302.0201 28200 OLD 41 RD #201 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 201	31
TMC CONNORS LLC 25272 PABILLION DR BONITA SPRINGS FL 34135	02-48-25-B1-00302.0202 28200 OLD 41 RD #202 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 202	31
MY BONITA LLC 1101 LAS PALMAS DR SANTA BARBARA CA 93110	02-48-25-B1-00302.0203 28200 OLD 41 RD #203 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 203	31
ROOSA LINDA C TR 255 BAREFOOT BEACH BLVD # 204 BONITA SPRINGS FL 34134	02-48-25-B1-00302.0204 28200 OLD 41 RD #204 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 204	31
S + R PROPERTIES OF FL LLC DAN K ROOSA 11170 BONITA BEACH RD SE BONITA SPRINGS FL 34135	02-48-25-B1-00302.0205 28200 OLD 41 RD #205 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 205	31
S + R PROPERTIES OF FL LLC DAN K ROOSA 11170 BONITA BEACH RD SE BONITA SPRINGS FL 34135	02-48-25-B1-00302.0206 28200 OLD 41 RD #206 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 206	31
DUIARDIN RICK 6139 ISLAND PARK CT FORT MYERS FL 33908	02-48-25-B1-00302.0207 28200 OLD 41 RD #207 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 207	31
MORGAN DOUGLAS ENTERPRISES LC 2786 OLDE CYPRESS DR NAPLES FL 34119	02-48-25-B1-00302.0208 28200 OLD 41 RD #208 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 208	31
SRC INVESTMENTS OF 28200 OLD 41 RD STE 209 BONITA SPRINGS FL 34135	02-48-25-B1-00302.0209 28200 OLD 41 RD #209 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 209	31
SRC INVESTMENTS OF 28200 OLD 41 RD STE 209 BONITA SPRINGS FL 34135	02-48-25-B1-00302.0210 28200 OLD 41 RD #210 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC IN OR 3564 PG 3730 PH 3 BLDG 2 UNIT 210	31
MANGROVE STORAGE LLC 2575 NORTHBROOKE PLAZA DR #300 NAPLES FL 34119	02-48-25-B1-00303.0301 28210 OLD 41 RD #301 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 301	32
MANGROVE STORAGE LLC 2575 NORTHBROOKE PLAZA DR #300 NAPLES FL 34119	02-48-25-B1-00303.0302 28210 OLD 41 RD #302 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 302	32
TUTTLE AGENCY SOUTH LLC 28210 OLD 41 RD UNIT 303 BONITA SPRINGS FL 34135	02-48-25-B1-00303.0303 28210 OLD 41 RD #303 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 303	32
GSP HOLDINGS LLC UNIT 202 6270 HUNTINGTON LAKES CIR NAPLES FL 34119	02-48-25-B1-00303.0304 28210 OLD 41 RD #304 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 304	32
GSP HOLDINGS LLC UNIT 202 6270 HUNTINGTON LAKES CIR NAPLES FL 34119	02-48-25-B1-00303.0305 28210 OLD 41 RD #305 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 305	32
BROOKFORD GROUP LLC 10834 EST CORTILE COURT NAPLES FL 34110	02-48-25-B1-00303.0306 28210 OLD 41 RD #306 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 306	32
CARNEY LANCE M + BEVERLY J 5891 GOLDEN OAKS LN NAPLES FL 34119	02-48-25-B1-00303.0307 28210 OLD 41 RD #307 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 307	32

FAUCONNEAU GUY + KITT 10089 MAGNOLIA BEND ESTERO FL 34135	02-48-25-B1-00303.0308 28210 OLD 41 RD #308 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 308	32
JAYDE COURTNEY LLC 28730 DIAMOND DR #202 BONITA SPRINGS FL 34134	02-48-25-B1-00303.0309 28210 OLD 41 RD #309 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 309	32
DM PHOTO LLC 28210 OLD 41 RD UNIT 310 BONITA SPRINGS FL 34135	02-48-25-B1-00303.0310 28210 OLD 41 RD #310 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 310	32
VOSS KENNETH C + PHYLLIS J 26430 SUMMER GREENS DR BONITA SPRINGS FL 34135	02-48-25-B1-00303.0311 28210 OLD 41 RD #311 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO OR 3589 PG 4620 PH 4 BLDG 3 UNIT 311	32
MCWILLIAMS EAMON + KIMBERLY 240 25TH ST SW NAPLES FL 34117	02-48-25-B1-00304.0401 28220 OLD 41 RD #401 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 401	33
JMP OF SOUTHWEST FLORIDA INC 3821 BONITA BEACH RD BONITA SPRINGS FL 34134	02-48-25-B1-00304.0402 28220 OLD 41 RD #402 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 402	33
BARBERA DONALD + CYNTHIA 25420 STILLWELL PKWY BONITA SPRINGS FL 34135	02-48-25-B1-00304.0403 28220 OLD 41 RD #403 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 403	33
TMC CONNORS LLC 25272 PAVILLION DR BONITA SPRINGS FL 34135	02-48-25-B1-00304.0404 28220 OLD 41 RD #404 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 404	33
SALAS MICHAEL A + MARGARET L 10929 CHILDERS ST BONITA SPRINGS FL 34135	02-48-25-B1-00304.0405 28220 OLD 41 RD #405 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 405	33
SALAS MICHAEL A + MARGARET L 10929 CHILDERS ST BONITA SPRINGS FL 34135	02-48-25-B1-00304.0406 28220 OLD 41 RD #406 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 406	33
SALAS MICHAEL A + MARGARET L 10929 CHILDERS ST BONITA SPRINGS FL 34135	02-48-25-B1-00304.0407 28220 OLD 41 RD #407 BONITA SPRINGS FL 34135	BONITA BUSINESS PARK CONDO DESC OR 3411 PG 4684 PH 1 BLDG 4 UNIT 407	33
AVELLAN TOMAS + MARLENE TR 28241 LISBON CT #3511 BONITA SPRINGS FL 34135	02-48-25-B1-02635.3511 28241 LISBON CT #3511 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2006-160617 PH 10 BLDG 35 UNIT 3511	34
TETRAULT JOHN E + LISA A 2220 E COUNTY ROAD 1200 N EATON IN 47338	02-48-25-B1-02635.3512 28241 LISBON CT #3512 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2006-160617 PH 10 BLDG 35 UNIT 3512	34
DEWOLFE PEREZ M III + 4 FOUNTAIN INN LANE MARBLEHEAD MA 01945	02-48-25-B1-02635.3521 28241 LISBON CT #3521 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2006-160617 PH 10 BLDG 35 UNIT 3521	34
LONGO PAUL E 4 MIZZEN LANE BUZZARDS BAY MA 02532	02-48-25-B1-02635.3522 28241 LISBON CT #3522 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2006-160617 PH 10 BLDG 35 UNIT 3522	34

LONGO PAUL E 4 MIZZEN LANE BUZZARDS BAY MA 02532	02-48-25-B1-02635.3522 28241 LISBON CT #3522 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2006-160617 PH 10 BLDG 35 UNIT 3522	34
SEXTON CHARLES DAVID 9601 SPANISH MOSS WAY #3611 BONITA SPRINGS FL 34135	02-48-25-B1-02636.3611 9601 SPANISH MOSS WAY #3611 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3611	35
CUNNINGHAM CAROL A 9601 SPANISH MOSS WAY #3612 BONITA SPRINGS FL 34135	02-48-25-B1-02636.3612 9601 SPANISH MOSS WAY #3612 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3612	35
ENTRUST IRA SW FLORIDA LLC JAMES J HOGAN 2501 AUGUSTA DR NAPLES FL 34109	02-48-25-B1-02636.3613 9601 SPANISH MOSS WAY #3613 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3613	35
ZAMBRZCKI CASIMIRA S & 23 ORCHARD ST SOUTH AMBOY NJ 08879	02-48-25-B1-02636.3614 9601 SPANISH MOSS WAY #3614 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3614	35
TYTLA MILAN + JOCELYN 17 CHEYENNE DR SCARBOROUGH ON M1J 2Y5 CANADA	02-48-25-B1-02636.3615 9601 SPANISH MOSS WAY #3615 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3615	35
WOODS TIMOTHY P TR 3025 JORDON GROVE WEST DES MOINES IA 50265	02-48-25-B1-02636.3616 9601 SPANISH MOSS WAY #3616 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3616	35
BUTLER WILLIAM F + DIANE H 9601 SPANISH MOSS WAY #3621 BONITA SPRINGS FL 34135	02-48-25-B1-02636.3621 9601 SPANISH MOSS WAY #3621 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3621	35
ZOOK DAVID D + MARY JEAN 28536 BURANO DR BONITA SPRINGS FL 34135	02-48-25-B1-02636.3622 9601 SPANISH MOSS WAY #3622 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3622	35
BENO BETI THOMA BENO 14 REDWOOD RD NEW HYDE PARK NY 11040	02-48-25-B1-02636.3623 9601 SPANISH MOSS WAY #3623 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3623	35
ALAM ALI 8851 COLONNADES CT W # 117 BONITA SPRINGS FL 34135	02-48-25-B1-02636.3624 9601 SPANISH MOSS WAY #3624 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3624	35
BURKE LEANNE D 9601 SPANISH MOSS WAY # 3625 BONITA SPRINGS FL 34135	02-48-25-B1-02636.3625 9601 SPANISH MOSS WAY #3625 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3625	35
DJW ENTERPRISES LLC 422 WHITESTONE FARM DR CHESTERFIELD MO 63017	02-48-25-B1-02636.3626 9601 SPANISH MOSS WAY #3626 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3626	35
MCCABE JAMES E 9601 SPANISH MOSS WAY #3631 BONITA SPRINGS FL 34135	02-48-25-B1-02636.3631 9601 SPANISH MOSS WAY #3631 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3631	35
TEREZI ROMEO 2135 IMPERIAL CIR NAPLES FL 34110	02-48-25-B1-02636.3632 9601 SPANISH MOSS WAY #3632 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3632	35

FITZGERALD EDWARD F JR & 83 PROPOSE RD SHERLEY NY 11967	02-48-25-B1-02636.3633 9601 SPANISH MOSS WAY #3633 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3633	35
PAULUS JAMES 1838 SAINT MARGARETS RD ANNAPOLIS MD 21409	02-48-25-B1-02636.3634 9601 SPANISH MOSS WAY #3634 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-19974 PH 11 BLDG 36 UNIT 3634	35
LEIBMAN ALAIN + 119 N 7TH AVE HIGHLAND PARK NJ 08904	02-48-25-B1-02637.3711 9611 SPANISH MOSS WAY #3711 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3711	36
GERARD G THERRIEN TRUST + PO BOX 207 HAMPTON NH 03843	02-48-25-B1-02637.3712 9611 SPANISH MOSS WAY #3712 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3712	36
OAKES ROBERT D + NANCY J 1488 VALLEY VIEW RD JERSEY SHORE PA 17740	02-48-25-B1-02637.3713 9611 SPANISH MOSS WAY #3713 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3713	36
LANE SUZANNE S 9611 SPANISH MOSS WAY #3714 BONITA SPRINGS FL 34135	02-48-25-B1-02637.3714 9611 SPANISH MOSS WAY #3714 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3714	36
TWEED LINDA A 9611 SPANISH MOSS WAY #3715 BONITA SPRINGS FL 34135	02-48-25-B1-02637.3715 9611 SPANISH MOSS WAY #3715 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3715	36
KAROLAK DENNIS J + ANGELA M 1127 HICKORY AVE ROYAL OAK MI 48073	02-48-25-B1-02637.3716 9611 SPANISH MOSS WAY #3716 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3716	36
MALY MICHAEL A + NANCY E 20552 ALPINE DR LAWRENCEBURG IN 47025	02-48-25-B1-02637.3721 9611 SPANISH MOSS WAY #3721 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3721	36
DANIELS ELLEN R + GREGORY L PO BOX 514 ALBION RI 02802	02-48-25-B1-02637.3722 9611 SPANISH MOSS WAY #3722 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3722	36
GREASER FRANK B + GWENDOLLYN M 2714 PENN AVE HATFIELD PA 19440	02-48-25-B1-02637.3723 9611 SPANISH MOSS WAY #3723 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3723	36
DUNDOVICH MARK J + MARY C TR 3820 BUNKERHILL DR ALGONQUIN IL 60102	02-48-25-B1-02637.3724 9611 SPANISH MOSS WAY #3724 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3724	36
MORAWCZYNSKI BOGUSLOW + BOZENA 10 WESLOCK CRESCENT ATLANTA GA 30328	02-48-25-B1-02637.3725 9611 SPANISH MOSS WAY #3725 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3725	36
TROUT ANDREW E TR 2500 HIDDEN MEADOW LN BALLWIN MO 63021	02-48-25-B1-02637.3726 9611 SPANISH MOSS WAY #3726 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3726	36

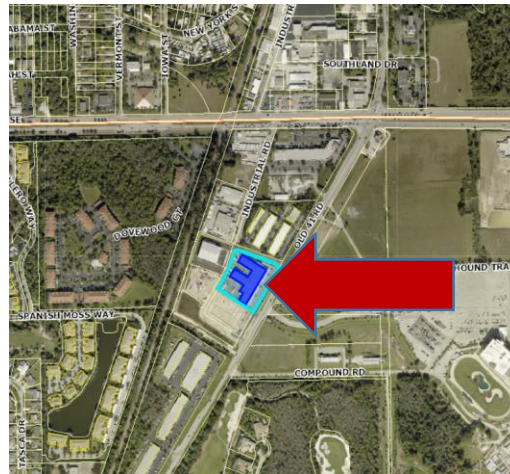
PANCIROLI JAMES + MADELEINE 9611 SPANISH MOSS WAY #3731 BONITA SPRINGS FL 34135	02-48-25-B1-02637.3731 9611 SPANISH MOSS WAY #3731 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3731	36
ROZELL JOHN J + JEAN M 9611 SPANISH MOSS WAY #3732 BONITA SPRINGS FL 34135	02-48-25-B1-02637.3732 9611 SPANISH MOSS WAY #3732 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3732	36
GIIKA ANILA + VASKEN 9611 SPANISH MOSS WAY #3733 BONITA SPRINGS FL 34135	02-48-25-B1-02637.3733 9611 SPANISH MOSS WAY #3733 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3733	36
VAN LEUR WILLIAM B + 1321 PARKVIEW PL BRANDON SD 57005	02-48-25-B1-02637.3734 9611 SPANISH MOSS WAY #3734 BONITA SPRINGS FL 34135	MARBELLA AT SPANISH WELLS III DESC IN INST#2007-56700 PH 12 BLDG 37 UNIT 3734	36
JOB HOLDINGS 2 LLC 27031 DRIFTWOOD DR BONITA SPRINGS FL 34135	02-48-25-B1-16300.0001 28400 OLD 41 RD #1 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 1	37
JOB HOLDINGS 2 LLC 27031 DRIFTWOOD DR BONITA SPRINGS FL 34135	02-48-25-B1-16300.0002 28400 OLD 41 RD #2 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 2	37
JOB HOLDINGS 2 LLC 27031 DRIFTWOOD DR BONITA SPRINGS FL 34135	02-48-25-B1-16300.0003 28400 OLD 41 RD #3 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 3	37
JOB HOLDINGS 2 LLC 27031 DRIFTWOOD DR BONITA SPRINGS FL 34135	02-48-25-B1-16300.0004 28400 OLD 41 RD #4 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 4	37
LALOO REAL ESTATE HOLDINGS 1 L 27223 BAREFOOT LN BONITA SPRINGS FL 34135	02-48-25-B1-16300.0005 28400 OLD 41 RD #5 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 5	37
LALOO REAL ESTATE HOLDINGS 1 L 27031 DRIFTWOOD DR BONITA SPRINGS FL 34135	02-48-25-B1-16300.0006 28400 OLD 41 RD #6 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 6	37
TGC HOLDINGS LLC 4535 DOMESTIC AVE NAPLES FL 34104	02-48-25-B1-16300.0007 28400 OLD 41 RD #7 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 7	37
RAYN JAY LLC 12851 BAY TIMBER CT FORT MYERS FL 33913	02-48-25-B1-16300.0008 28400 OLD 41 RD #8 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 8	37
COUNTRY CLUB TECH LLC 24230 MELAINE LANE BONITA SPRINGS FL 34135	02-48-25-B1-16300.0009 28400 OLD 41 RD #9 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 9	37
LAGRATA REAL ESTATE HOLDINGS 568 ROMA CT NAPLES FL 34110	02-48-25-B1-16300.0010 28400 OLD 41 RD #10 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 10	37
KEITHLEY DAVID C + DIANA 27566 IMPERIAL RIVER RD BONITA SPRINGS FL 34134	02-48-25-B1-16300.0011 28400 OLD 41 RD #11 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 BLDG 300 UNIT 11	37

DOMINGUEZ RICARDO 28380 OLD 41 RD #1 BONITA SPRINGS FL 34135	02-48-25-B1-16400.0001 28380 OLD 41 RD #1 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 1	38
4PL MANAGEMENT LLC 28380 OLD 41 RD STE 2 BONITA SPRINGS FL 34135	02-48-25-B1-16400.0002 28380 OLD 41 RD #2 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 2	38
PILOTZ MICHAEL C TR 28040 CASTELLANO WAY NAPLES FL 34110	02-48-25-B1-16400.0003 28380 OLD 41 RD #3 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 3	38
V-XI LLC 17046 PORTA VECCHIO WAY # 101 NAPLES FL 34110	02-48-25-B1-16400.0004 28380 OLD 41 RD #4 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 4	38
V-III LLC 17046 PORTA VECCHIO WAY # 101 NAPLES FL 34110	02-48-25-B1-16400.0005 28380 OLD 41 RD #5 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 5	38
COX BONNIE LYNN TR 1794 ROSE CT WHEATON IL 60189	02-48-25-B1-16400.0007 28380 OLD 41 RD #7 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 7	38
OLD 41 VETERINARY EMERGENCY 28380 OLD 41 RD #8 BONITA SPRINGS FL 34135	02-48-25-B1-16400.0008 28380 OLD 41 RD #8 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 8	38
MERRIMAC HOLDINGS LLC 1528 BRIDIE DR NAPLES FL 34120	02-48-25-B1-16400.0009 28380 OLD 41 RD #9 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 9	38
GOLDMAN ROBERT & JACOBA R 14693 RESERVE LN NAPLES FL 34109	02-48-25-B1-16400.0010 28380 OLD 41 RD #10 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 10	38
V-XI LLC 17046 PORTA VECCHIO WAY # 101 NAPLES FL 34110	02-48-25-B1-16400.0011 28380 OLD 41 RD #11 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 BLDG 400 UNIT 11	38
BEYS A TR 13821 LAKE MAHOGANY BLVD #3821 FORT MYERS FL 33907	02-48-25-B1-16400.006A 28380 OLD 41 RD #6A BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 +2006-148052 BLDG 400 UNIT 6A	38
TUSCANY DEVELOPERS LLC N3108 HWY 67 LAKE GENEVA WI 53147	02-48-25-B1-16400.006B 28380 OLD 41 RD #6B BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-18988 + 2006-148052 BLDG 400 UNIT 6B	38
SNYDER REAL ESTATE HOLDINGS LL 3284 ATLANTIC CIRCLE NAPLES FL 34119	02-48-25-B1-16500.0001 28360 OLD 41 RD #1 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 1	39
MJ LLC 541 ROMA CT NAPLES FL 34110	02-48-25-B1-16500.0002 28360 OLD 41 RD #2 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 2	39
WEEGAR JON SCOTT & LISA A 28968 SETON CT BONITA SPRINGS FL 34134	02-48-25-B1-16500.0003 28360 OLD 41 RD #3 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 3	39
SCREENIT INC 27367 IMPERIAL OAKS CIRCLE BONITA SPRINGS FL 34135	02-48-25-B1-16500.0004 28360 OLD 41 RD #4 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 4	39
PTS 6 LLC 3368 WOODS EDGE CIR #101 BONITA SPRINGS FL 34134	02-48-25-B1-16500.0005 28360 OLD 41 RD #5 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 5	39
PILTS LLC TR SFL PILTS LLC P O BOX 2568 BONITA SPRINGS FL 34133	02-48-25-B1-16500.0006 28360 OLD 41 RD #6 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 6	39
ALEXANDER BUILDING CORPORATION SCOTT ALEXANDER 41 HIGH COUNTRY RD WEAVERVILLE NC 28787	02-48-25-B1-16500.0007 28360 OLD 41 RD #7 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 7	39
ALBENGA LOUIS P & LINDA M 16125 CAMDEN LAKES DR NAPLES FL 34110	02-48-25-B1-16500.0008 28360 OLD 41 RD #8 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 8	39
3601 HANSON ST LLC UNIT 101 17046 PORTA VECCHIO WAY NAPLES FL 34110	02-48-25-B1-16500.0009 28360 OLD 41 RD #9 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 9	39
SA CONDOREALTY LLC 4393 AURORA ST NAPLES FL 34119	02-48-25-B1-16500.0010 28360 OLD 41 RD #10 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 10	39
SA CONDOREALTY LLC 15513 SUMMIT PLACE CIR NAPLES FL 34119	02-48-25-B1-16500.0011 28360 OLD 41 RD #11 BONITA SPRINGS FL 34135	CONSTITUTION PLAZA OR 4556 PG 3341 + INST 2005-55014 BLDG 500 UNIT 11	39
CAUSEWAY COMMERCE PARK LLC 3375 PINE RIDGE RD STE 206 NAPLES FL 34109	02-48-25-B1-28000.0001 28292 INDUSTRIAL RD BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE PARK LAND CONDO AS DESC IN INST# 2018-122132 UNIT 1	40
ULTIMATE DEVELOPMENTS LLC 7326 ACORN WAY NAPLES FL 34119	02-48-25-B1-28000.0002 28282 INDUSTRIAL RD BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE PARK LAND CONDO AS DESC IN INST# 2018-122132 UNIT 2	41
CAUSEWAY COMMERCE PARK LLC 3375 PINE RIDGE RD STE 206 NAPLES FL 34109	02-48-25-B1-28000.0003 28290 OLD 41 RD BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE PARK LAND CONDO AS DESC IN INST# 2018-122132 UNIT 3	42
CAUSEWAY COMMERCE PARK LLC 3375 PINE RIDGE RD STE 206 NAPLES FL 34109	02-48-25-B1-29000.00101 28280 OLD 41 RD #M1 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-1	43
CAUSEWAY COMMERCE PARK LLC 3375 PINE RIDGE RD STE 206 NAPLES FL 34109	02-48-25-B1-29000.00102 28280 OLD 41 RD #M2 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-2	43

PHIL 413 LLC 27088 DEL LN BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M03 28280 OLD 41 RD #M3 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-3	43
CKV PROPERTY M 4 LLC 28280 OLD 41 RD #M4 BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M04 28280 OLD 41 RD #M4 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-4	43
HIGH ROAD HOLDINGS LLC 360 WARWICK WAY NAPLES FL 34110	02-48-25-B1-29000.0M05 28280 OLD 41 RD #M5 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-5	43
TRULY HANDY LLC 28280 OLD 41 RD UNIT 6 BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M06 28280 OLD 41 RD #M6 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-6	43
TRULY HANDY LLC 28280 OLD 41 RD UNIT 7 BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M07 28280 OLD 41 RD #M7 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-7	43
CAUSEWAY COMMERCE PARK LLC 3375 PINE RIDGE RD STE 206 NAPLES FL 34109	02-48-25-B1-29000.0M08 28280 OLD 41 RD #M8 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-8	43
CRU WINE CLUB LLC 9010 STRADA STELL CT STE 207 NAPLES FL 34109	02-48-25-B1-29000.0M09 28280 OLD 41 RD #M9 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-9	43
ARTURO CORREA STUDIO LLC 28280 OLD 41 RD #M10 BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M10 28280 OLD 41 RD #M10 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-10	43
GOAT INDUSTRIES LLC 27275 PATRICK ST BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M11 28280 OLD 41 RD #M11 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-11	43
CASSATA THOMAS A 8805 TAMIAMI TRL N BOX 134 NAPLES FL 34108	02-48-25-B1-29000.0M12 28280 OLD 41 RD #M12 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-12	43
BRUCE HOGUE LLC 27771 TENNESSEE ST BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M14 28280 OLD 41 RD #M14 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-14	43
SNOVELROBERTSON REAL ESTATE LL 792 ASHBURTON DR NAPLES FL 34110	02-48-25-B1-29000.0M15 28280 OLD 41 RD #M15 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-15	43
SUNSTREAM HOTELS & RESORTS LLC 6630 ESTERO BLVD FORT MYERS BEACH FL 33931	02-48-25-B1-29000.0M16 28280 OLD 41 RD #M16 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-16	43
MY FLORIDA INSURANCE INC 14700 TAMIAMI TRAIL N STE 8 NAPLES FL 34110	02-48-25-B1-29000.0M17 28280 OLD 41 RD #M17 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-17	43
28280 OLD 41 M18-M19 LLC 28280 OLD 41 RD #M18 BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M18 28280 OLD 41 RD #M18 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-18	43
28280 OLD 41 M18-M19 LLC 28280 OLD 41 RD #M18 BONITA SPRINGS FL 34135	02-48-25-B1-29000.0M19 28280 OLD 41 RD #M19 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-19	43
CAUSEWAY #20 HOLDINGS COMPANY 10116 NORTH GOLDEN ELM DR ESTERO FL 33928	02-48-25-B1-29000.0M20 28280 OLD 41 RD #M20 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-20	43
DELIZIOSI LLC 12801 COMMERCE LAKES DR #14 FORT MYERS FL 33913	02-48-25-B1-29000.0M21 28280 OLD 41 RD #M21 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-21	43
RODRIGUEZ CARMEN 134 BURNT PINE DR NAPLES FL 34119	02-48-25-B1-29000.0M22 28280 OLD 41 RD #M22 BONITA SPRINGS FL 34135	CAUSEWAY COMMERCE BUILDING, A COMMERCIAL CONDOMINIUM AS DESC IN INST# 2019-76625 UNIT M-22	43



Neighborhood Meeting Special Exception

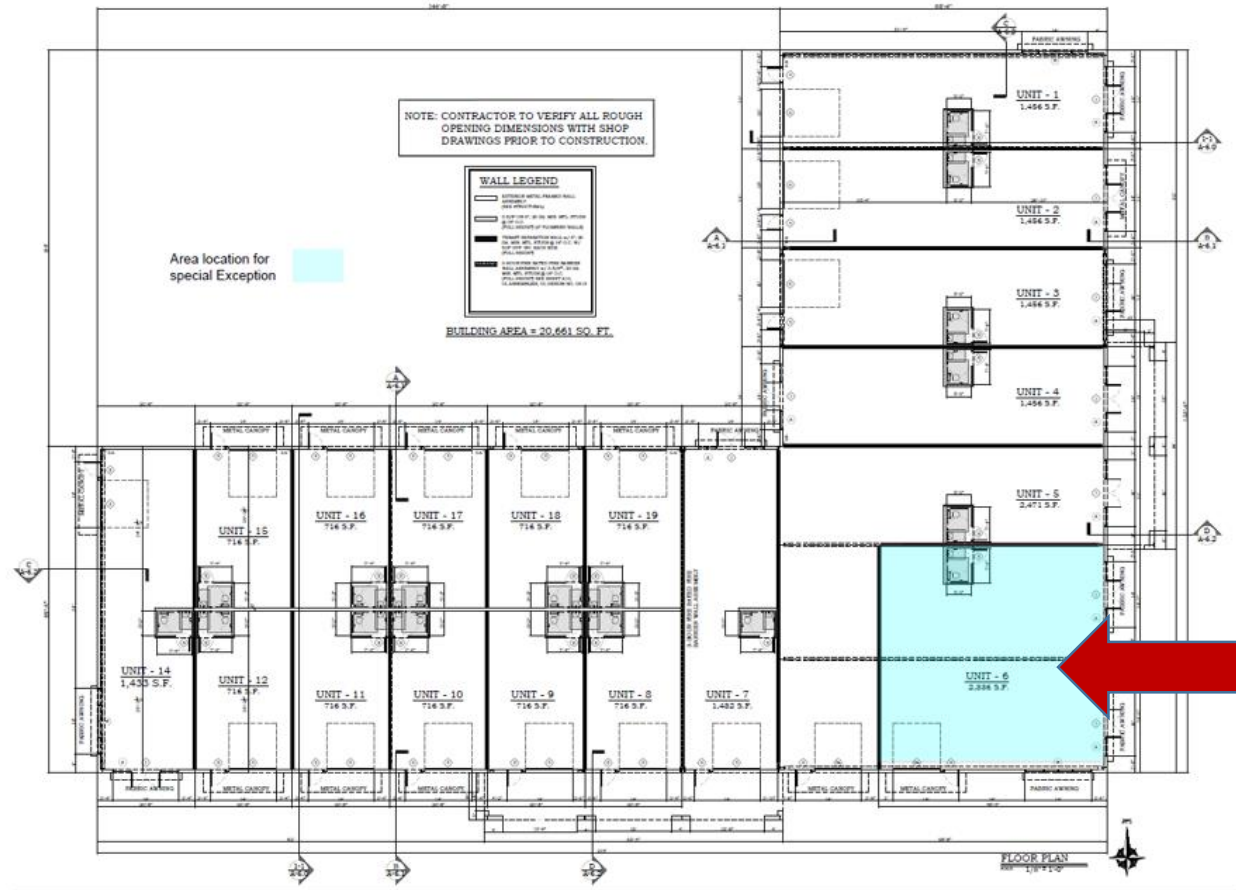


Proposed Property Location:
28280 Old 41 Road, Unit M-8, Bonita Springs, Florida 34135



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Detailing Studio

Neighborhood Meeting Unit location



A66



Neighborhood Meeting Special Exception

What is special exception?

a use of property that is allowed under a zoning ordinance under specified conditions.

We are requesting “Boutique touchless wash/auto detailing”

Proposed Property Location:

28280 Old 41 Road, Unit M-8, Bonita Springs, Florida 34135

What is Primo Ceramic Coating?



PRIMO

Detailing Studio



Clean - Correct - Preserve



Services Provided

Highline Detailing

Top Tier Automotive Detailing

Ceramic Coating

Ceramic Coatings Are Nano-ceramic glass coatings that form a Strong, durable shield resistant to Harsh Conditions

Paint Correction

Bring out the true beauty of your vehicle's finish with Primo Detailing Studio's corrective paint restoration services-compound and polishing only

Private Boutique touchless Car Washing

For our customers only, state of the art touchless indoor car wash. Non drive-thru type. This is actually required for cars with Ceramic Coatings

No auto body collision repair work

Clean - Correct - Preserve



Why Might this need a Special Exception?

- **Increased Traffic**
- **Additional Parking**
- **Drive-Thru**
- **Aesthetics**
- **Noise**
- **Smells**
- **Environment**
- **Locational concerns**

Proposed Property Location:

28280 Old 41 Road, Unit M-8, Bonita Springs, Florida 34135



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Why we should get the Special Exception...

Increased Traffic

- We are not a drive thru business and do not rely on volume. We are high-end quality provider

Additional Parking

- We are appointment driven and thus, do not need any additional parking spaces for our services

Drive-Thru

- Our carwash is not high volume or a drive-thru type

Aesthetics

- 95% of our work is performed inside the building (The 5% is miscellaneous)

Clean - Correct - Preserve

A71



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Why we should get the Special Exception (continued).

Noise

- We do not generate loud noises, plus 95% of work is located inside and we will be using “Quiet Rock” drywall on the inside where applicable

Smells

- We do not generate toxic or obnoxious smells

Environment

- As part of our companies philosophy is to be Clean and stewards of the environment by using environmentally sensitive materials and methods, including a reuse water filtration system.

Locational concerns

- We will look just like any other business at this location and probably better because of the high end Cars

Clean - Correct - Preserve

A72



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What's Next?

- Application/submission
- Staff Sufficiency report
- Land Planning Hearing
- City Council Hearing

Clean - Correct - Preserve

A73



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Questions/Comments?

Clean - Correct - Preserve

A74



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Last, but not least...
We hope you will support us

Thank you

Clean - Correct - Preserve

A75

PRE-APPLICATION SIGN-IN SHEET

(EXHIBIT 18)

PRIMO Special Exceptions
MEETING
3/21/21

- Ken Campbell	Truly Handy	Kenny@trulyhandyllc.com
SCOT TRUBBLOOD	CUTTING EDGE	SCOT@cuttingedgebuilds.c
- KEN ROBERTSON	LIGHTSCAPES	ken@lightscapeinc.com
Steve Howland	Howland, Inc.	sthowland@icloud.com
Jonathan Christopher	PRIMO Retailing Studio	office@primoswift.com

WRITTEN SUMMARY OF PRE-APPLICATION NEIGHBORHOOD MEETING

Primo Special Exception
April 31, 2021

Summary:

- Meeting was held on site. Meeting started 15 minutes Past 5:00 to allow time for travel/traffic.
- Three people not associated with the project were in attendance (see attached sign-in sheet)
All in attendance where people with businesses in the park, two of which have common walls with the space requesting the Special Exception.
- A power point presentation was presented (See attached Power Point presentation labeled item 19)
- A walk around with general location of space layout was provided.
- Issue related to the development proposal where as follows
 1. Noise between units
 2. Pump equipment vibration.
- These items had been anticipated with the following solution's
Pump equipment vibration.
 1. Use sound isolation pads (rubber) under the equipmentNoise between units
 1. Double wall along common wall areas
 2. Use sound batt insulation
 3. Use quite rock drywall

These solution's where discussed and where met with approval from the attending audience.

- Meeting ended at 5:45

NEWS PRESS NOTICE

The News-Press
media group

news-press.com A GANNETT COMPANY

NOTICE OF NEIGHBORHOOD MEETING
28280 Old 41 Road, Unit M-8, Bonita
Springs, Florida 34135
Proposed Special Exception

NOTICE IS HEREBY GIVEN THAT McHarris Planning & Design ("Applicant") is holding a neighborhood meeting regarding their proposed Special Exception application to operate a Boutique Car/Vehicular Detailing shop with a private indoor car wash of the Causeway Commerce Building, which is within the Bonita Beach Road Corridor Overlay. The purpose of this neighborhood meeting is for the applicant to obtain public input regarding the proposed project's Special Exception and answer questions. While staff of the City of Bonita Springs may be present, no formal decision regarding the proposed project will be made at this meeting.

PUBLIC MEETING DATE/TIME:
5:00 PM Wednesday March 31st, 2021

MEETING LOCATION/ADDRESS:
28280 Old 41 Road, Unit M-8
Bonita Springs, FL 34135

TO DISCUSS THE FOLLOWING PROJECT:

PROJECT:
28280 Old 41 Road, Unit M-8,
Bonita Springs, FL 34135,
Special Exception

STRAP #: 02-48-25-B1-29000.OM8

CASE NUMBERS: Pre-Application
Meeting

APPLICANT:
McHarris Planning & Design

SITE ADDRESS:
28280 Old 41 Road, Unit M-8, Bonita
Springs, FL 34135

PROJECT DESCRIPTION:

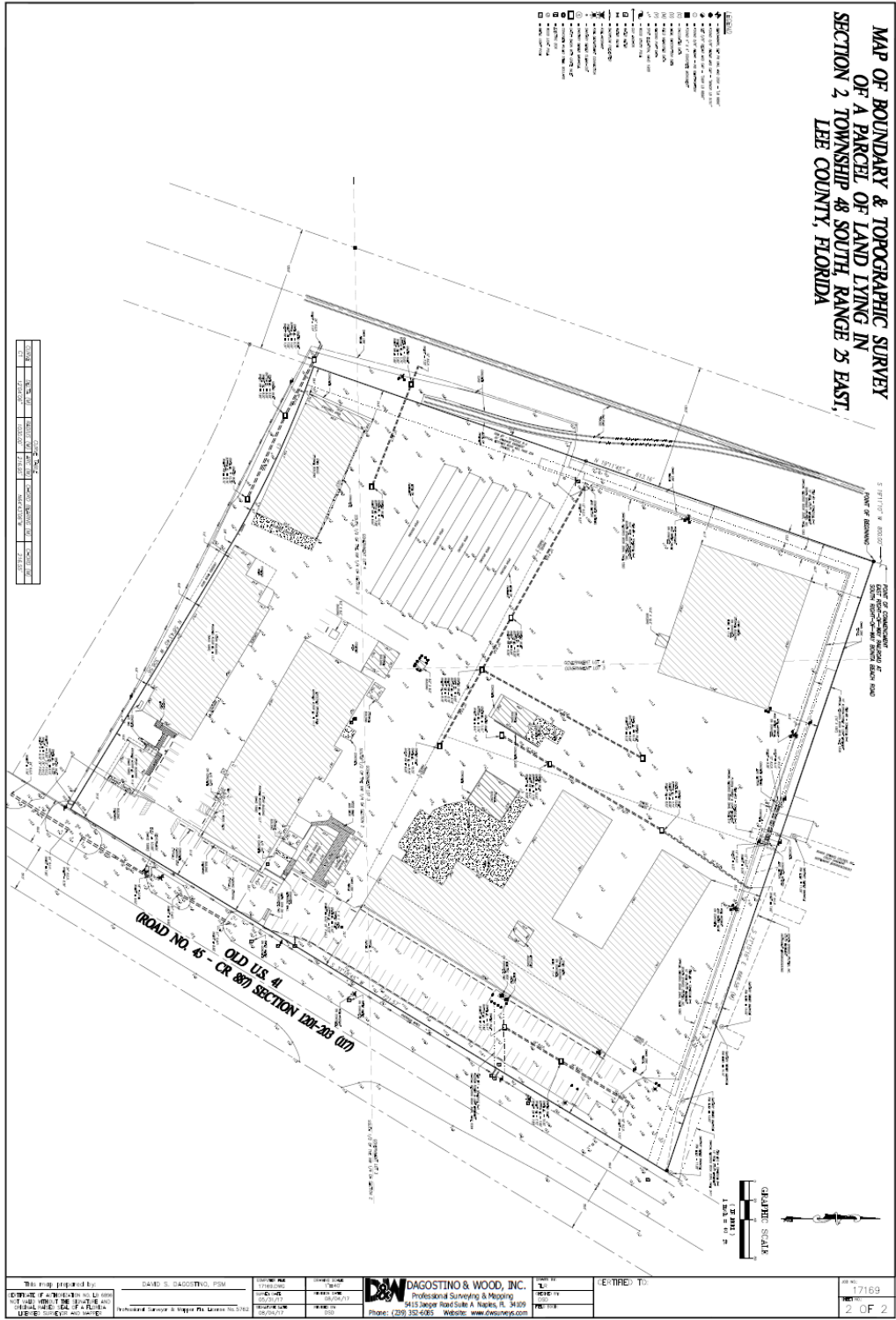
The proposed Special Exception is for a 2,500 sf unit within a project known as the Causeway Commerce Park. The Applicant is working for future owners who are under contract to buy Unit M-8 Causeway Commerce Building, a Commercial Condominium according to the Declaration of Condominium thereof recorded in Official Records Instrument No. 20190000766251 of the Public Records of Lee County, Florida (Strap # 02-48-25-B1-29000.OM8). The owner intends to use the Unit M-8 as a Boutique Car/Vehicular detailing shop with a private indoor car wash.

The Causeway Commerce Park is being developed by Causeway Commerce Park, LLC on the former Causeway Lumber Company site. While this property is zoned for Wholesale Group III, the Bonita Beach Road Corridor Overlay requires a Special Exception for the proposed uses to operate within Unit M-08.

The Applicant will present the proposed project at the meeting and would like to receive input from the surrounding owners and residents. Please contact Joseph M. McHarris @ 239-821-4999 or Joe@McHarris.com for any questions.

AD #4637928 March 10, 2021

EXHIBIT II-A-2
 REVISED 6/10/21
CERTIFIED SKETCH





FLEX5
MOD. 4PE65US

Documentación I+D+i V_09_17

CIVIL WORK AND INSTALLATION

USA



ORIGINAL MANUAL



C O N T E N T S

BUILDING SPECIFICATIONS

Excavation work	4
Filling work and embankment	4
Bed	4
Reinforced concrete slab	5
Concrete specifications	6
Drainage gutters	7
Drainage piping	8
Rain gutters, with enclosure	8

EXCAVATION PLAN

No enclosure	10
With enclosure	11

NO ENCLOSURE

Design measurements and sections	12
Dimensions	14
Parts	15

WITH ENCLOSURE

Design measurements and sections	16
Dimensions	18
Parts	19

FRAMES AND GRATES

INSTALLATION

Pipes and service lines	22
Electrical data	24
Installed on machine	24
On the machine	24
Electrical distribution cabinet	25

Excavation work

Any vegetation will be cleared, and any elements or small infrastructures will be removed, should there be any.

The whole site will be cleared and the vegetation soil all over it will be removed.

Once the desired level has been reached, soil moisture and compaction will be checked.

Filling work and embankment

'Esplanade' or 'embankment' is the finished excavated area where the paving layers (bed and slab) will be built.

The esplanade must be correctly compacted until it is totally even and homogeneous, which requires a number of roller operations.

- Minimum esplanade type E1 (5 < CBR < 10)

If the esplanade needs to be formed or if the features of the existing plot are not suitable, these can be either improved by means of stabilization, or replaced at an adequate depth by a bed with the right features.

- Materials to be used

Features:	<ul style="list-style-type: none"> - Minimum: Adequate ground (as per PPTG PG3) - Stones with max. diameter below 4" [110 mm]. Sieved with sieve no. 200, 35% of weight. - LL < 40 - Maximum density, normal Proctor test, 109.242 lbs/ft³ [1.75 kg/dm³] CBR>5 - Organic matter < 1% - Soluble salts (including gypsum) < 0.2%
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In the esplanade work and the subsequent bed, please bear in mind that the work to be done shall cover an additional 9'- 10" [230 mm]- band parallel to the boundaries of the rollover area so as to allow for drainage and for a transition between the facility level and that of the adjoining areas.

Bed

Granular material layer between the esplanade and the slab, consisting of natural aggregates or aggregates derived from quarry stone grinding or natural gravel, or clay/marl-free selected soils.

To be compacted in a single layer (14" [355 mm] course minimum) until 97% PM is reached.

- Type
 - Wet-mix macadam
- Thickness
 - As per civil work plan

- Granulometry
 - Fractions going through the 0.08 sieve will be smaller than half the fractions sieved with the 0.40 sieve. Measured by weight.
 - Maximum aggregate size will be smaller than half the compacted layer.
 - The fraction retained by Sieve 5 should at least have 50% (weight) elements with two or more fracture surfaces.
 - Abrasion measured by Los Angeles test should be lower than 30.
 - The material must be non-plastic and the sand-content equivalent must be over 35.
 - CBR > 80 for 100% compaction, Modified Proctor Test

- Compacted density
 - Over 100% of maximum density. Modified Proctor Test density, even in singular project areas (edges, meeting points, elements).

Reinforced concrete slab

- Thickness
 - As per civil work plan
- Reinforcement
 - Electro-welded mesh AEH 500 (fyk=5100 kp/cm²)

- Slopes
 - As per project
- Contraction joints
 - every 16'- 5" [5000 mm]
 - width 1/8" [4 mm]
 - depth 1 1/2" [40 mm]
- Expansion joints
 - every 82' [25000 mm]
 - width 3/4" [20000 mm]
 - filled and sealed
- Finishing process
 - Spreading and compacting with concrete screeder.
 - Surface smoothing by screeder.
 - Mechanical floating once concrete is resistant enough (helicopter, fixed flat propeller).
 - Repeat previous operations as many times as necessary until the desired finish is obtained. In our case, surface finish must be non-slip.
 - Curing by wax-based curing liquid (Bettocure-C).

Concrete specifications

The slab concrete's corrosion exposure class is "Ila" (normal reinforcement for high moisture conditions). It is adequate for areas that are not by the sea. For other types of exposure, check regulations in force.

Concerning exposure relating to concrete degradation phenomena other than corrosion, the concrete is erosion-classed, "E".

If the area were affected by frost, no melting salts would be needed for the foreseen purpose. Designation would be "H" (frost exposure, no salt de-icing).

- Definition
 - with compression HM-30 / B / 20 / Ila+E
 - with frost risk: HM-30 / B / 20 / E+H
- Water/cement rate
 - (Table 37.3.2.a EHE-08)
 - Below 0.50 (Exposure class E)
- Minimum concrete strength
 - (Table 37.3.2.b EHE-08)
 - 4350 PSI [30 N/mm²]
- Cement
 - Portland cement EN 197-1 CEM I 32.5 N (APPENDIX 4. Tables A.4.2 and A.4.5 CE Marking EHE-08 and Appendix I RD 956/2008 RC-08)
 - (Table 37.3.2.a EHE-08)
 - Minimum content 20.28 lb/ft³ [325 kg/m³]. (Do not exceed maximum cement content 23.41 lb/ft³. [375 kg/m³])
- Consistency
 - Concrete slump test, base 2 3/8" to 3 1/2" [6 to 9 mm].
 - (Art. 31.5 EHE-08) Consistency SOFT
- Coating
 - (Art. 37.2.4.1 EHE-08)
 - Without blinding concrete, minimum nominal coating 3" [80 mm].
 - With blinding concrete, nominal coating 1 1/2" [40 mm].
- Curing
 - (Art. 37.3.7 EHE-08)
 - Prolonged curing, at least 50% above normal, that is, 10 days approximately in normal conditions.

- Aggregates
 - (Art. 37.3.7 EHE-08)
 - Fine aggregates will be QUARTZ or a material with at least the same hardness.
 - Los Angeles coefficient for thick aggregates under 30.
 - (Table 28.4.1.a. EHE-08)
 - Thick aggregates: maximum % passing through sieve 0.063: 1.5 %.
 - Fine aggregates: maximum % passing through sieve 0.063: 6 %.

- Additives
 - Waterproofing liquid (Sika-1), 3% of cement weight.
 - In case of frost risk (exposure class "F"), minimum occluded air content 4.5%, as per UNE-EN 12350-7.

- Waterproofing
 - (Art. 37.3.3 EHE-08)
 - Concrete waterproofing must be tested according to UNE EN 12390-8, since the environmental exposure class is "E".

Drainage gutters

To be made on site using concrete with the same specifications as the slab concrete and fitting a prefabricated PVC drainage gutter.

The gutters must be covered with perforated steel sheets seated on a 1/2" [12 mm] profile on the gutter edge.

- Width
 - minimum 9 1/2" [240 mm].

- Depth
 - minimum 7 1/2" [190 mm].

- Slope
 - inner slope 1.0 % (minimum)

- Reinforcement
 - As per project

- Cover
 - Perforated steel sheet, thickness = 3/8" [8 mm]
 - Dimensions: depending on gutter type (see details).

Drainage piping

Gutter and central trap drainage is via a number of pipes that run along the boundaries of the rollover.

The pipes are PVC, with connection boxes and pits at intersection points where necessary.

The pipework facilitates the drainage of water coming from the rollover, taking it to the sludge settler, where water treatment starts for water to be recycled and reused in new wash processes.

- Pipes - PVC 6" [160 mm] minimum diameter
- Slope - minimum 1.0%
- Connection pits - Perforated bricks, rendered and smoothed.

Rain gutters, with enclosure

Rain water is collected and channelled by separate gutters that run parallel to the drainage piping. As in the previous case, the pipes are arranged on the sides of the rollover.

For rollovers without an enclosure, rain water is collected together with that of the actual rollover.

All pipes must be PVC, even the special parts.

Pipe slope should not be under 1.0%. Pipes must lean on a concrete or sand bed.

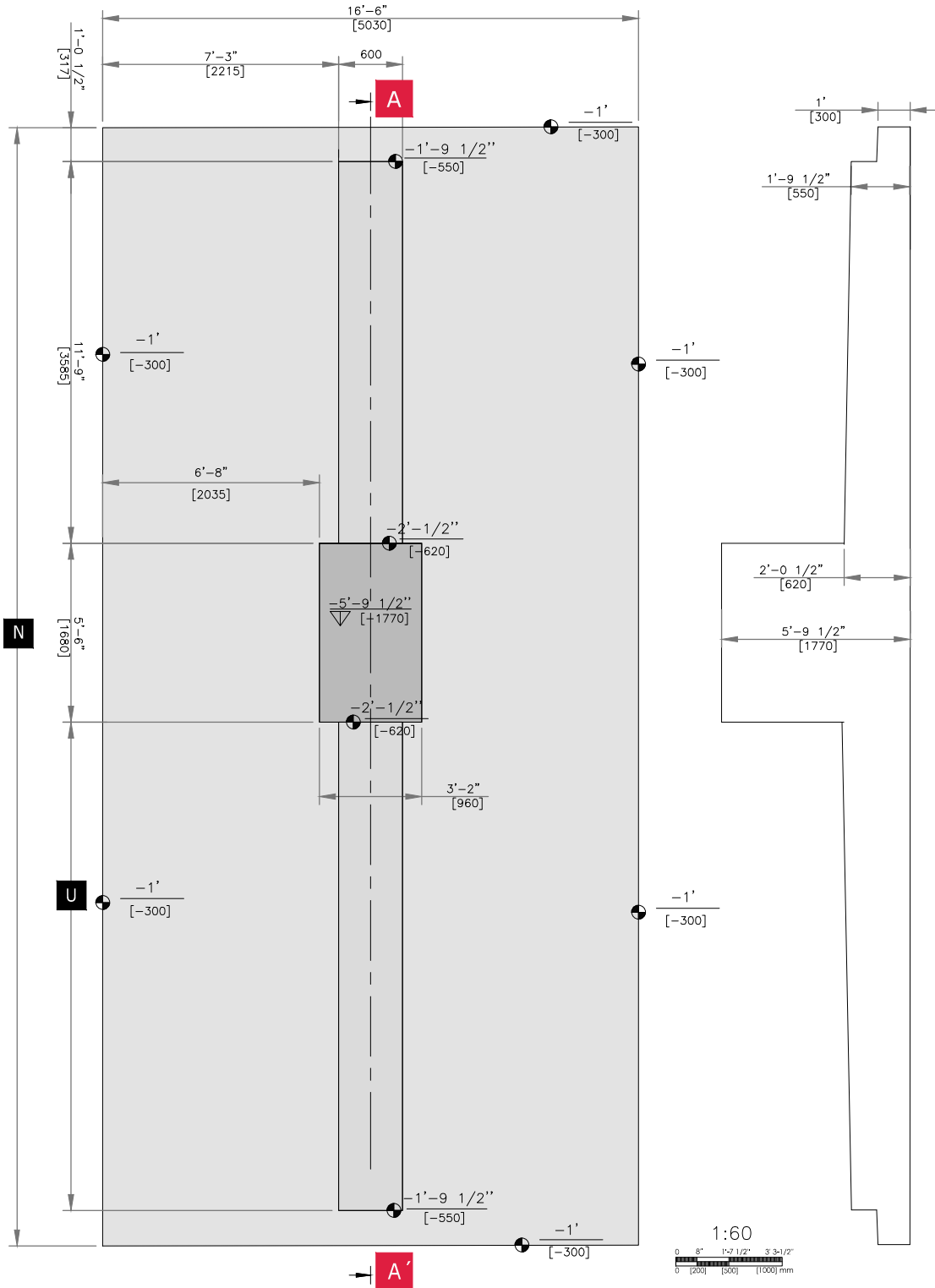
Couplings as per drawings, in connection boxes or pits built with bricks, rendered and smoothed. Pit dimensions are indicated in the corresponding drawings.

MODIFY

No enclosure

Measurements in ft-in [mm]

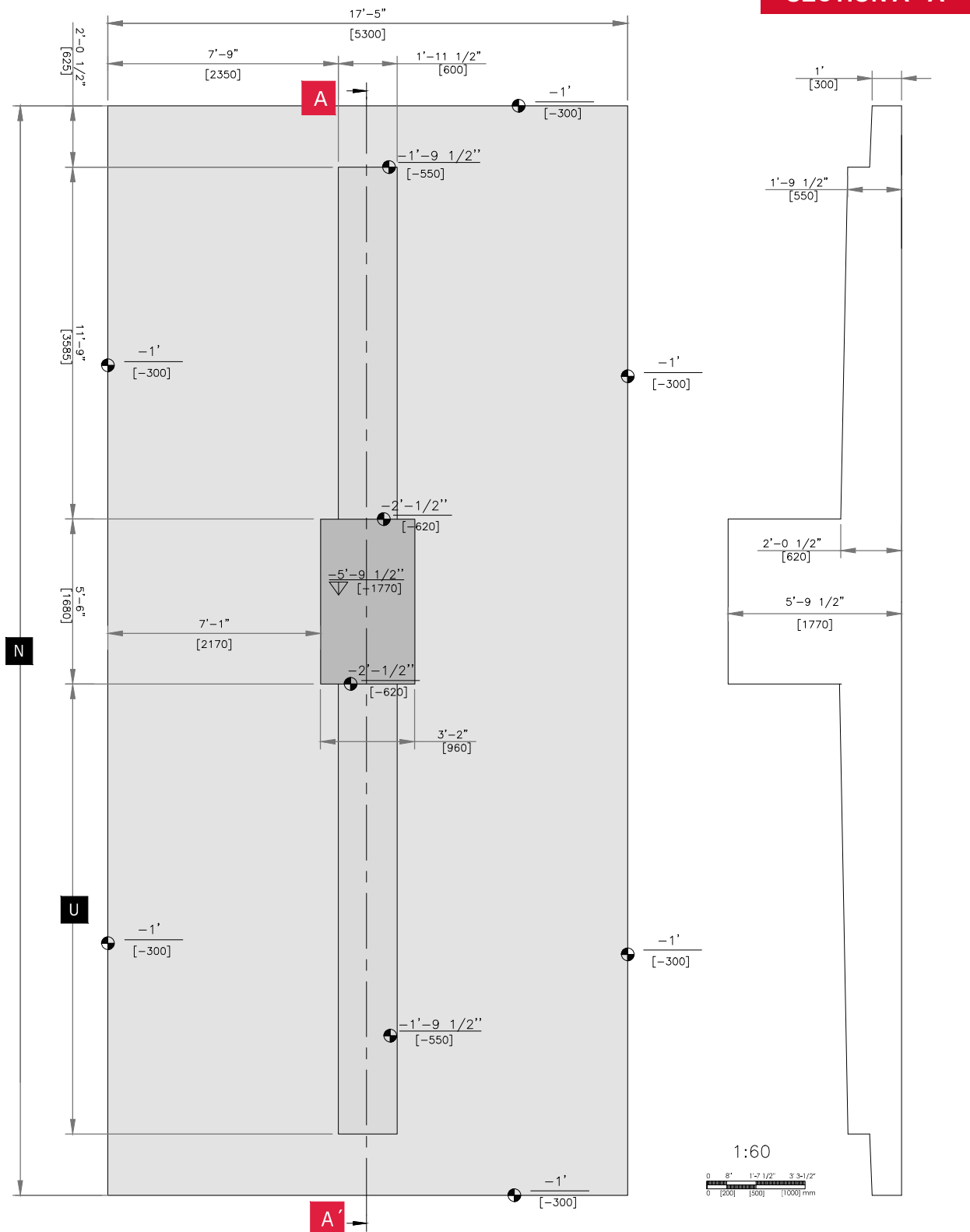
SECTION A - A'



	Max. vehicle width	8'-10" [2700]	
	Rail length	32'-10" [10000]	36'-1" [11000]
N	Length bay	34'-5" [10500]	37'-9" [11500]
U	Length of entry grid	15'-1" [4585]	18'-4" [5585]

With enclosure

Measurements in ft-in [mm]

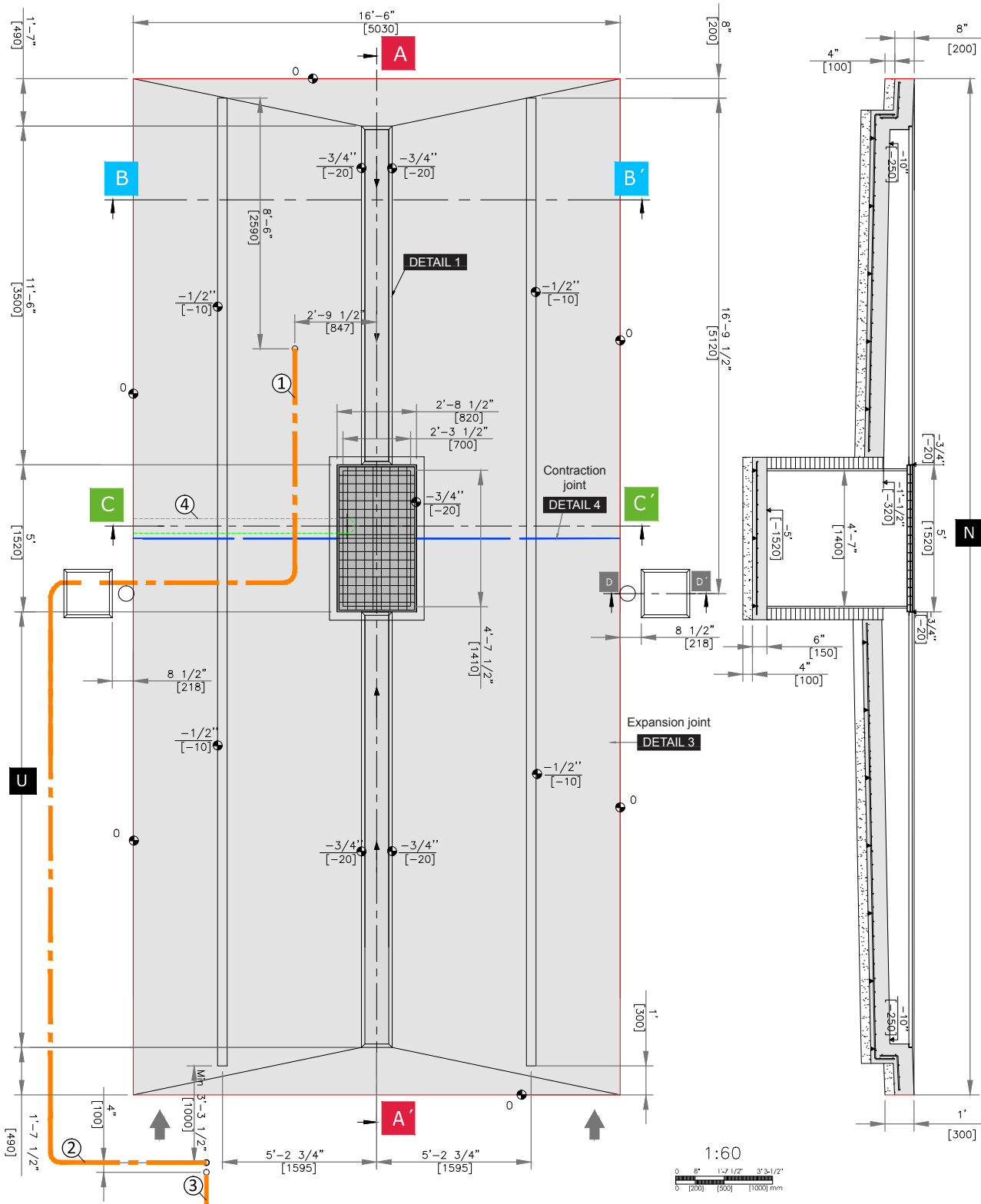


	Max. vehicle width	8'-10" [2700]	
	Rail length	32'-10" [10000]	36'-1" [11000]
N	Length bay	36'-5" [11100]	39'-8" [12100]
U	Length of entry grid	15'-1" [4585]	18'-4" [5585]

Design measurements and sections

Measurements in ft-in [mm]

SECTION A - A'





Piping under concrete bed

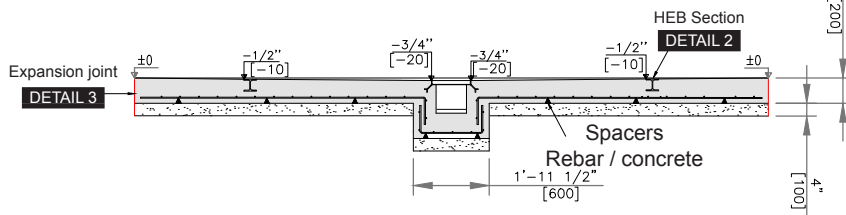
- ① Flexible PVC pipe D 1 1/2" [50mm]: From positioning platform detector to junction box
- ② Flexible PVC pipe D 1 1/2" [50mm]: From command post to junction box
- ③ Flexible PVC pipe D 1 1/2" [50mm]: From command post to store
- ④ PVC pipe D 2" [160mm]. From sand settler to main drain

	Max. vehicle width	8'-10" [2700]	
	Rail length	32'-10" [10000]	36'-1" [11000]
N	Length bay	34'-5" [10500]	37'-9" [11500]
U	Length of entry grid	14'-9" [4500]	18'-1" [5500]

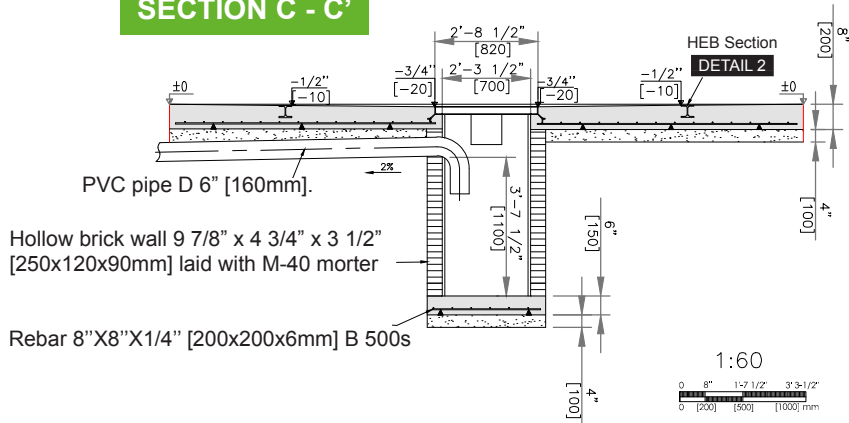
Measurements in ft-in [mm]

	CONCRETE BED thickness=8" [200mm]. CONCRETE FCK=3625 PSI [25 n/mm ²] and Rebar 8"x8"x1/4" [200x200x6mm] B 500s
	Graded crushed compacted aggregate Thickness=4" [100mm]

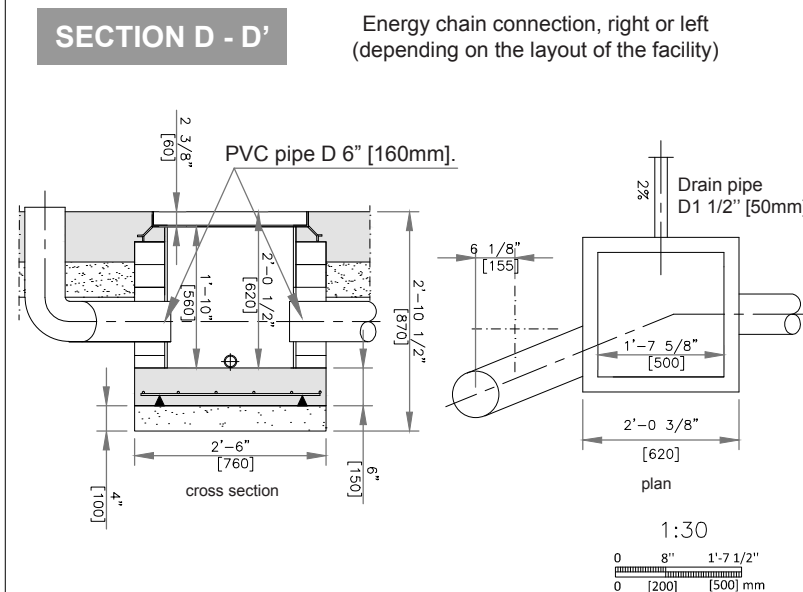
SECTION B - B'



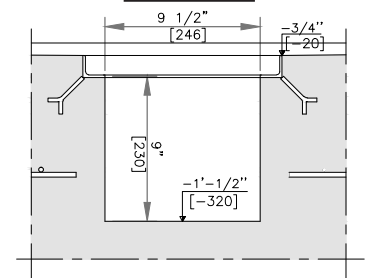
SECTION C - C'



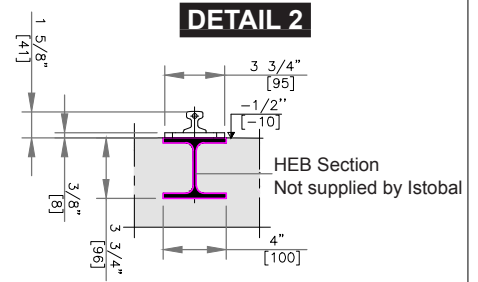
SECTION D - D'



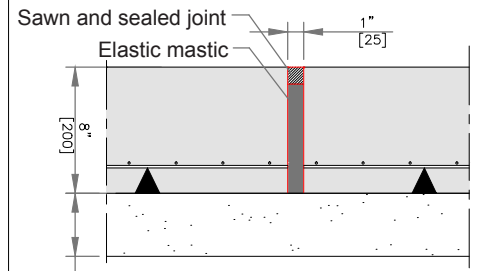
DETAIL 1



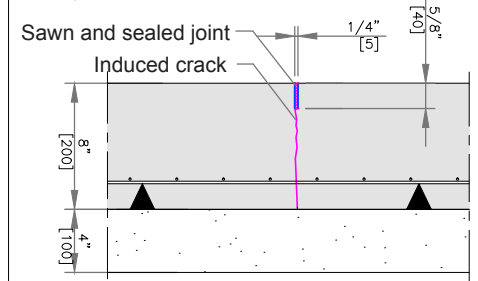
DETAIL 2



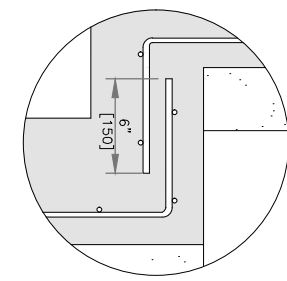
DETAIL 3



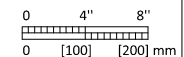
DETAIL 4



Overlapping detail of rebar mat



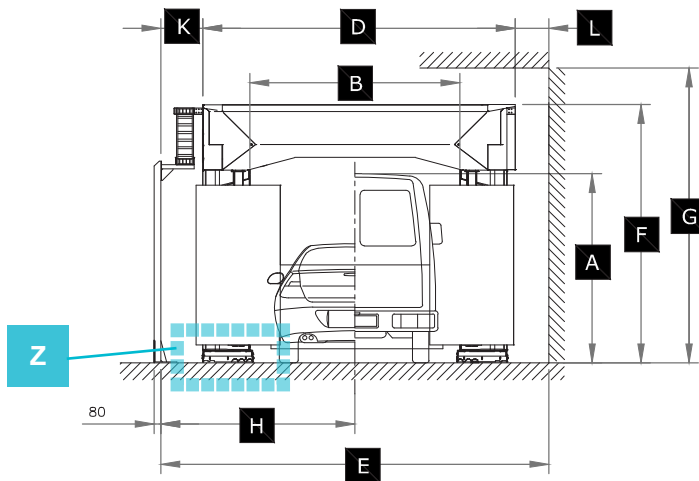
1:12



Surface of bay treated with non-slip finish. Any guarantees as to the dimensions of the concrete beds depend on the floor being properly compacted.
The dimensions of the frames and grates can be seen in the "Frames and grates" section.

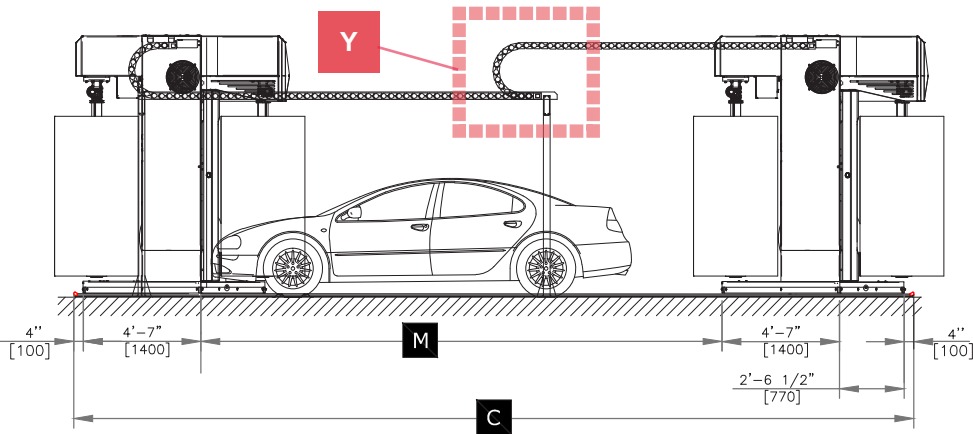
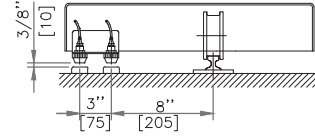
Dimensions

Measurements in ft-in [mm]



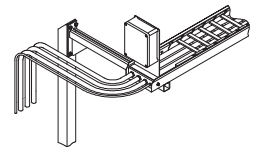
Detail Z

Between rails:
10'-6" ± 1/4" [3190±5mm]

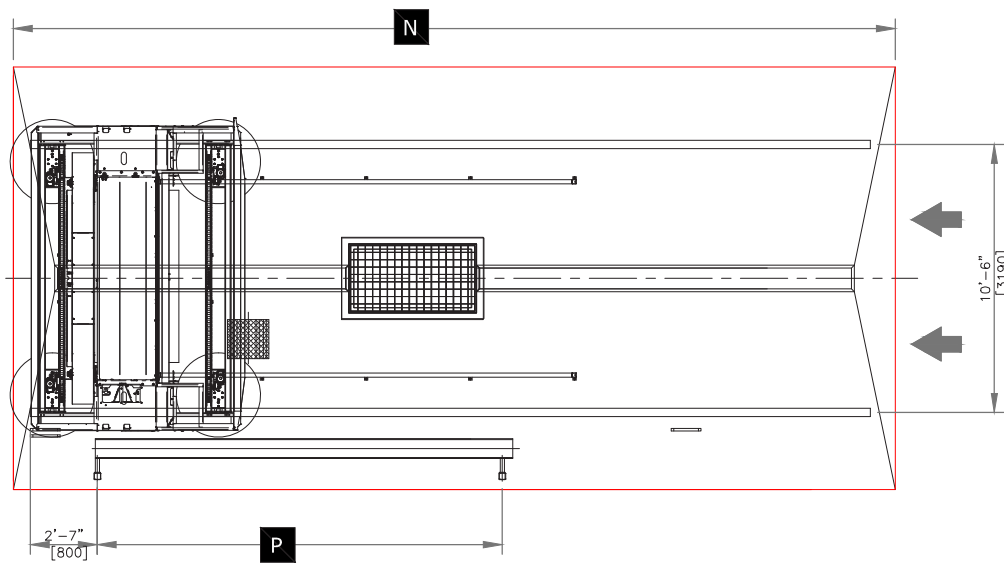
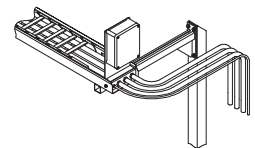


Detail Y

Left side connection



Right side connection



1:90



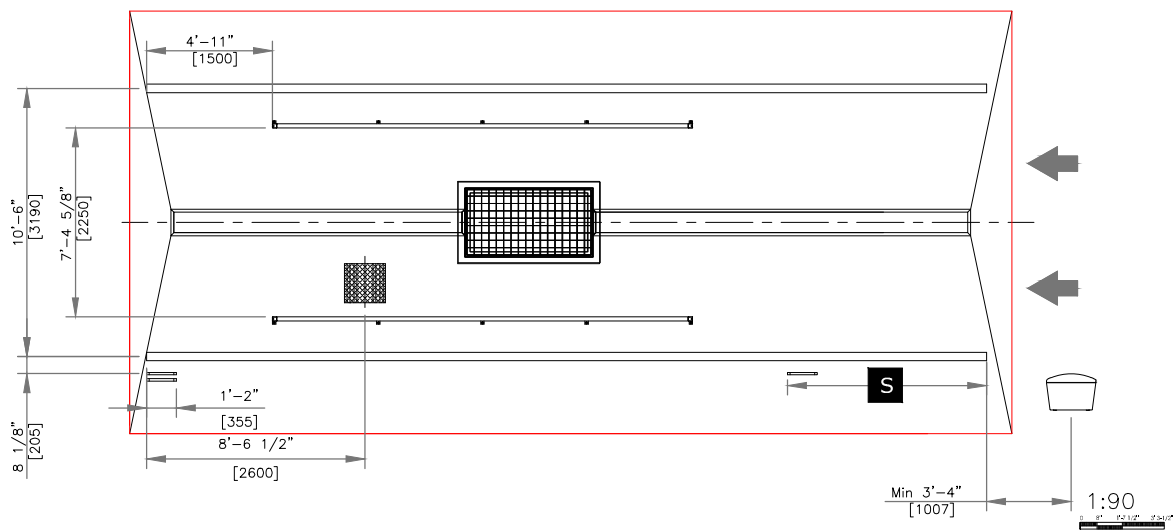
The distance between the underside of the foot and the floor must not exceed 3/8" [10mm].

MAX. VEHICLE HEIGHT 7'-7" [2300mm]

A	Max. vehicle height	7'-7" [2300]	
B	Max. vehicle width	8'-10" [2700]	
C	Rail length	32'-10" [10000]	36'-1" [11000]
D	Chassis width	12'-6 3/8" [3821]	12'-6 3/8" [3821]
E	Recommended	15'-10" [4820]	15'-10" [4820]
	Minimum	14'-1" [4300]	14'-1" [4300]
	Without cutting supporting arm	17'-2" [5224]	17'-2" [5224]
F	Chassis height	10'-2 1/4" [3106]	10'-2 1/4" [3106]
G	Enclosure headroom	Recommended	11'-6" [3500]
		Minimum	10'-4" [3150]
H	Recommended	7'-11" [2410]	7'-11" [2410]
	Minimum	7'-2" [2190]	7'-2" [2190]
	Without cutting supporting arm	9'-3" [2814]	9'-3" [2814]
K	Recommended	1'-8" [500]	1'-8" [500]
	Minimum	1" [280]	1" [280]
	Without cutting supporting arm	3' [904]	3' [904]
L	Recommended	1'-8" [500]	1'-8" [500]
	Minimum	8" [200]	8" [200]
M1	Max. vehicle length with vertical and horizontal scrub	20'-8 7/8" [6320]	24'-1/4" [7320]
M2	Max. vehicle length with horizontal scrub only	24'-7" [7500]	27'-11" [8500]
P	Between centres of posts	15'-10" [4820]	17'-5" [5320]
N	Bay length	34'-5" [10500]	37'-9" [11500]

Parts

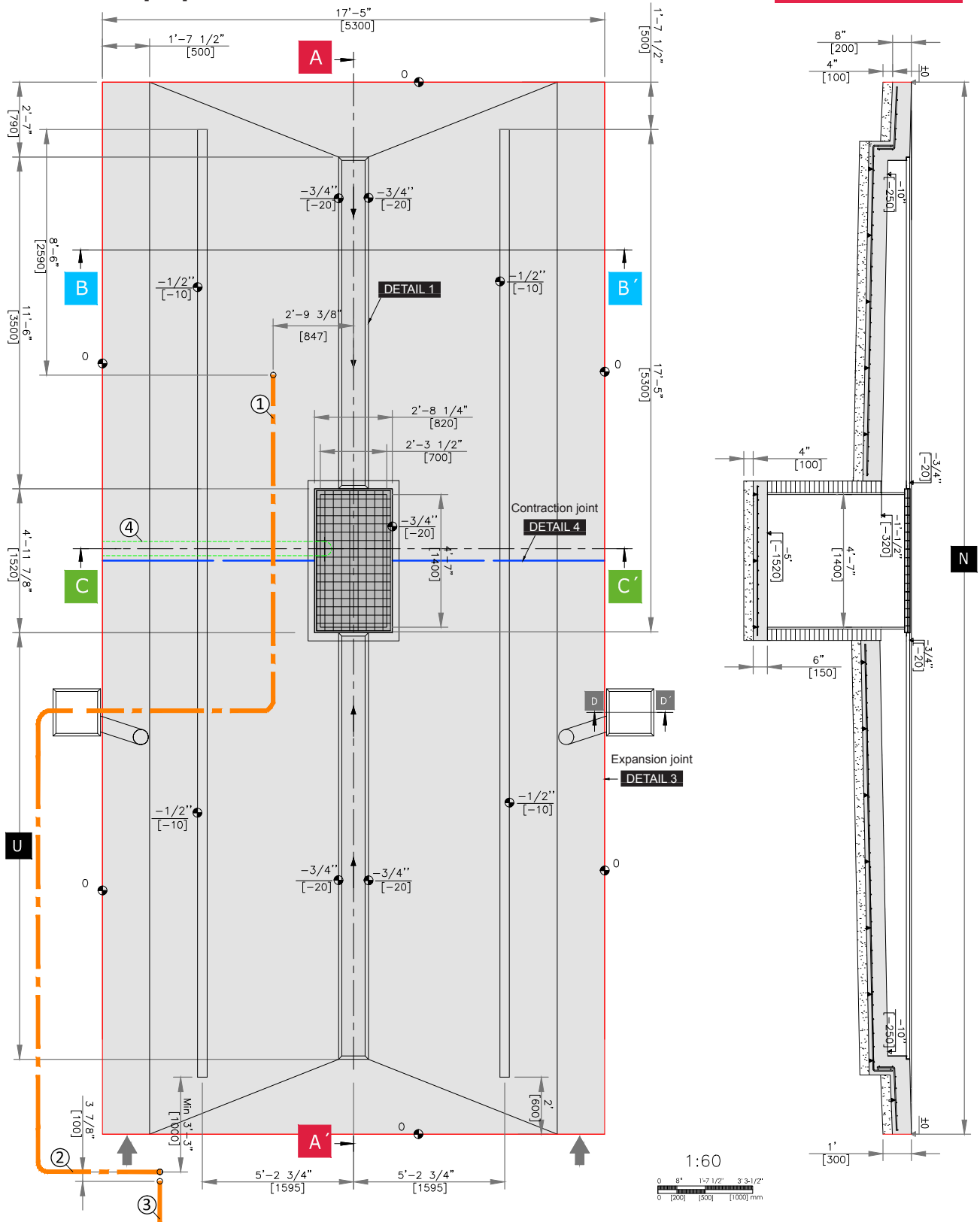
	Machine with 3 brushes	Machine with 5 brushes	
S	Detection ramp end of bay.	4'-9 7/8" [1470]	7'-9 1/4" [2370]



Measurements in ft-in [mm]

Design measurements and sections

Measurements in ft-in [mm]





Piping under concrete bed

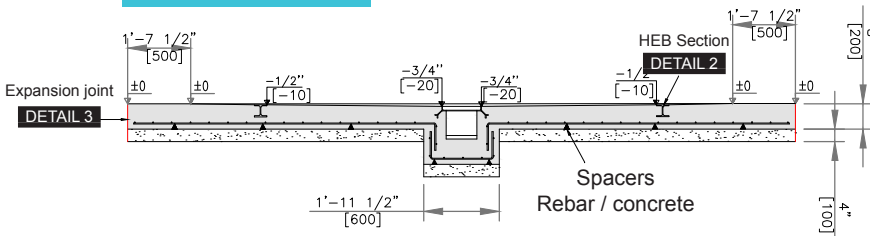
- ① Flexible PVC pipe D 1 1/2" [50mm]: From positioning platform detector to junction box
- ② Flexible PVC pipe D 1 1/2" [50mm]: From command post to junction box
- ③ Flexible PVC pipe D 1 1/2" [50mm]: From command post to store
- ④ PVC pipe D 2" [160mm]. From sand settler to main drain

	Max. vehicle width	8'-10" [2700]	
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N	Length bay	36'-5" [11100]	39'-8" [12100]
U	Length of entry grid	14'-9" [4500]	18'-1" [5500]

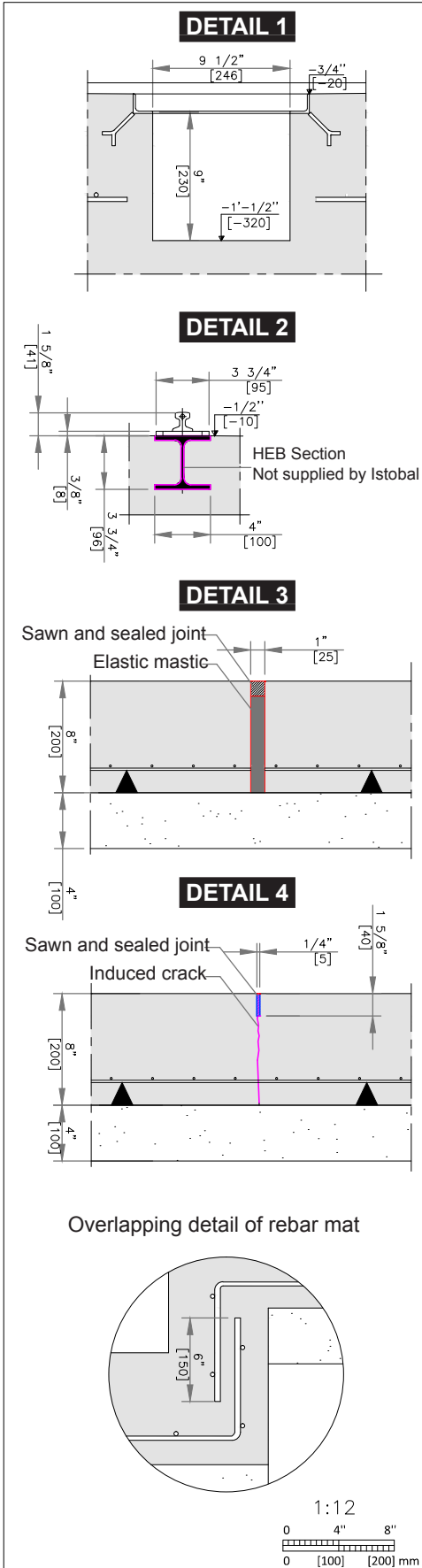
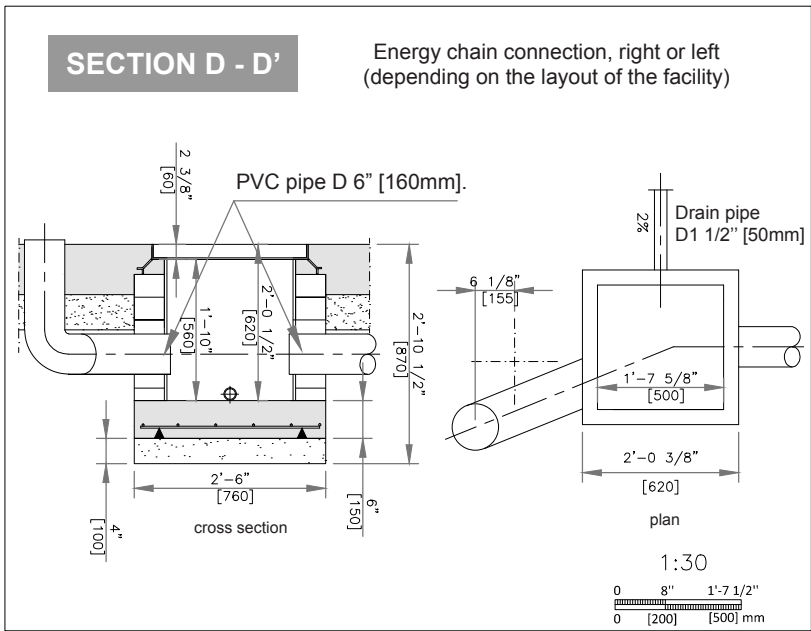
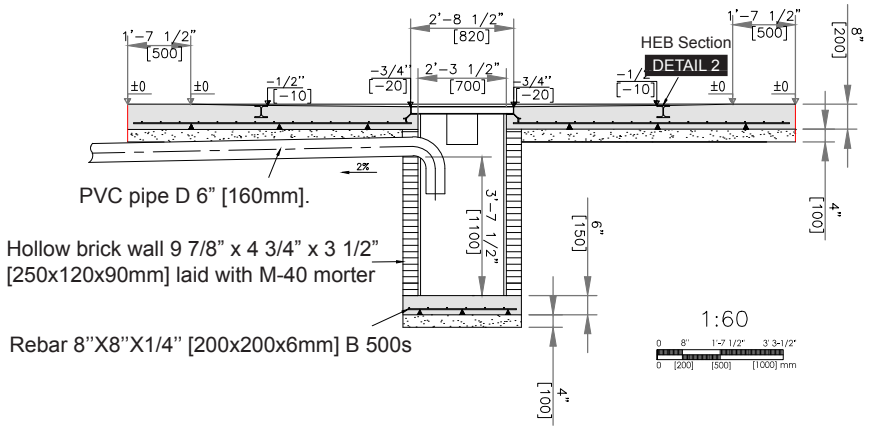
Measurements in ft-in [mm]

	CONCRETE BED thickness=8"[200mm]. CONCRETE FCK=3625 PSI [25 n/mm ²] and Rebar 8"x8"x1/4" [200x200x6mm] B 500s
	Graded crushed compacted aggregate Thickness=4" [100mm]

SECTION B - B'



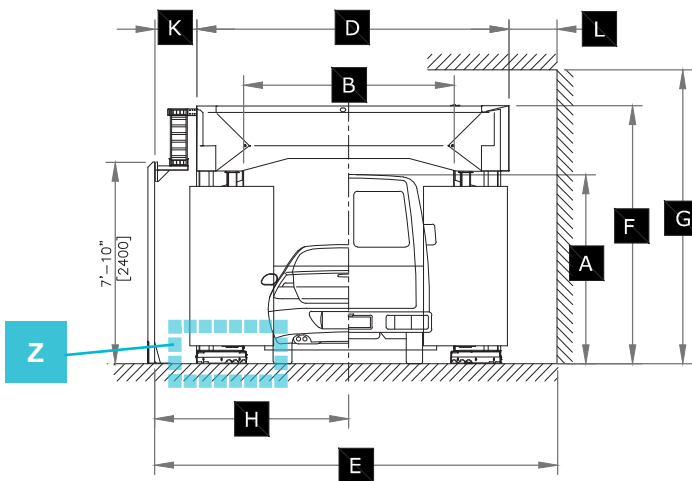
SECTION C - C'



Surface of bay treated with non-slip finish. Any guarantees as to the dimensions of the concrete beds depend on the floor being properly compacted.
The dimensions of the frames and grates can be seen in the "Frames and grates" section.

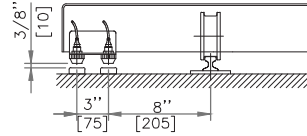
Dimensions

Measurements in ft-in [mm]



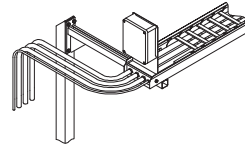
Detail Z

Between rails:
10'-6" ± 1/4" [3190 ± 5mm]

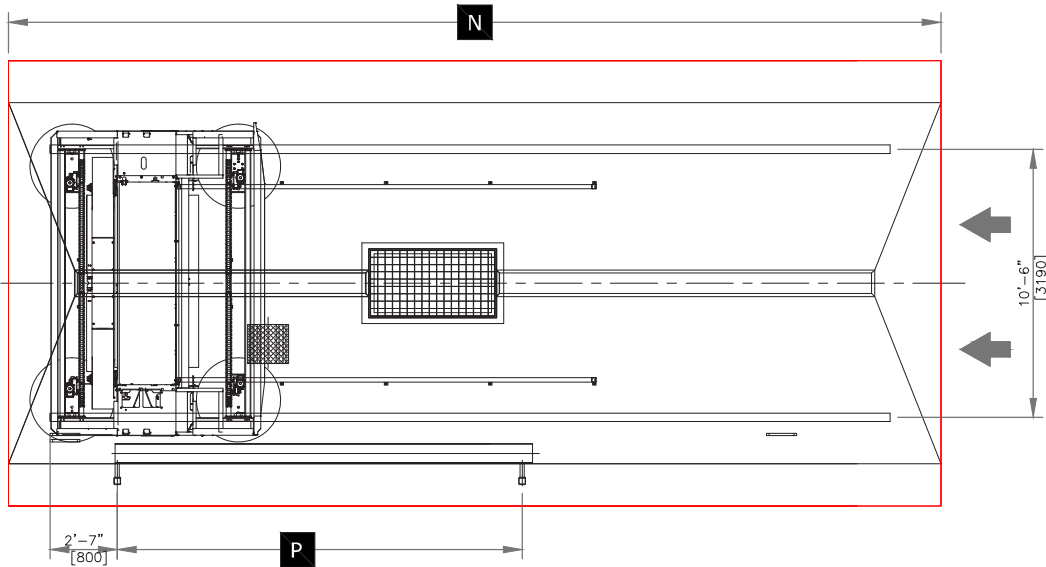
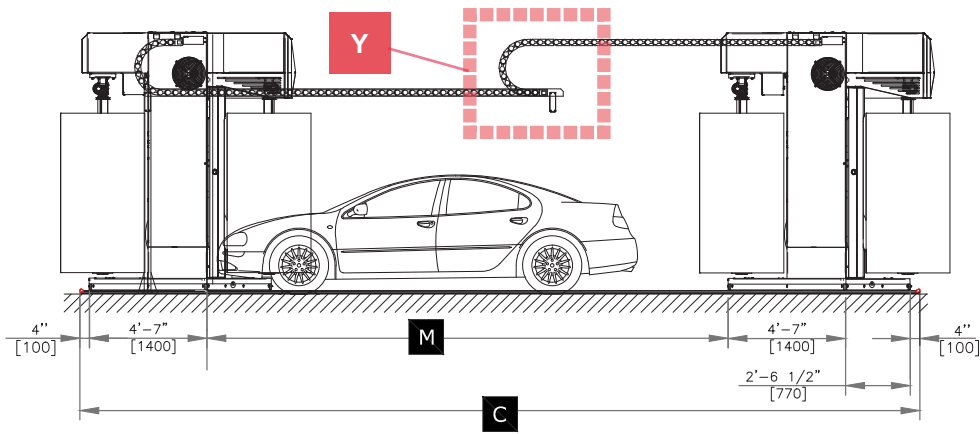
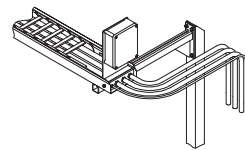


Detail Y

Left side connection



Right side connection



1:90
0 5' 10' 15' 20' 25' 30'
0 1500 3000 4500 6000 mm



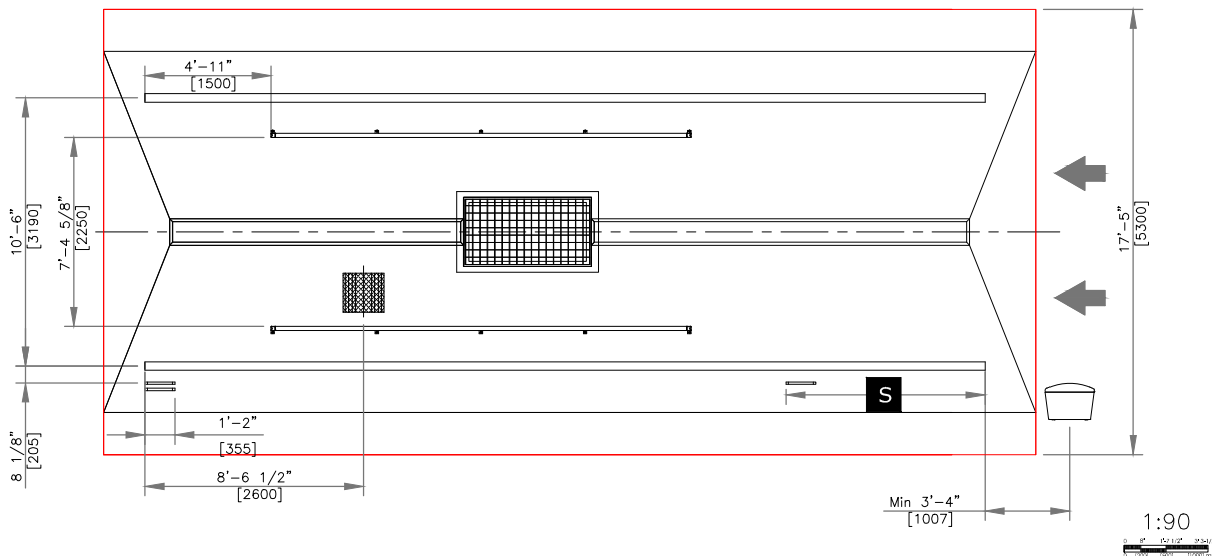
The distance between the underside of the foot and the floor must not exceed 3/8" [10mm].

MAX. VEHICLE HEIGHT 7'-7" [2300mm]

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	Minimum	14'-1" [4300]	14'-1" [4300]
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G	Enclosure headroom	Recommended	11'-6" [3500]
		Minimum	10'-4" [3150]
H	Recommended	7'-11" [2410]	7'-11" [2410]
	Minimum	7'-2" [2190]	7'-2" [2190]
	Without cutting supporting arm	9'-3" [2814]	9'-3" [2814]
J	Height service line	7'-10 1/2" [2400]	7'-10 1/2" [2400]
K	Recommended	1'-8" [500]	1'-8" [500]
	Minimum	1" [280]	1" [280]
	Without cutting supporting arm	3' [904]	3' [904]
L	Recommended	1'-8" [500]	1'-8" [500]
	Minimum	8" [200]	8" [200]
M1	Max. vehicle length with vertical and horizontal scrub	20'-8 7/8" [6320]	24'-1/4" [7320]
M2	Max. vehicle length with horizontal scrub only	24'-7" [7500]	27'-11" [8500]
P	Between centres of posts	15'-10" [4820]	17'-5" [5320]
N	Bay length	36'-5" [11100]	39'-8" [12100]

Parts

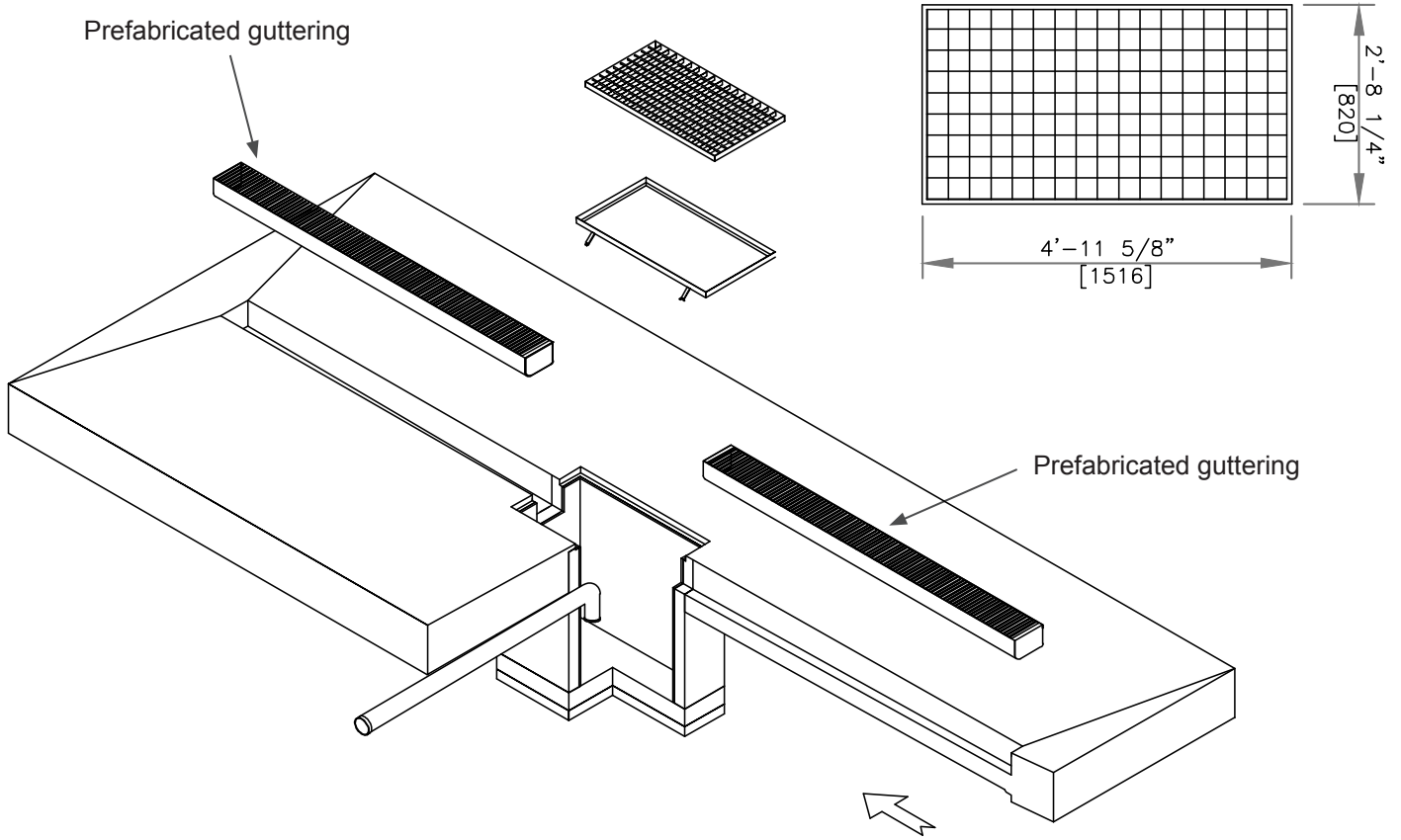
	Machine with 3 brushes	Machine with 5 brushes	
S	Detection ramp end of bay.	4'-9 7/8" [1470]	7'-9 1/4" [2370]



Measurements in ft-in [mm]

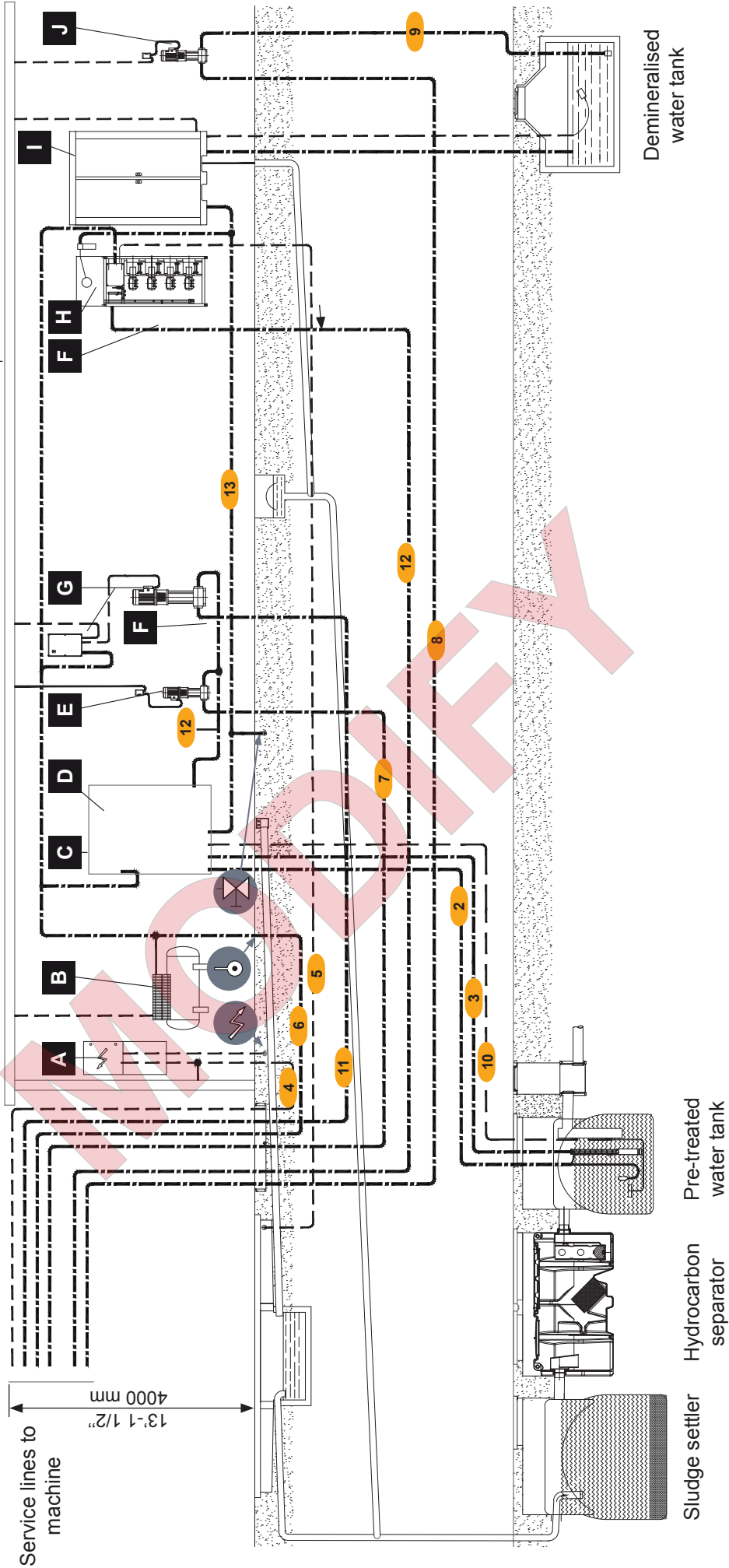
- Grate with frame 2'-8 1/4"x4'-11 5/8" [820x1516 mm] ref. 2375600 (optional)

Measurements in ft-in [mm]



Pipes and service lines

Dado trunking
5 7/8" x 2 3/8" [150x60mm]






Service lines to machine
4000 mm
13.1-11/2"

Sludge settler Hydrocarbon separator Pre-treated water tank Demineralised water tank

*** LAYOUT DEPENDS ON RECYCLER TYPE**

		UNDERGROUND PIPEWORK	HOSES AND BRAIDED HOSES
A	Electrical distribution cabinet	Flexible PVC pipe D 1 1/2" [50mm]	High pressure braided 1"
B	Compressor	Flexible PVC pipe D 1 1/2" [50mm]	Level detector cable recycled water
C	Physical recycler 176.6 ft ³ /h [5m ³ /h]	Flexible PVC pipe D 1 1/2" [50mm]	Polyethylene pipe D 1" [32mm]
D	132.1 gal [500 L] stainless steel tank (optional if recycler is not installed)	Flexible PVC pipe D 4" [110mm]	Electricity supply to machine (appropriate to the optional extras installed)
E	Recycled water pump	Flexible PVC pipe D 1 1/2" [50mm]	Polyamide pipe D 1/4" [6mm] (4 units)
F	2-way distributor 30UQ000 from 4026400	Flexible PVC pipe D 1 1/2" [50mm]	Air supply to machine
G	Underchassis wash pump (with power switching)	Flexible PVC pipe D 1 1/2" [50mm]	Polyethylene pipe D 1" [32mm]
H	High pressure wheelwash pump 1160,3 PSI [80bar]	Flexible PVC pipe D 1 1/2" [50mm]	Polyethylene pipe D 1" [32mm]
I	Reverse osmosis demineraliser unit 1479,4 gal/24 horas [5600 L/24 horas]	Flexible PVC pipe D 2 1/2" [75mm]	Polyethylene pipe D 1 1/4" [40mm]
J	Demineralised water pump	Flexible PVC pipe D 1 1/2" [50mm]	Polyamide pipe D 1/4" [10mm]
		Flexible PVC pipe D 1 1/2" [50mm]	Variopress hose 3/4"x1 1/8" [19x29 mm] 290.08 PSI [20 bar]
		-	Polyethylene pipe D 1 1/4" [40mm]
		-	Polyethylene pipe D 1" [32mm]

	Electricity supply	Run the electrical line underground to the main distribution board through a D 4" [110mm] flexible PVC hose. Calculation of the wire size of the main electricity supply depends on the sum of simultaneous currents (use the electrical data table) it should be 3F + PE for 208 V. Length of the cable along the ground = 13' - 1 1/2" [4000mm]. Prepare the electrical cabinet in accordance with the optional extras installed.
	Water supply	Run the mains water line underground through a 1 1/2" [50mm] pipe DIN 2440 with a minimum flow rate of 1320,9 gal/h [5000 L/h] and 43,5 to 87 PSI [3 to 6 bar] of pressure. Depth of the pipes underground 1 1/2" [100mm] approx. All polyethylene pipes must stand at least 142,1 PSI [10 bar] pressure. The length of the suction pipe must not exceed 32' - 10" [10000 mm] and the suction depth must not exceed 9' - 10" [3000 mm].
	Air supply	Minimum pressure 101,5 PSI [7 bar] Minimum specifications of air compressor, for rollover installation: Power: 2.01 HP [1.5kW] / Capacity: 26.42 gal [100L] / Flow rate: 81.89 gal/min [310 L/min] / Pressure: 145.04 PSI [10 bar]
	Waste disposal stages	Waste disposal stages; see book ref: 32EB500 Physical recycler; see booklet ref: 32UZ900 Biological recycler; see booklet ref: 30XE400

Electrical data

Installed on machine

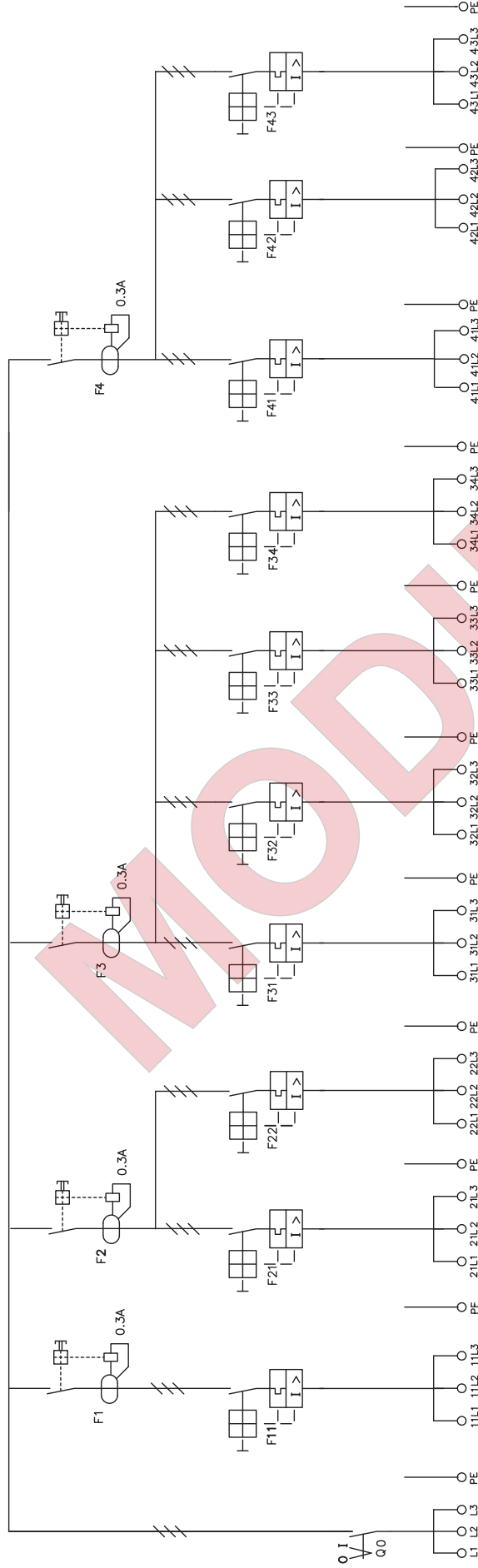
Model	Description	Power HP [kW]	208 V Current Simultaneous A	Sum currents Simultaneous A
3 BRUSHES	Rollover (no dryer)	4.69 [3.5]	17.2	
	Rollover (top dryer 2x5,36hp)	12.72 [9.49]	38	
	Rollover (top dryer 2x5,36hp + side dryer 2x4hp)	20.76 [15.49]	61	
	Rollover with Smart Flow dryer + side dryer 2x4hp	15.40 [11.49]		
5 BRUSHES	Rollover (no dryer)	6.65 [4.96]	24.4	
	Rollover (top dryer 2x5,36hp)	12.72 [9.49]	38	
	Rollover (top dryer 2x5,36hp + side dryer 2x4hp)	20.76 [15.49]	61	
	Rollover with Smart Flow dryer + side dryer 2x4KW	15.40 [11.49]		
33DP600	Heater 3.17 gal	8.04 [6]	15	
4300200	Heater products column	0.67 [0.5]	2	
Values for calculating main supply			Total amperes	

On the machine

Model	Description	Power HP [kW]	208V		208 V Current Simultaneous A	Sum currents Simultaneous A
			Wire size	AGL		
	Rollover	(*)	(*) x3F+PE AWG	(*)	(*)	
33HR800	Water pump (1st water) 53.5 PSI 37 gal/min	2 [1.5]	x3F+PE 14 AWG	10	6	
33HS600	Water pump (2st water) 53.5 PSI 33 gal/min					
33HS900	Water pump 145 PSI 23,8 gal/m	4 [3]	x3F+PE 13 AWG	16	11.5	
33HT600	Water pump 217,6 PSI 31,7 gal/m	7.4 [5.5]	x3F+PE 11 AWG	25	20	
33YC700	Water pump 1160,3 PSI 11,1 gal/m	8 [6]	x3F+PE 9 AWG	32	24	
31XK100	Water pump 1160.3 bar 22.2 gal/m	16.1 [12]	x3F+PE 7 AWG	50	36	
	Physical recycler 176.6 ft ³ /h	6.7 [5]	x3F+PE 11 AWG	25	18	
	Biological recycler 211.8 ft ³ /h					
4DA	Osmosis unit (with optional extras)	8 [6]	x3F+PE 11 AWG	25	22	
	Compressor 2 hp (min.)	2 [1.5]	x3F+PE 14 AWG	10	6	
Values for calculating main supply					Total amperes	

Electrical distribution cabinet

Not supplied by Istobal



	230 / 400 V	ROLLOVER	PUMP 1ST WATER	PUMP 2ND WATER	WATER PUMP 145 PSI 23.8 GAL/M	WATER PUMP 217.6 PSI 31.7 GAL/M	WATER PUMP 1160.3 PSI 11.1 GAL/M	WATER PUMP 1160.3 PSI 22.2 GAL/M	RECYCLER UNIT	OSMOSIS UNIT 4DA	COMPRESSOR
	Q0	F1	F2	F22	F3	F31	F32	F33	F4	F42	F43
208V	*	**	25A	10A	**	16A	25A	32A	**	25A	10A
Switch feature		0.3	0.3	DIVQ (UL)	DIVQ (UL)	DIVQ (UL)	DIVQ (UL)	DIVQ (UL)	DIVQ (UL)	DIVQ (UL)	DIVQ (UL)

* The gauge of these devices will depend on the value in amperes defined as "main supply" by the sum of the simultaneous currents.

** The gauge of the differential circuit breaker will depend on the sum of the simultaneous currents on the same line.

PURWATER™ WATER RECOVERY SYSTEM

PW-FS3AS Series (60GPM)

Features:

- Self Priming Pump
- High Efficiency Cyclonic Separator
- 70 Micron Water Output
- Air Sparger
- Stainless Steel Frame
- Control Signal Activation
- ETL Approved



Water Requirements

PVC	(2) 2" PVC Suction lines, one for use and one for spare, to come up from settling tanks to the right of the recirculation with 2" PVC full flapper check valves at end, 2" unions above water line. (1) 2" line out to the wash manifold. (1) 1" Line to return to the second chamber of the first reclaim tank for air sparger. (1) 1" freshwater line (40PSI) to the right of the system four feet up from the bottom of the floor. (1) 1" Line to return to the catch basin or first incoming reclaim tank for the underflow of the PurWater succession filters.
Reclaim Maximum Output	60 GPM
Reclaim Pump	3 HP - Amp draw at (208/230 Volt = 8.5) / 3 HP - Amp draw at (460/480 Volt = 4)
Pump Voltage	208-230 Volts or 460-480 Volts (depending on site specifications)
Dimensions	48" Wide X 54" Tall X 21" Deep
Net Weight	400 Lbs. (including crate)

Electrical Requirements

Reclaim Pump and VFD	(1) 208/230 Volt 30 Amp or 460/480 Volt 20 Amp Three phase circuits to be hard wired 5 feet up from the floor to the right of the system.
Control Voltage for (PLC) Logic Controller and Ozone	(1) 120 Volt 20 Amp Single phase
Conduit	(1) 1" Conduit from reclaim equipment control box to front of the last tank (for floats). (1) .5" Conduit from each carwash equipment control box to send a control voltage signal to PurWaters repressurization power box. Control wiring from carwash controller (110V is default, 110vac, 24vac and 24vdc avail.) to be wired into control box on frame.
Tank Configuration Recommendation	Double tank configuration (oil/water separator may be required - please check with your local municipality)

EXHIBIT IV-F

REVISED 8/26/21

SPECIAL EXCEPTIONS NARRATIVE

CERAMIC COATING FOR CARS.

- ALL WORK IS GENERATED BY APPOINTMENT ONLY/NO WALK IN SERVICE
- ALL WORK WILL BE DONE INSIDE
- CARS ARE CLEANED (CURRENTLY BY HAND OR RAN OVER TO A CAR WASH) AND IS THE REASON FOR THE REQUESTED CAR WASH)
- CARS ARE BUFFED TO REMOVE IMPERFECTIONS IN THE PAINT.
- CARS THEN GET APPLIED CERAMIC COATING. THIS COMES IN A JAR AND IS IN A LIQUID FORM. IT IS APPLIED BY HAND WITH A SOFT SPONGE AND EXCESS IS REMOVED WITH A MICRO FIBER CLOTH.
- THIS PROCESS TAKE ABOUT THREE DAYS PER CAR, THUS NON CUSTOMER WAITING IS REQUIRED.

THIS PROCESS DOES NOT PRODUCE WASTE PRODUCTS OF FUMES AS PART OF THE WORK.

TOOL AND MATERIALS REQUIRED (SEE BELOW)

- BUFFER AND COMPRESSOR
- SPONGE
- MICROFIBER CLOTHS
- GOOD LIGHTING
- PLACE TO WASH CAR
- INDOORS/OUT OF THE SUN LOCATION
- CERAMIC COATING



CERAMIC MAINTENANCE FOR CARS

JUST BECAUSE YOU HAVE THIS HIGH TECH COATING DOES NOT MEAN YOU ARE BULLET PROOF.

- CARS CANNOT BE WASHED WITH A "BUSH" CAR WAS AS IT DAMAGES THE COATING. CARS NEED TO BE WASHED BY HAND OR WITH A TOUCH-LESS CAR WASH SYSTEM. THUS THE REASON FOR THE TOUCHLESS CAR WASH.
- PERIODIC TOUCH UP AND RE-APPLICATION DUE TO INCIDENTS ARE REQUIRED. EXAMPLE OF AN INCIDENT IS A DING.

TOOL FOR MAINTAINING A CERAMIC COATED VEHICLE

- A TOUCH LESS CAR WASH. THE CLOSEST TOUCH LESS CAR WASH ACCEPTABLE FOR A CERAMIC COATED CAR IS ABOUT 30 MINUTES AWAY.
- THIS CAR WAS IS FOR CUSTOMERS ONLY AND IS NOT OPEN TO THE GENERAL PUBLIC. THIS IS NOT A DRIVE THRU STYLE CAR WAS EITHER.
- THE CAR WASH SHOULD ONLY TAKE 30 MINUTES.
- CERAMIC COATING TOUCH UPS VARY DEPENDING ON SEVERITY

OTHER CONVENIENCE TOOLS

- CAR VACUUM USED AS PART OF THE INTERIOR DETAIL WORK.
- WORK BENCH
- WASHER AND DRYER FOR MICRO-FIBER CLOTHS
- CABINETS
- GREAT LIGHTING.

ALL THE TOOLS WE USE ARE LESS INTRUSIVE AND LESS NOISY THAN THE WORK SHOP THAT IS NEXT DOOR TO US.

MOVING CARS IN THE SPACE OR IN AND OUT OF THE SPACE

- WHEEL CASTER



D. WHETHER THERE EXIST CHANGED OR CHANGING CONDITIONS THAT MAKE APPROVAL OF THE REQUEST APPROPRIATE

YES, WE BELIEVE THAT THERE EXISTS CHANGES THAT DEFIANTLY MAKE THIS REQUEST APPROPRIATE. THE NUMBER OF HIGH INCOME RESIDENTS WITH MULTIPLE HIGH-END VEHICLES IS FAR ABOVE AVERAGE FOR THE STATE AND THE COUNTY.

Bonita Springs Net Worth Distribution



THE USE REQUESTED IS THE RESULT OF A NEED, AND ECONOMICS, ESPECIALLY FOR A WEALTHY BASED RESIDENT DEMOGRAPHIC, AS NOTED ABOVE. MANY ARE RETIRED WITH DISPOSABLE INCOME, WHICH ALLOWS THEM TO AFFORD LUXURY VEHICLES.

ONE OF THE OTHER CHANGES IS THAT TECHNOLOGY HAS CHANGED THE CAR DETAILING BUSINESS. THE OLD POLISHING WAX HAS EVOLVED TO A NANO TECHNOLOGY LIQUID CALLED CERAMIC COATING. **Ceramic protectants (coatings)** provide a much higher durability than **wax**. They resist heat, UV rays, environmental contaminants & harsh detergents much better than **wax**. **Wax** on the other hand simply sits on top of the paint's surface. It does not create the chemical bond like we find with **ceramic coatings**. This allows owners of expensive cars, a way to protect their investment and enjoy the car longer.

E. WHETHER THE REQUEST IS CONSISTENT WITH THE GOALS, OBJECTIVE AND POLICIES OF THE BONITA PLAN

WE HAVE READ THE BONITA PLAN AND WE BELIEVE THAT WE ARE 100% CONSISTENT WITH THE GOALS, OBJECTIVES AND POLICIES AS STATED IN THE DOCUMENT. SEE ITEM 23

F. WHETHER THE REQUEST MEETS OR EXCEEDS ALL PERFORMANCE AND LOCATIONAL STANDARDS SET FORTH FOR THE PROPOSED USE

WE ACTUALLY EXCEED THE STANDARDS FOR THE PROPOSED USE. THE PROPOSED USE IS NOT A HIGH VOLUME DETAILS SHOP BECAUSE WE USE STATE OF THE ART CERAMIC COATINGS WHICH REQUIRED MORE ATTENTION AND MAINTENANCE OVER TIME TO MAINTAIN THE PRODUCT PERFORMANCE. THE CAR WAS IS NOT FOR THE GENERAL PUBLIC AND IS NOT A HIGH VOLUME DRIVE THRU TYPE. GENERALLY CAR WASHES ARE HIGH VOLUME AND REQUIRE A QUEUING LANE FOR ACCESS. THE SERVICES AS PROPOSED WILL BE LIMITED AND WILL REMAIN INSIDE. THEREFORE IT IS NOT HIGH VOLUME AND DOES NOT NEED A QUE LINE FOR SERVICE.

G. WHETHER THE REQUEST WILL PROTECT, CONSERVE OR PRESERVE ENVIRONMENTALLY CRITICAL AREAS AND NATURAL RESOURCES.

AS THIS FACILITY IS ALREADY BUILT, IT WILL NOT IMPACT CRITICAL AND OR ENVIRONMENTAL SENSITIVE AREAS. WE ARE ALSO PROPOSING THE LATEST STATE OF THE ART, SELF-CONTAINED SYSTEMS TO PROTECT THE ENVIRONMENT.

H. WHETHER THE REQUEST WILL BE COMPATIBLE WITH THE EXISTING PLANNED USES.

THE USES IN THIS DEVELOPMENT, WHILE NOT BEING A "PURE" INDUSTRIAL PARK, DOES HAVE INDUSTRIAL USES AS PART OF THE MAKEUP OF TENANTS (SEE ITEM 26 FOR ADJACENT NEIGHBORS AND USES). WE BELIEVE THAT BECAUSE THE PROPERTY DOES ALLOW FOR THIS USE AS A SPECIAL EXCEPTION, THAT IT WAS ANTICIPATED BEING COMPATIBLE. BY LOOKING AT THE INTERNAL USES THAT ARE EXISTING, THIS USE IS COMPATIBLE AND ALSO WILL MOST LIKELY BE USED BY SOME OF THE EXISTING TENANTS. AN EXAMPLE OF THIS COULD BE THE UNIT M-5 WHICH IS CURRENTLY REQUESTING ON LINE HIGH END AUTO SALES.

I. WHETHER THE REQUEST WILL CAUSE DAMAGE, HAZARD, NUISANCE OR OTHER DETRIMENT TO PERSONS OR PROPERTY.

THE REQUEST WILL NOT CAUSE DAMAGE, HAZARD, NUISANCE OR OTHER DETRIMENT TO PERSONS OR PROPERTY. WE ARE LESS NOISY, AND CREATE LESS WASTE THAN MANY OTHER TENANTS. AN EXAMPLE, THERE IS A HANDY MAN SHOP WITH ALL TYPES OF LOUD CONSTRUCTION MACHINERY THAT RUNS ALL DAY LONG AND IS AN ALLOWABLE USE.

J. WHETHER A REQUESTED USE WILL BE IN COMPLIANCE WITH ALL GENERAL ZONING PROVISIONS AND SUPPLEMENTAL REGULATIONS PERTAINING TO THE USE AS SET FORTH IN THE LDC CHAPTER 4

THE REQUESTED USE WILL BE IN COMPLIANCE WITH ALL GENERAL ZONING PROVISIONS AND SUPPLEMENTAL REGULATIONS PERTAINING TO THE USE AS SET FORTH IN THE LDC CHAPTER 4. WE HAVE ALSO REVIEW THE FLORIDA BUILDING CODE AND WILL BE IN FULL COMPLIANCE WITH IT, ESPECIALLY SINCE THE VEHICLES WILL NOT BE TURNED ON WHILE INDOORS. WE HAVE SPOKEN WITH BONITA SPRINGS UTILITIES AND HAVE AN EMAIL OF GENERAL APPROVAL FOR THE CONCEPT FROM THEIR PERSPECTIVE.

WE HAVE ALSO READ THE BONTIA BEACH CORRIDOR OVERLAY AND HAVE APPLIED APPLICABLE TO THE INTENT AND CONCEPTS OF THE OVERLAY DISTRICT. MANY OF THE BBCO OBJECTIVES HAVE BEEN INTEGRATED INTO THE OVERALL DEVELOPMENT. WHILE WE ARE ONLY A SMALL PART OF THE DEVELOPMENT WE FEEL THAT WE ARE ADDING TO THE BBCO OBJECTIVES. WE WILL BE MAINTAINING AND ENHANCING THE CONCEPT OF PEDESTRIAN INTERCONNECTIVITY. WE ARE DOING THIS BY GIVING TOKENS FOR FREE DRINK/APPETIZER TO ENCOURAGING OUR CUSTOMERS TO WALK DOWN TO AND SUPPORT THE RESTAURANT IN THE COMPLEX. WE ARE MAINTAINING THE ARCHITECTURAL INTEGRITY OF THE BUILDING BY LOCATION THE ROLL UP WINDOW/DOOR THAT MATCHES THE OTHER WINDOWS.

OPERATIONS NARRATIVE

Narrative

Primo Detailing Studio is a high-end, luxury, boutique style detailing center that offers, paint correction and ceramic coating, and a touchless car wash. The touchless car wash will be only for “Primo Members” that set up an appointment to have their ceramic coated vehicle maintenance wash. Clients are required to set up an appointment in order to have their car maintenance through the touchless car wash. This narrative is to describe step by step, from start to finish of the washing a ceramic coating process.

Applying Ceramic Coating

1. Client makes appointment (between 9 am and 4 pm)
2. Client shows up for appointment, client does not drive car in or out of the unit. A Primo technicians will be putting the car on “wheel dollies” in order to safely pull in and out the car of the unit.
3. Cones will be set up outside of the garage door for any pedestrians walking across the walkway if needed.
4. After client is greeted, and we go over what service is going to be provided, the garage door is open, the car then enters the touchless car wash on wheel dollies. Once the car enters the

building the garage door closes. The car will not be on while inside the unit to eliminate any fumes from the exhaust.

5. Client does not wait at the unit; this application of ceramic takes a minimum of 3 overnights to complete.
6. The car is then pushed into the touchless car wash by Primo technicians and the wash process starts. The washing facility is fully enclosed so that no spray goes outside the enclosed structure.
7. When car is finished being washed, the car is then pushed (with the car still on the wheel dollies into a designated spot within the unit to start the compounding/polishing process. Once it is in the designated spot, the dollies are removed to make the car stable.
8. The compound and polishing process uses a random orbital buffer, with either a foam pad or a microfiber pad. The compound or polish is then applied to the buffing pad. Technician then starts to remove any imperfections from the clear coat one car panel at a time.
9. Once Primo has removed all the imperfections from the clear coat, the application of ceramic is applied to all exterior surfaces of the vehicle. Ceramic coating is a liquid, not a paste
10. Ceramic is applied by hand with a square microfiber pad. The ceramic is applied to the microfiber pad and applied to each panel working in 4X4 sections of the car. Once the ceramic is applied to a section of the panel, it is then wiped off with a high pile microfiber towel to remove any excess
11. This is done to the exterior of the car until all exterior surfaces are completed.
12. The microfiber pad is then thrown out when done being used and same with the microfiber towels.
13. Once the bottle of ceramic is finished and there is no product left in the bottle, the bottle is then thrown out. There is no excess product.
14. Once the ceramic application is complete, the car then has to sit in same spot overnight to cure enough to drive the next day.
15. When we call the client, we set up a time and a day to pick up. Once this is achieved and agreed upon, the car is then put back on wheel dolly's and pushed by Primo technicians, cones set up for any pedestrians crossing and then parked in designated finish spot
16. Client and Primo technician go over exterior of car to make sure client is happy and our quality is second to none.

Ceramic Coated Wash Maintenance

1. Client makes appointment
2. Client arrives at designated time and at Primo's designated parking spot. Primo then removes "removable" car stop
3. Primo technicians then put the car on "wheel dollies" in order to safely pull in and out the car of the building.
4. Cones can be set up outside of the garage door for any pedestrians walking across the walkway.
5. After client is greeted, and we go over what service is going to be provided, the garage door is open, the car then enters the touchless car wash on wheel dollies. Once the car enters the building the garage door closes. The car will not be on while inside the unit to eliminate any fumes from the exhaust.
6. Client is then given a "token" to enjoy a complimentary drink or appetizer at the industry a couple doors down or can wait in shop

7. Touchless Car Wash process starts on car
8. Garage door is then opened, putting the cones outside if needed, while another Primo technician watches to see if there are any pedestrians walking past
9. When touchless car wash process is finished, the car is then pushed back out to the garage door on dollies and delivered back to the primo parking spot. The car stop is put back in place and the dollies are removed
10. The vehicle is then parked in an undetermined parking spot when finished so Primo spot is left open to repeat again when needed
11. We call the client to have them pick up the car
12. The whole process is repeated with next client that makes appointment

PLEASE SEE ITEMS 22 AND 24 FOR ACCESS DIAGRAMS AND CONCEPTUAL FLOOR PLANS

EXHIBIT IV-H

REVISED 8/26/21

TRAFFIC IMPACT STATEMENT

WE HAVE/WILL BE SUBMITTING FOR A WAIVER AS THIS USE IS NO MORE INTENSE THAN EXISTING APPROVED USES.

OPERATIONS NARRATIVE:

The function will be used as a high-end hand applied ceramic detailing and after care center for ceramic coated vehicles. The proposed use on the southeast side of the building is a touchless car wash specifically designed and built for ceramic coated vehicles. The touchless car wash purpose is to maintain our high-end client's ceramic coated vehicles as they have to use a brush-less washing system. This will only be by appointment only, boutique style setting. The north side of the building will be for our initial installation of ceramic coating and the vehicles annual maintenance for ceramic coating. Even though our after-care ceramic solutions are by appointment only, our proposed hours are Monday-Saturday 8:00am-5:00pm, Sunday Closed. Including the owner, there will be approximately 4-5 people employed. Hours of appointment will be between 9 am and 4 pm.

Only one car could be worked on in the touchless car wash. From start to finish, vehicle will be clean and dry in 15 -20 min. Installation of ceramic varies by make model and size of vehicle. We take pride in our work, sometime we will be working on a car for 2 days but max we will be working on a car is 4 days. There will be no heavy or even light traffic going in and out since we are a quality shop not a quantity shop. Keep in mind, this is an appointment-based operation, there will be no increased traffic due to this operation. No client can walk in off the street and get service. These clients will be turned away and an appointment will be set at a later date. In this space we could work on 3 vehicles at once but no more on the north side, and one at a time in the touchless car wash.

There will be no peak hours or days due to appointment based operation, since clients will be spread out throughout the week to ensure our quality is maintained.

Please see items 22 and 24 for access diagrams and conceptual floor plans

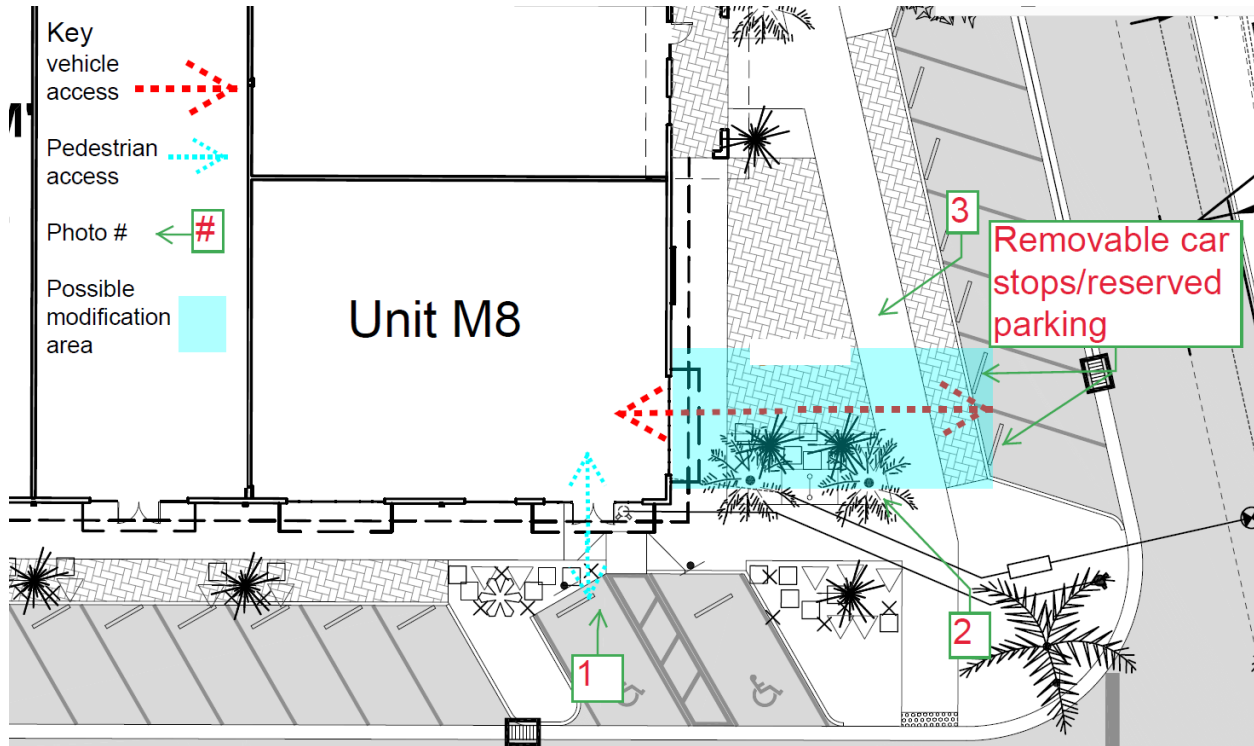
The purpose of our company vehicles is used for offsite detailing/washing services from Primo Detailing Studio. There are only two company vehicles.

WHAT WE ARE PROPOSING IS MUCH LESS THAN WHAT WAS ASSUMED IN THE TIS
ATTACHED ARE BOTH PHASE I AND II TIS DOCUMENTS

ITEM 22

REVISED 7/27/21

AREA PLAN



Area Requested modifications*

- Removable car stops
- Reserved parking/8-5
- Roll up window to match existing
- Sub-surface modifications' for added vehicle weight if needed

* Cars will be put on casters and pushed into/around and out of the facility.
Cars will not be turned on inside the building

Pictures



1 Existing pedestrian access doors-M8



2 Picture looking south west (existing buffering)



3 Picture looking south (before and after- no change to plan or elevations)

ITEM 23

REVISED 7/27/21

PLAN COMPLIANCE

First I would like to note that the property in question is a condo located in a larger development that has already gone through the reviews for both the Bonita Beach Road Corridor Overlay and the Bonita Plan, so I will only dwell on items related to this use.

FUTURE LAND USE ELEMENT

BONITA SPRINGS TOMORROW: THE VISION

Their vision and sentiment is that the future City of Bonita Springs should be:

3. A "walkable" community that is pedestrian friendly, with interconnecting sidewalks, pathways, and publicly available transit systems accessing all neighborhoods. Vehicular traffic should move easily through a continuous, attractive street system with planted medians, featuring flowering indigenous landscape and strategically placed statuary. Welcoming features should clearly announce to travelers the location of the City limits. U. S. 41 and Bonita Beach Road should be beautiful commercial parkways to be enjoyed by Bonita Springs residents as well as those traveling through the City.

We are not changing any of the above items. As far "walkable" with this special exception, we are not changing any of the approved sidewalks and other connections to and from the site.

GOALS, OBJECTIVES AND POLICIES

Goal 1: A balanced land use pattern that promotes a high quality of life and allows for a variety of land uses, densities and intensities and the preservation and stabilization of existing neighborhoods; encourages mixed use development; promotes an efficient transportation system; preserves the natural environment and economic vitality of the community; and, is consistent with the availability of essential services.

Response:

The service that are provided by Primo fill a need and promotes high quality of life in the area. As an immersing service industry/use category that is at this time geared towards helping protect and maintain high end cars for the high-end residents of the area such as Mediterra, Bonita Bay etc. The location is centrally located to service all the major higher end communities in the area.

Objective 1.16: Bonita Beach Road Corridor and Bonita Beach Road Corridor Quadrant Map:

Policy 1.16.4: Promote use of aesthetically pleasing architectural standards, accessory structures, and additional hardscape and landscape features to create a strong sense of place along Bonita Beach Road.

Response: this use at this location maintains the above goals as we are not changing anything.

Subdivision V. - Bonita Beach Road Corridor Overlay

Sec. 4-896. - Purpose and intent.

The intent of the Bonita Beach Road Corridor District is to guide future growth and redevelopment along the Bonita Beach Road Corridor within zones, quadrants, and nodes as identified in the Bonita Plan, Bonita Beach Road Visioning Study and Bonita Beach Road Land Use Report. The Bonita Beach Road Corridor District is intended to support urbanized development patterns that focus on human-scale development, an appropriate mixture of land uses, site design, interconnectivity, mobility, architectural standards, and a vibrant and aesthetically-pleasing streetscape.

This project and this use does support urbanized development patterns and is part of an interconnected system of sidewalks and roads that we are not changing.

Sec. 4-897. - Applicability.

(b)Provisions of this division shall apply to all development and redevelopment located within the geographical boundaries set forth in Figure 4-V-1 and further defined as minor development and major development, as follows:

(c)Minor development. For the purpose of this section, minor developments, are defined as:

(1)Projects requiring a Type 9/I limited review development order in accordance with [section 3-159](#); or

(2)Building expansion of more than 15 percent of the existing square footage, but less than 50 percent; or

(3)Building renovation or improvements performed over a period of five years that exceed 15 percent of the existing square footage and less than 50 percent of the current assessed value of the structure.

(4)Redevelopment of existing minor developments and structures are to be into compliance with the provisions of this subdivision. If the strict application of these regulations are deemed impractical or unfeasible the existing minor development project be brought into

conformity to the maximum extent possible. Request for this relief shall be made by the applicant, to the community development director, said request shall include an alternate plan, and this plan shall demonstrate compliance with the [section 4-896](#). If approved by the city manager or designee said plan may be substituted in part for the standards of this district.

(d)Major development. For the purpose of this section, major developments are defined as:

(1)New construction requiring local development order approval or an amendment to an existing development order (including large and small projects as defined in chapter 3; or

(2)Building expansion of more than 50 percent of the existing square footage; or

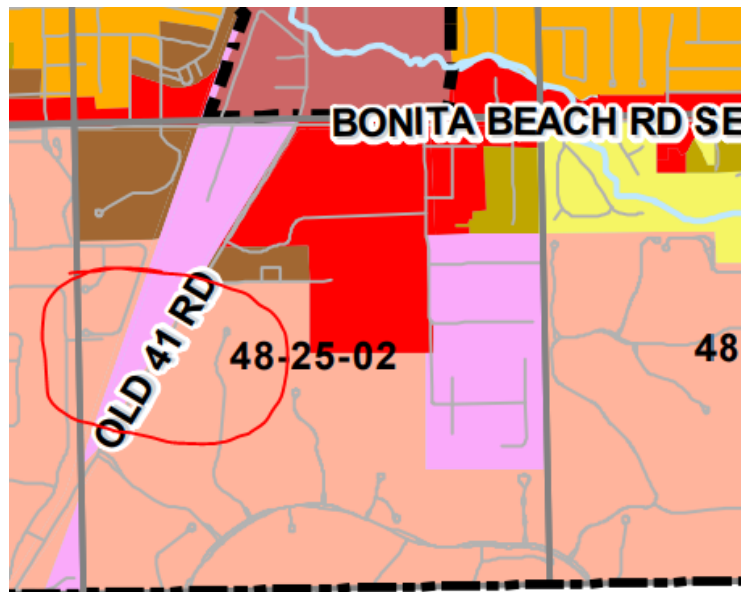
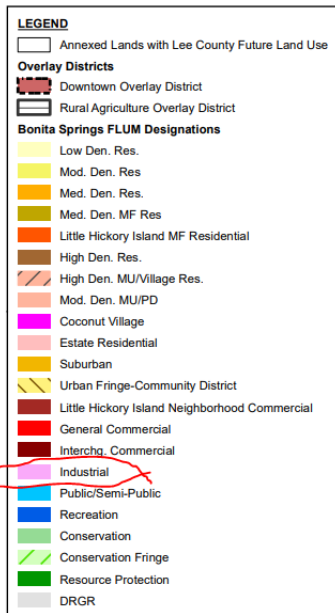
(3)Building renovation or improvements performed over a period of five years that exceed 50 percent.

(e)Projects that result in redevelopment or a **change in use** shall be subject to the regulations set forth in (b)—(c) of this section.

Response:

Based on the applicability standards above we are neither a minor or major development

Future Land Use Map/consistency



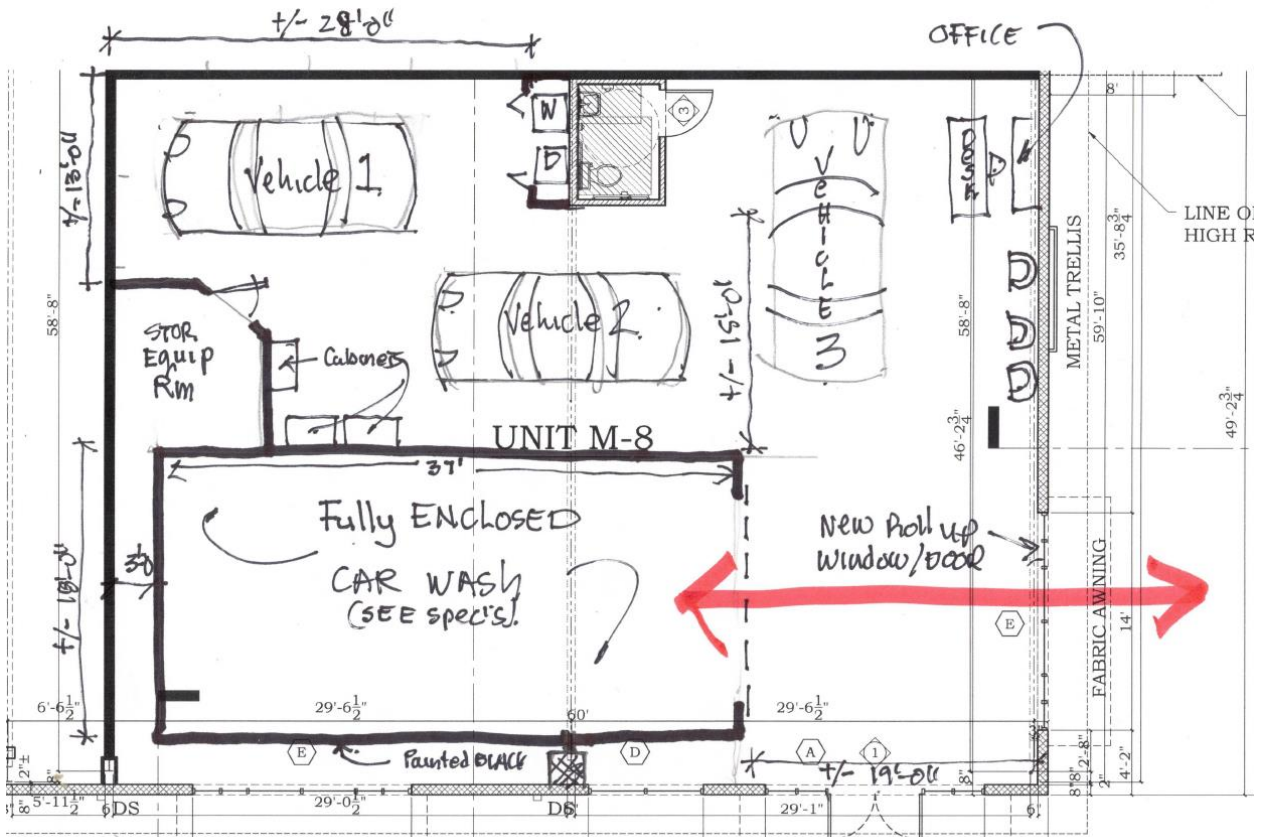
The principal use of any industrial planned development is the manufacture of goods and materials, and the storage and wholesale distribution of such goods and materials. However, for the welfare of the public and for the efficiency of the local economic structure, the IPD district permits many services and activities not allowed elsewhere.

We are one of those services/activities that fits well with the local economic structure of the community and for the community. This service is hard to locate because we are a newer type use that is not widely understood. As describe in this document we are of value to the local economic structure and we are compatible with industrial uses.

ITEM 24

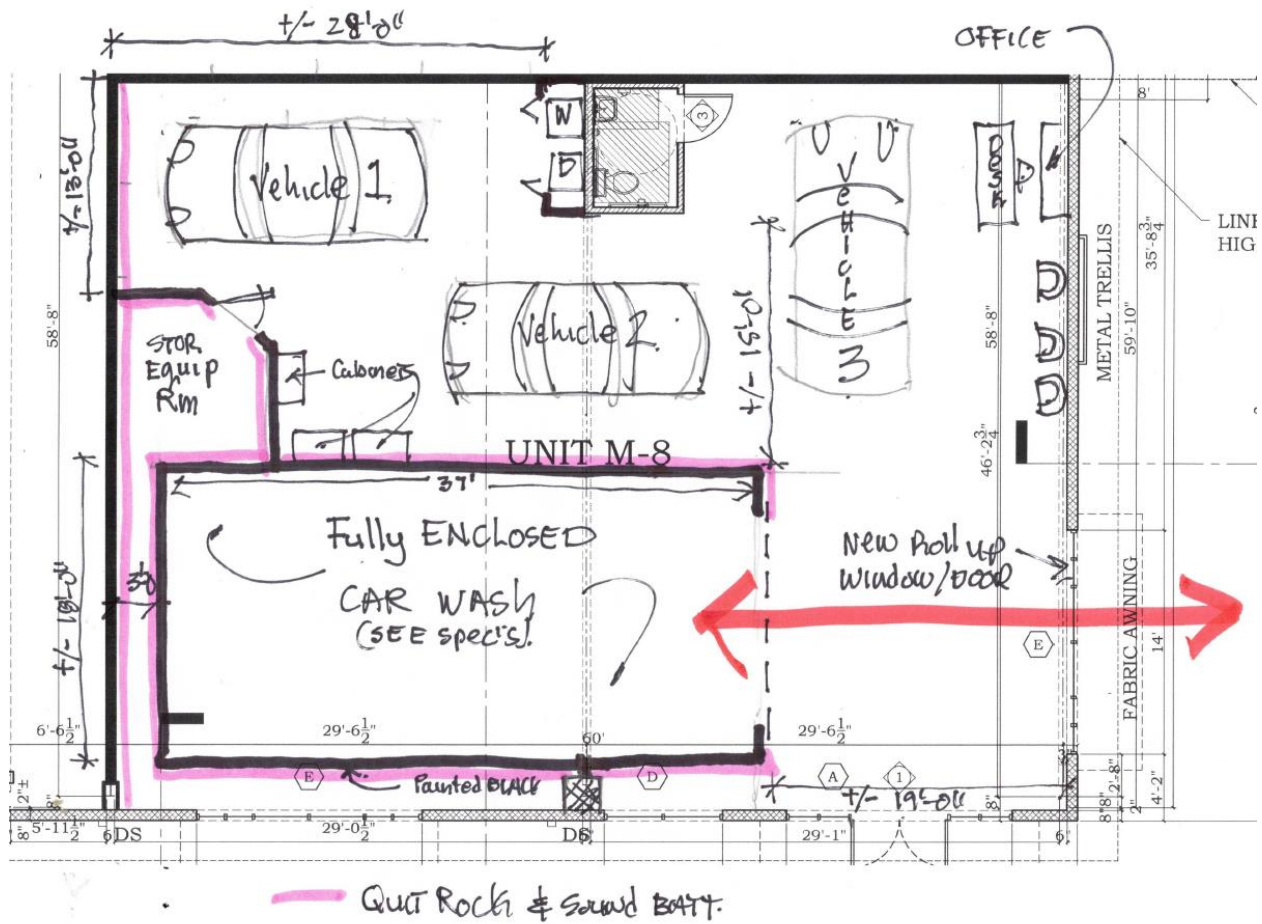
REVISED 7/27/21

PROPOSED FLOOR PLAN



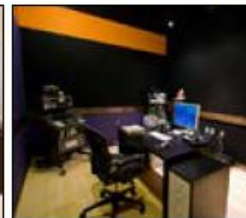
All cars are moved by hand and wheel casters, this include going in and out of the car wash. Engines will not be on during moves.

Proposed location of sound absorption material



See below for specifications of both quiet Rock and sound batt insulation (or equal).

QuietRock® 545



The **HIGHEST PERFORMING** Sound Reducing Gypsum Panel on the Market

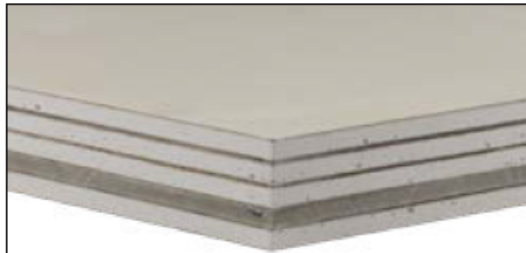
QuietRock® 545 is the only sound damping panel that is designed for maximum sound isolation across a broad frequency range. QuietRock® 545 is ideal for high-end home theaters, commercial theaters, professional studios, music rooms, and other projects where low-frequency mitigation is critical.



QuietRock® 545 Benefits

- Highest performing sound damping drywall available
- Exceptional low-frequency performance
- Maximum sound isolation across a broad frequency range
- Ideal for high-end home theaters, studios, commercial theaters, and other sound rooms
- Lab tested and proven to outperform older conventional sound isolation methods
- Offers high STC ratings, tested up to STC 80

QuietRock® 545



Multi-layer gypsum panel engineered to provide maximum sound attenuation across a broad frequency range. QuietRock® 545 can be used in any application where transmission loss performance is required at low frequencies - ideal for commercial theaters, home theaters, studios, and sound rooms.

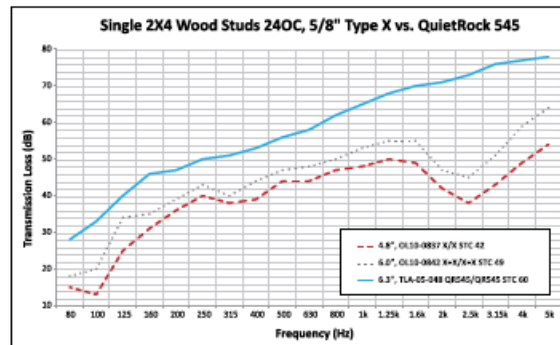
STC Comparison*

1 layer 5/8" gypsum per side	42
6" CMU	45
2 layers 5/8" gypsum per side	49
1 layer QuietRock® 545 per side	60

*in single wood stud construction (single 2x4 24" OC)

Product Specifications:

- Thickness:** 1-3/8" (34.9mm), tapered edge
- Width:** 4' (1220mm)
- Lengths:** 8' (2438mm)
- Weight:** 6.25 lbs/sqft
- STC-rated Assemblies (per ASTM E 90):** 60-80
- Permeability (per ASTM E 695-03):** 0
- Product Standards:** ASTM C 1396
- Installation Standards:** ASTM C 840; GA-214, GA-216



Common Wall Assemblies:

Wood Stud Walls		
<p>Single 2x4 wood studs, 16" OC - STC 49</p> <p>QuietRock® on one side Type X on the other</p>	<p>Single 2x4 wood studs, 16" OC - STC 54</p> <p>QuietRock® on both sides</p>	<p>Staggered 2x4 wood studs, 8" OC - STC 64*</p> <p>QuietRock® on one side Type X on the other</p>
<p>Single 2x4 wood studs, 24" OC - STC 56*</p> <p>QuietRock® on one side, Type X on the other</p>	<p>Single 2x4 wood studs, 24" OC - STC 60</p> <p>QuietRock® on both sides</p>	<p>Double 2x4 wood studs, 24" OC - STC 80</p> <p>Double layer QuietRock® on both sides</p>

* Estimated STC based on independent laboratory testing

The information contained in this document is for general purposes only. Features and specifications are subject to change. The diagrams and stated STC ratings are intended to serve as a guide. Construction practices have an influence on final STC ratings. Serious Energy cannot guarantee actual STC ratings. Flanking sound patterns, the integrity of the wall, and construction methods factor in effective sound control. Exposure to excessive or continuous moisture and extreme temperatures of 125°F (52°C) or more should be avoided. QuietRock should be stored flat in a dry area, under cover, on supported risers to prevent damage to product. Proper care should be taken while transporting, storing, applying and maintaining QuietRock.



PABCO® Gypsum | 37851 Cherry Street, Newark, CA 94560 | 1.800.797.8159 | www.PabcoGypsum.com | www.QuietRock.com | PN: 101-00045-011018
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Quiet Batt™ 30 Soundproofing Insulation

Quiet Batt™ 30 is a 3 in. premium, high-performance soundproofing and thermal insulation product designed for use in both interior and exterior walls, ceilings and attic applications. Quiet Batt™ 30 soundproofing insulation installs with a tight friction fit between wood and metal studs to minimize sound and thermal energy transmission. Quiet Batt™ 30 can be used as a standalone soundproofing product or in conjunction with other soundproofing materials.

\$91.10 — **\$104.10**

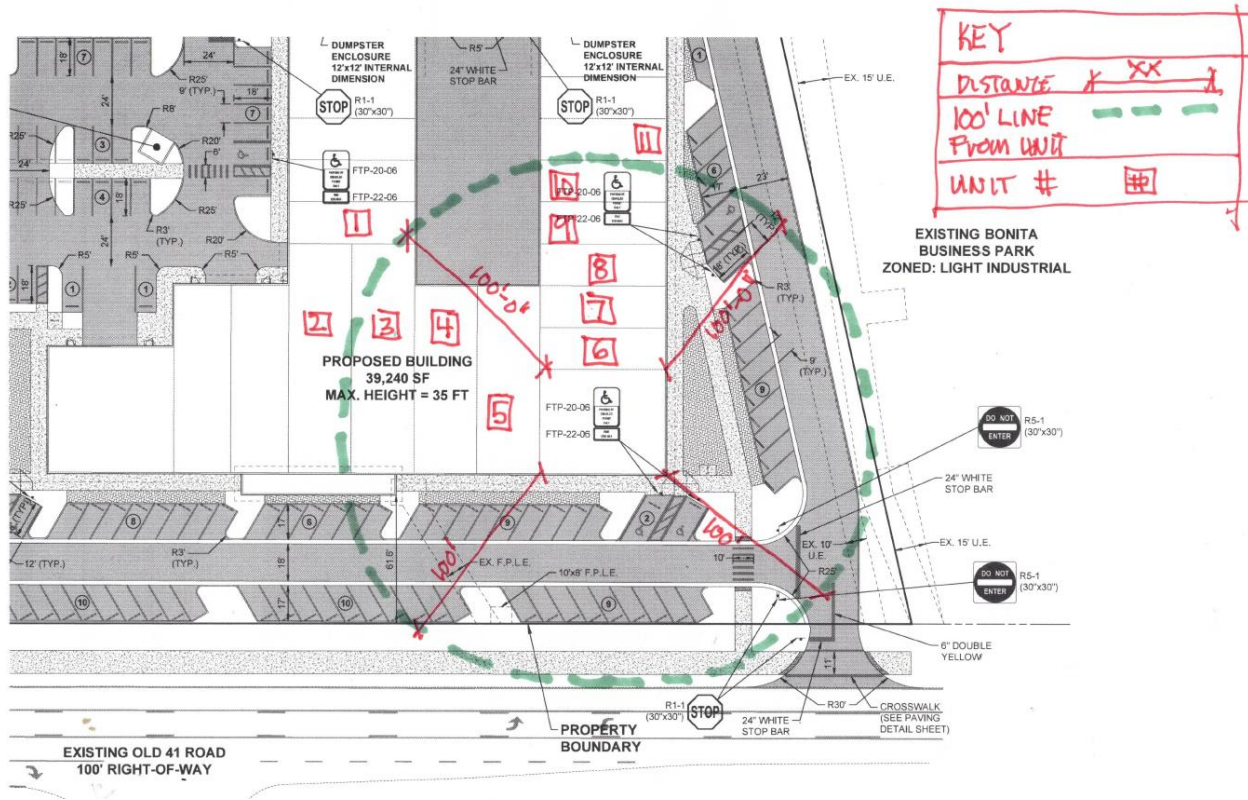
Size

24in on center spacing (48sqft) ▼

ITEM 26

NEW 7/27/21

AREA NEIGHBOR PLAN (100 FEET FROM M8)



Business

- 1 CJ Cleaning, Permitting, and Consulting
This company cleans, helps with permitting and does general consulting/home watch.
- 2 Encore Garage Company (Unit 1)
This company assembles/fabricate cabinets/garage organizing systems and install garage floor coatings.
- 3 312 Motors (Requesting Special Exception)(Unit 5)
This is an online indoors cars sales only showroom that is appointment based only.
- 4 Truly Handy (Unit 6)
General contractor and handyman services
- 5 Truly Handy (Unit 7)
General contractor and handyman services
- 6 CRU Private Wine Club (Unit 9)
Wine tasting and small plate pairings are help several days a week by reservation only
- 7 Art Studio (Unit 10)
Art studio

- 8 **Grumpy Goat Coffee Company (Unit 11)**
Coffee roaster

- 9 **Houge LLC (Unit 12)**
Office

- 10 **Gulfshore Fitness (Unit 13)**
Online and onsite fitness services/personal trainer

- 11 **Light-Scapes/lighting distributor (Unit 11)**
Landscape lighting designer

Notice of Neighborhood Meeting
28280 Old 41 Road, unit M-8, Bonita Springs, Florida 34135
Proposed Special Exception

NOTICE IS HEREBY GIVEN THAT HIGH ROAD HOLDINGS, LLC/BEN MYERS (applicant) is holding a 2nd neighborhood meeting regarding their proposed Special Exception and will answer questions. No formal decision regarding the project will be mad at this meeting.

PUBLIC MEETING DATE/TIME: 5:00 PM Wednesday October 5, 2021
MEETING LOCATION/ADRESS: 28280 Old 41 Road, unit M-8
Bonita Springs, Florida 34135

TO DISCUSS THE FOLLOWING PROJECT:

PROJECT: 28280 Old 41 Road, unit M-8, Bonita Springs, Florida 34135, Special Exception
CASE NUMBER: Pre-Application Meeting
APPLICANT: High Roads Holdings, LLC/Ben Myers
SITE ADDRESS: 28280 Old 41 Road, unit M-8, Bonita Springs, Florida 34135

PROJECT DISTRIPTION

The proposed Special Exception is for a +/- 2500 sf unit within a project known as the Causeway Commerce Park. The Applicant is under contract to buy Unit M-08 Causeway Commerce Park building, a Commercial Condominium according to the Declaration of Condominium thereof recorded in Official Records Instrument no. 20190000766251 of the Public records of Lee County, Florida. Mr. Ben Myers with High Roads Holdings, LLC, a Florida Limited Liability company, intends to use the unit M-08 as a Boutique Vehicular Detail/Ceramic Coating facility with private indoor car washing. The Causeway Commerce Park has been develop by Causeway Commerce Park, LLC on the former Causeway Lumber Company site. The Zoning for this property allows this use with the requirement of the special exceptions zoning process. Refer to figure A- Project location Map.

The applicant will present the proposed project at the meeting and would like to receive input from the surrounding owners and residents. Please contact Joseph M. McHarris at (239) 948-6688 or Joe@mcharris.com for any questions.

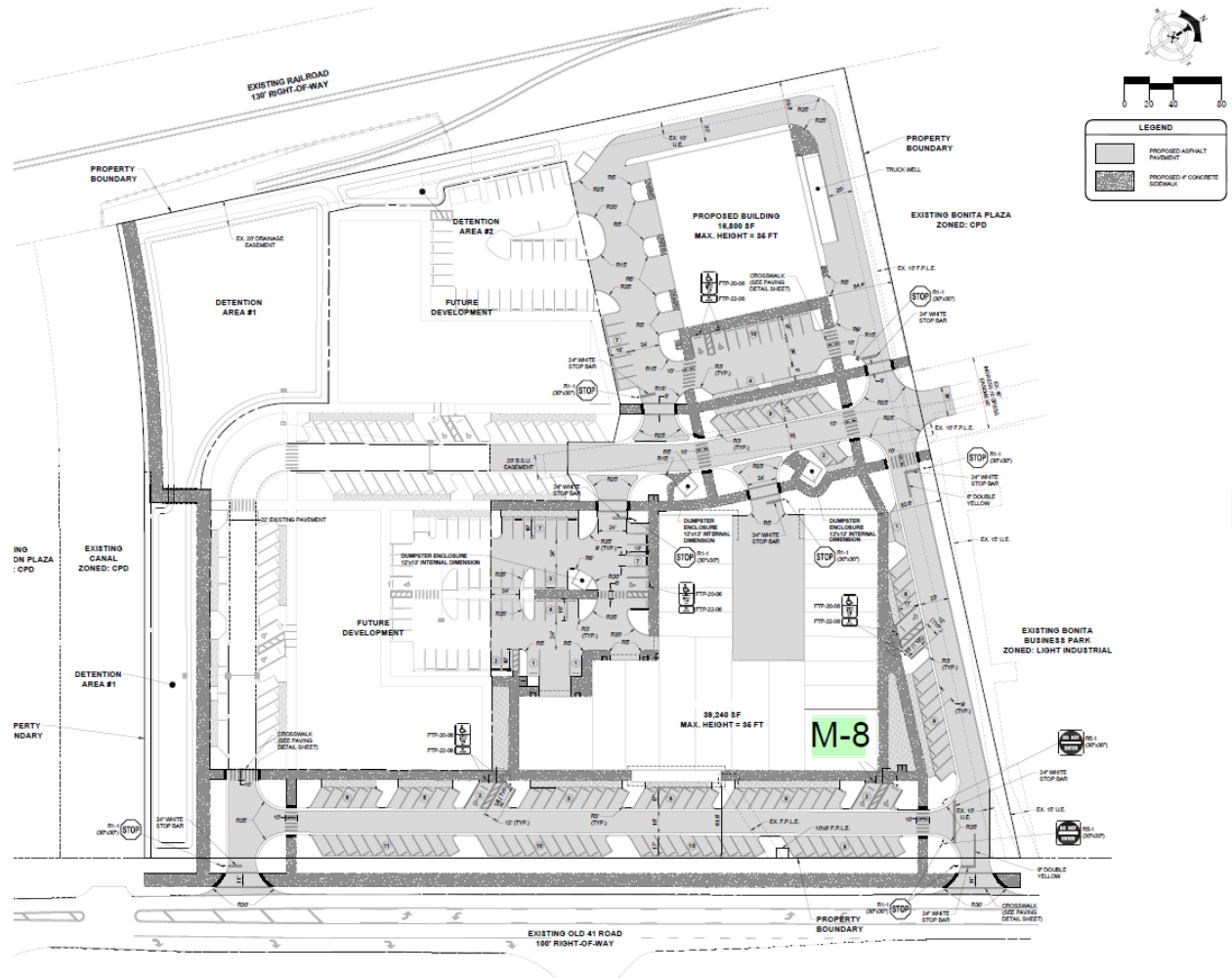


Figure A-Project location Map

Neighborhood Meeting
28280 Old 41 Road, unit M-8, Bonita Springs, Florida 34135
Proposed Special Exception

PUBLIC MEETING DATE/TIME: 5:00 PM Wednesday October 5, 2021

MEETING LOCATION/ADRESS: 28280 Old 41 Road, unit M-8
Bonita Springs, Florida 34135

Sign in Sheet

Name	address	Email
1. <i>Jim Magnus</i>	<i>8841 West Terry St</i>	<i>JCMagnus@aol.com</i>
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		

WRITTEN SUMMARY OF 2ND NEIGHBORHOOD MEETING

Primo Special Exception
October 5th, 2021

Summary:

- Meeting was held on site. Meeting started 5 minutes Past 5:00 to allow time for travel/traffic.
- One person not associated with the project were in attendance (see attached sign-in sheet)
- No one from the first meeting was at this meeting.
- A walk around with general location of space layout was provided.
- This person stated he was in favor of the business.

- Meeting ended at 5:25

RETURN TO:
City of Bonita Springs
Community Development Department
Attn: Mary Zizzo
9220 Bonita Beach Road, Suite 109
Bonita Springs, FL 34135
mzizzo@cityofbonitaspringscd.org

Support _____ Oppose X

Application: SPE21-79524-BOS, Primo Special Exception

We do NOT think auto repair seem wast is in the best
interest of Causeway Industrial Complex occupancy.
We already have this type of business in our
complex in phase II I called Suncoast motor works

DATE: 10/14/21
NAME: MaryAnn Crist PHONE: 239 776 6900
ADDRESS: 28080 Old 41 #3 CITY/STATE/ZIP: Bonita Springs FL 34135

RECOMMENDATIONS AND POSTPONEMENTS: The Board may accept, reject or modify staff recommendations and take such other appropriate and lawful action including continuing said public hearings.

CONDUCT OF HEARINGS: These hearings are quasi-judicial and must be conducted to afford all parties due process. Any communication that Council Members have outside of the public hearing must be fully disclosed at the hearing. Anyone who wishes to speak at the hearing will be sworn in and may be subject to questions by the board, city staff or applicant. Public comment is encouraged, and all relevant information should be presented to the Board so a fair and appropriate decision can be made. Tapes are limited to three (3) minutes in length and are to be submitted to the Zoning Division one week prior to the meeting date for review. All tapes/information submitted for the public record will not be returned.

GROUP REPRESENTATIVES: Any person representing a group or organization must provide written authorization to speak on behalf of that group. The representative shall inform Staff prior to the hearing of their intent to speak on behalf of a group and provide staff the name of that group.

I will have a representative at the Zoning Board Hearing and/or City Council. My representative's name, address, and phone are:	
NAME: _____	PHONE: _____
ADDRESS: _____	CITY/STATE/ZIP: _____

APPEALS: If a person decides to appeal any final decision made by the City Council, with respect to any matter considered at such hearing, they are responsible at their own expense for ordering from the court reporter to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence on which the appeal is to be based.